



CITY OF WHITEWATER PLAN AND ARCHITECTURAL REVIEW
COMMISSION

Agenda

December 8, 2014

City of Whitewater Municipal Building
312 W. Whitewater St., Whitewater, Wisconsin
6:30 p.m.

1.	Call to order and Roll Call.
2.	Election of Plan Commission Representative to the Urban Forestry Commission.
3.	Hearing of Citizen Comments. No formal Plan Commission Action will be taken during this meeting, although issues raised may become a part of a future agenda. Specific items listed on the agenda may not be discussed at this time; however citizens are invited to speak to those specific issues at the time the Plan Commission discusses that particular item.
4.	Review and approve the Plan Commission minutes of October 13, 2014 and November 10, 2014.
5.	Hold a public hearing for consideration of a Conditional Use Permit to allow a 6 unit apartment building in an R-3 (Multi-family) Zoning District located at 158 N. Tratt Street for Mike Kachel.
6.	Information Items: a. Possible future agenda items. b. Next regular Plan Commission Meeting – January 12, 2015
7.	Adjournment.

Anyone requiring special arrangements is asked to call the Zoning and Planning Office 24 hours prior to the meeting. Those wishing to weigh in on any of the above-mentioned agenda items but unable to attend the meeting are asked to send their comments to c/o Neighborhood Services Director, 312 W. Whitewater Street, Whitewater, WI, 53190 or jwegner@whitewater-wi.gov.
The City of Whitewater website is: whitewater-wi.gov

CITY OF WHITEWATER
PLAN AND ARCHITECTURAL REVIEW COMMISSION
Whitewater Municipal Building Community Room
October 13, 2014

**ABSTRACTS/SYNOPSIS OF THE ESSENTIAL ELEMENTS OF THE OFFICIAL
ACTIONS OF THE PLAN AND ARCHITECTURAL REVIEW COMMISSION**

Call to order and roll call.

Chairperson Meyer called the meeting of the Plan and Architectural Review Commission to order at 6:30 p.m.

Present: Greg Meyer, Lynn Binnie, Karen Coburn, Kristine Zaballos, Bruce Parker, John Tanis (Alternate). Absent: Sherry Stanek, Daniel Comfort. Others: Wallace McDonell (City Attorney), Chris Munz-Pritchard (City Planner).

Hearing of Citizen Comments. There were no citizen comments.

Approval of the Plan Commission Minutes. Moved by Binnie and Coburn to approve the minutes of July 14, 2014. Motion approved by unanimous voice vote. The Plan Commission minutes of August 11, 2014 were not available.

Review proposed Certified Survey Map to combine lots and readjust lot line at 515 E. Milwaukee Street for Michael Foelker. City Planner Chris Munz-Pritchard explained that Mike Foelker had requested a variance, which also combined lots. She requested him to do a certified survey map not realizing it had to come to Plan Commission for review. It is much more thorough to have the change go on record as a certified survey map instead of a quit claim deed.

Moved by Parker and seconded by Tanis to approve the certified survey map for 515 E. Milwaukee Street for Mike Foelker. Aye: Parker, Tanis, Zaballos, Coburn, Binnie, Meyer. No: None. Motion approved.

Review a proposed mini storage facility to be located at 1002 S. Janesville Street (W9144 STH 59) for Larry Matthews. Warren Hansen, of Farris Hansen and Associates, representing Larry Matthews and Jay Savignac for this proposal. The property is approximately 2 ½ acres on the south side of the City of Whitewater just past the Highway 12 bypass and across from the golf course. The buildings will be attractive warehouse style buildings with metal siding, all non-combustibles. There will be a gated controlled access to the property off the west side of Highway 59. The whole site will be fenced in for controlled access. The stormwater management facility will be on the north end of the site. There will be storm drains under the buildings that collect and go to the stormwater management facility. There will be lighting on the buildings so all alley ways and access would be lit. All the corridors between the buildings will be able to be seen from the highway. There will be maintenance free plantings at the end of each building. There are pines and evergreens northeast of the buildings. They have allowed plenty of snow storage area. This site was used for a stormwater basin as part of an industrial

area that has been remediated. The existing creek is dry most of the time. They will be putting in a row of solar collectors along the berm on the north side of the property. The site topography is graded to drain. They have a stormwater management plan. There is canary grass in the northeast corner of the property and some wetland plants. They will be having someone come in to do a wetland delineation to verify it. If there is wetland, they will shorten the basin and discharge into the stream. Hansen stated that the zoning is proper for this project. The green space is 34% and the building area is 28%. The building will be light stone in color with royal blue doors and trim. The roof will be galvanized aluminum with a pitch of 1 to 12 instead of 3 to 12.

Chairperson Meyer opened for public comment. There were no comments. Chairperson Meyer closed the public comment.

Plan Commission members voiced concerns: canary grass is extremely invasive, can you get rid of it to keep it from reseeding itself?; the U.W Extension Office put out a publication on eradication, Zaballos will send it to City Planner Chris Munz-Pritchard to get it to the applicant; does the development have its own sign and location for the business?; the security camera is in the City right-of-way; impervious surface; large trees.

Warren Hansen stated that they will be removing the soil and putting it back. The warehouses will have a 5 foot by 6 foot sign on a light pole. The security camera will be moved onto private property. Jay Savignac explained that the solar panels would be 24 inches by 48 inches mounted 36 inches off the ground. Warren Hansen asked if it would be possible to extend the time frame to put the water extension in for the fire hydrants.

Plan Commission Member Binnie asked why this proposal came to the Plan Commission – for more than one principal structure on a lot?

City Planner Chris Munz-Pritchard explained that yes, the reason it came to the Plan Commission was for more than one principal structure on a lot. This is just what we want here. She said she would contact the Fire Department about putting off the water extension for a period of time. The plans have been sent to the City Engineer.

Moved by Binnie and seconded by Zaballos to approve the proposed mini storage facility on S. Janesville Street subject to the City Planner recommendations and to allow flexibility on recommendation #1 if allowed by the Fire Department. Ayes: Binnie, Zaballos, Tanis, Parker, Meyer, Coburn. No: None. Motion approved.

Plan Commission Member Parker asked if the applicant would be willing to put street trees in. Jay Savignac said they didn't object to putting the trees in, but wanted to know who would be responsible for them. Parker stated that the City Forester takes care of the trees in the right-of-way. The Plan Commission has had developers put trees in the right-of-way in the past. The City would maintain them.

Moved by Parker and Coburn to amend the motion to add at least 5 trees on the street side of the wrought iron fence and to work it out with the City Forester. Ayes: Parker, Coburn, Binnie, Tanis, Meyer, Zaballos. No: None. Motion approved.

Public hearing for a conditional use permit to allow for a 5 unit townhouse style residential apartment building in an R-3 (Multi-family) Zoning District located at 1014 W. Main Street for Ryan Hughes. Chairperson Meyer opened the public hearing for consideration of a conditional use permit to allow for a 5 unit townhouse style residential apartment building in an R-3 (Multi-family) Zoning District located at 1014 W. Main Street for Ryan Hughes.

Ryan Hughes explained that he is proposing a 5 unit townhouse style (4 bedrooms, 2 baths per unit), private garages and 16 parking stalls. The unit facing Main Street will be the ADA unit. The sidewalk will slant to avoid the steps. (The second phase of the project, he is proposing 4 additional units. He wanted the Plan Commission to see the whole project conceptually.) Hughes is looking to start phase 1 immediately with completion in mid August 2015. In 2015 he plans to come back with phase 2, the 4 additional units. He is challenging the Plan Commission to re-evaluate the R-3A Zoning classification prior to him coming back with the 4 unit proposal. Phase 1, the five unit building, the density is 6.7 units per acre. With the additional 4 units, the density is 12.1 units per acre. Hughes also noted a couple errors on the landscape plan. In the notes, #3 the shredded hardwood mulch rings are to be 4 feet in diameter instead of 4 inches. And the perennials on the north side of the building along the driveway, it was noted a quantity of 15 of each, but should be changed to a mix of perennials planted 3 feet apart. Hughes noted that one of the City Planner's recommendations was to have the existing building removed prior to starting construction. We Energies is out over 30 days to get a gas line terminated. Hughes would ultimately like to get the building down before year end, but would like to change the requirement at least to year end or hold the occupancy permit for finishing grade work. He would also like credit for 3 lots as far as fees.

Plan Commission Members voiced concerns: suggested by the end of January the existing building be torn down; how much impervious surface; what trees are being removed; how much is the Plan Commission making a decision on at this meeting; why is this a conditional use, because it is over 4 units?; it is not over 40 feet tall; was the plan reviewed by the Fire Department, Building Inspector, City Engineer, City Forester?; is the drainage designed for phase 1 and phase 2?; traffic pattern.

Ryan Hughes stated that the certified survey map shows the existing trees. There are safety issues with some of the existing trees. The insurance company would require them to be removed. The design has 5 units which is much different from the original proposal. Each unit is 650 sq. ft. has 4 bedrooms. In phase 1, 5 units in an R-3 Zoning District, 25 people would be allowed.

Chairperson Meyer opened the hearing for public comment. There were no comments. Chairperson Meyer closed the public comment.

City Planner Chris Munz-Pritchard explained that a conditional use is required because the proposal is over 4 units; the plans were reviewed by the Building Inspector and she sent it to the City Engineer. She did not know if the plan was reviewed by the Fire Department or the City Forester. Munz-Pritchard also noted that the proposal has under 40% impervious surface. But if they do the second phase, the project will need mitigation for impervious surface. City Planner Munz-Pritchard clarified that the Plan Commission is only considering phase 1 at this meeting. She suggested that the existing structure be required to be torn down prior to granting occupancy, not allowing occupancy until all is taken care of. Hughes stated that he would take the occupancy requirement, even though his goal is to have it down by the end of the year.

Moved by Binnie and seconded by Zaballos to approve the conditional use permit to allow for a 5 unit townhouse style residential apartment building in an R-3 (Multi-family) Zoning District located at 1014 W. Main Street for Ryan Hughes subject to the City Planner recommendations and amending recommendation #2 to specify that the current building be removed prior to occupancy approval. The project is also subject to review by the Fire Department, City Forester and City Engineer. (See attached Conditional Use Permit.) Ayes: Binnie, Zaballos, Tanis, Parker, Meyer, Coburn. No: None. Motion approved.

Public hearing for consideration of a change of the District Zoning Map for the following parcel to enact an ordinance to impose the R-2A Residential Overlay District Zoning classification under Chapter 19.19 of the Zoning Ordinance of the City of Whitewater on the following area: 280 S. Janesville Street (Tax ID # /CL 00059) for Camery Management, LLC. (Mike Kachel). Public hearing to be opened with the following item.

Public hearing for consideration of a conditional use permit in an R-2A Overlay Zoning District, to allow for 5 unrelated persons per unit to live in the house located at 280 S. Janesville Street for Camery Management, LLC. (Mike Kachel). Chairperson Meyer opened the public hearing for both the consideration of a change in the District Zoning Map to enact an ordinance to impose the R-2A Residential Overlay District Zoning classification under Chapter 19.19 of the Zoning Ordinance of the City of Whitewater and the public hearing for consideration of a conditional use permit in an R-2A Overlay Zoning District to allow for 5 unrelated persons to live in the house located at 280 S. Janesville Street (Tax ID# /CL 00059) for Camery Management, LLC. (Mike Kachel).

Mike Kachel explained that this is a larger 2 story home with 4 existing bedrooms. The 4 bedrooms are upstairs with a full bath. The den on the first floor is to be changed to a bedroom in the future. He would be creating a 5th bedroom. This room has two windows and a door. There is a 2 car garage and there is a shared driveway agreement from 2003 with the property next door for an access easement. There is room to park 5 vehicles with 2 in the garage, 2 spaces in the driveway by the garage and the other vehicle to parallel park next to the house. The driveway is 81 feet long, 60 feet from the garage to the front porch. The driveway is paved.

There were no public comments. Chairperson Meyer closed the public hearing.

Moved by Binnie and seconded by Tanis to recommend to the City Council to impose the R-2A Residential Overlay District Zoning Classification on the property located at 280 S. Janesville

Street (Tax ID # /CL 00059) for Five Reds Management, LLC. (Mike Kachel). Ayes: Binnie, Tanis, Parker, Meyer, Zaballos, Coburn. No: None. Motion approved.

Moved by Parker and seconded by Coburn to approve the conditional use permit to allow 5 unrelated persons to live in the house located at 280 S. Janesville Street for Camery Management, LLC. (Mike Kachel), contingent on the City Council approving the R-2A Overlay Zoning. (See attached Conditional Use Permit.) Ayes: Parker, Coburn, Binnie, Tanis, Meyer, Zaballos. No: None. Motion approved.

Public hearing for consideration of a change of the District Zoning Map for the following parcel to enact an ordinance to impose the R-2A Residential Overlay District Zoning classification under Chapter 19.19 of the Zoning Ordinance of the City of Whitewater on the following area: 731 W. Peck Street (Tax ID # /CL 00078) for Five Reds Management, LLC. (Mike Kachel). Public hearing to be opened with the following item.

Public hearing for consideration of a conditional use permit in an R-2A Overlay Zoning District, to allow for 4 unrelated persons to live in the house located at 731 W. Peck Street (Tax ID # /CL 00078) for Five Reds Management, LLC. (Mike Kachel). Chairperson Meyer opened the public hearing for both the consideration of a change in the District Zoning Map to enact an ordinance to impose the R-2A Residential Overlay District Zoning classification under Chapter 19.19 of the Zoning Ordinance of the City of Whitewater and the public hearing for consideration of a conditional use permit in an R-2A Overlay Zoning District to allow for 4 unrelated persons to live in the house located at 731 W. Peck Street (Tax ID # /CL 00078) for Five Reds Management, LLC. (Mike Kachel).

Mike Kachel explained that the home has three nice sized bedrooms and a smaller 4th bedroom, and one and a half bathrooms. There is a large two car garage. There will be no structural changes, just a fourth occupant.

Plan Commission Member Binnie asked if there was room for parking. Mike Kachel stated that they can park three vehicles wide in the driveway without including the garage.

Chairperson Meyer opened for public comment. There were no comments. Chairperson Meyer closed the public comment.

Moved by Binnie and seconded by Tanis to recommend to the City Council to impose the R-2A Residential Overlay District Zoning Classification on the property located at 731 W. Peck Street (Tax ID # /CL 00078) for Five Reds Management, LLC. (Mike Kachel). Ayes: Binnie, Tanis, Parker, Meyer, Zaballos, Coburn. No: None. Motion approved.

Moved by Binnie and seconded by Parker to approve the conditional use permit to allow 4 unrelated persons to live in the house located at 731 W. Peck Street for Five Reds Management, LLC. (Mike Kachel), contingent on the City Council approving the R-2A Overlay Zoning. (See attached Conditional Use Permit.) Ayes: Binnie, Parker, Tanis, Meyer, Zaballos, Coburn. No: None. Motion approved.

Public hearing for consideration of a change of the Zoning Ordinance regulations, to enact proposed amendments to the City of Whitewater Municipal Code Title 19, by: Amending the Official Flood Plain Regulation Maps for Jefferson County in Whitewater Municipal Code Section 19.46.010 1.5(2)(aa). City Planner Chris Munz-Pritchard explained that this is an amendment to the map numbers so our ordinance reflects the current information for the updated Official Flood Plain Regulation Maps for the Jefferson County portion of the City of Whitewater.

City Attorney McDonell added that the maps get updated periodically. The City has to reflect the new information as far as the floodplain so everyone has the opportunity to get flood insurance.

Chairperson Meyer opened for public comment. There were none. Chairperson Meyer closed the public comment.

Moved by Meyer and seconded by Tanis to approve the amendments to the Zoning Ordinance regulations for the Official Flood Plain Regulation Maps for Jefferson County in the Whitewater Municipal Code Section 19.46.010 1.5(2)(aa). Ayes: Meyer, Tanis, Parker, Zaballos, Coburn, Binnie. No: None. Motion approved.

Informational Items: There were no informational items.

Future agenda items: City Planner Chris Munz-Pritchard explained that she had compiled a packet of information in regard to reviewing the New Zoning Code. The packet includes examples of codes in other municipalities regarding the requested topics. This will be on the November Plan Commission agenda for review.

Next regular Plan Commission meeting – November 10, 2014.

Moved by Tanis and seconded by Coburn to adjourn the meeting. Motion approved by unanimous voice vote. The meeting adjourned at approximately 7:30 p.m.

Chairperson Greg Meyer

CITY OF WHITEWATER
PLAN AND ARCHITECTURAL REVIEW COMMISSION
Whitewater Municipal Building Community Room
November 10, 2014

**ABSTRACTS/SYNOPSIS OF THE ESSENTIAL ELEMENTS OF THE OFFICIAL
ACTIONS OF THE PLAN AND ARCHITECTURAL REVIEW COMMISSION**

Call to order and roll call.

Chairperson Meyer called the meeting of the Plan and Architectural Review Commission to order at 6:30 p.m.

Present: Greg Meyer, Lynn Binnie, Kristine Zaballos, Bruce Parker, Sherry Stanek, Daniel Comfort, John Tanis (Alternate). Absent: Karen Coburn. Others: Wallace McDonell (City Attorney), Chris Munz-Pritchard (City Planner).

Hearing of Citizen Comments. There were no citizen comments.

Approval of the Plan Commission Minutes. Moved by Binnie and Tanis to approve the minutes of August 11, 2014, September 8, 2014 and September 15, 2014. Motion approved by unanimous voice vote.

Public hearing for conditional use permit (tavern and other places selling alcohol by the drink) for D.R.A. LLC., Daniel Rodriguez, Agent, to serve beer and liquor by the bottle or glass at 214 W. Whitewater Street (for a “Class B” Beer and Liquor License) for the Hawks Nest. City Planner Chris Munz-Pritchard explained that when a liquor license changes hands, the applicant must go through the conditional use process. A neighboring property owner had sent in a letter of concern. Plan Commission members noted that the applicant was not present and in order to address the concerns, suggested that the item be moved back on the agenda, in case the applicant would show up.

The applicant did not show up at the end of the meeting. When asked if the Plan Commission could postpone this item, City Attorney McDonell noted that the City would have to resend notices to neighboring property owners. Moved by Comfort and seconded by Tanis to postpone the hearing to the December meeting. Ayes: Comfort, Tanis, Binnie, Parker, Zaballos, Stanek, Meyer. No: None. Motion approved.

Review proposed certified survey map to combine lots at 123 S. Church Street and 413-417 W. Main Street for First English Lutheran Church. This item is reviewed with the next item.

Public hearing for a conditional use permit for the construction of a 1,040 sq. ft. (40' x 26') detached garage and parking lot modifications to be located at 123 S. Church Street and 413-417 W. Main Street for First English Lutheran Church. (This is 240 sq. ft. more than the maximum size (800 sq. ft.) allowed for a detached accessory structure.) Chairperson Meyer opened the public hearing.

City Planner Chris Munz-Pritchard explained that the church is removing two non-conforming garages and putting in a new larger garage. There were setback issues, but the church has been to the Board of Zoning Appeals and a variance has been approved. One of the old garages extends into the alley. There are also snow plowing issues for the alley way and tenants have backed into the garage.

Chairperson Meyer opened for public comment.

Chip Leedham, the Engineer of the project, stated that they wanted to raze the two existing garages for safety concerns. One garage encroaches into the public alley and is structurally unsound. They want to consolidate the space into one garage. The new garage will be for storage for the Thrift Shop and one of the church's vehicles. The project will also improve traffic flow in the parking lot. The certified survey map combines two parcels so they will not be building over property lines. The conditional use is for the 1040 sq. ft. accessory structure which is over the maximum 800 sq. ft. allowed by ordinance.

Plan Commission members voiced concerns of: If the new garage will be the same size as the total of the two old garages; parking spaces provided for the Thrift Shop; how to access the Thrift Shop from the parking lot;

Brian Boley, the facility manager, stated that if in the future they would sell the building, they would supply parking. There is parking on the south side of the garage. He stated that they could provide a sidewalk next to the three parking spaces along the alley, provide a connector walk, a 4 foot wide sidewalk. There will be curb stops so the front of the cars will not block the walkway.

Plan Commission Member Zaballos noted that her grandmother, Gladys Moksnes, was one of the four founders of the Thrift Shop in 1964. Zaballos suggested a directional sign to the Thrift Shop entrance because of the change of the traffic pattern.

Chairperson Meyer closed the public comments.

City Planner Munz-Pritchard recommended that an easement be established to access the garage through the parking lot.

Moved by Zaballos and seconded by Stanek to approve the certified survey map to combine lots at 123 S. Church Street and 413-417 W. Main Street for First English Lutheran Church and move to approve the conditional use permit for the construction of a 1040 sq. ft. detached garage and parking lot modifications with the conditions of the City Planner and with the additional sidewalks. The signage not already included in the plan shall be left up to the applicant. (See attached conditional use permit.) Aye: Zaballos, Stanek, Meyer, Binnie, Parker, Comfort, Tanis. No: None. Absent: Coburn. Motion approved.

Discussion of the Zoning Code review information. City Planner Chris Munz-Pritchard explained that at the September Plan Commission meeting, there were concerns over the Zoning Rewrite. She did some research and put together a packet of information for the discussion.

This is just an initial discussion to see where we are all at.

Plan Commission Member Binnie stated that he had done some research, looking at other college cities in the State on the density subject. The lot requirements are equivalent for the multi-family district. He tried to figure out how they calculate lot requirement. It was all over the map. What is the rationale for having a lot requirement in the first place and what is the concern trying to be addressed in terms of density?

- 1) Do we want to try to maintain a suburban appearance, or can more urban buildings be appropriate? We are a city with a large university.
- 2) Is the density intended to address safety? Sprinkler systems abate concern? Have incentives for developers to go beyond what is required in safety issues.
- 3) Concern re: potential nuisances – too much noise, quality of life for residents of the building-should have green space. If there are mostly students in the neighborhood, there is no concern.

The green space on most student rental properties is used mostly for the Homecoming celebration. Once in a while the green space is used for throwing Frisbees or having a picnic. To what extent do we need to regulate density in this area? The lot space is not a necessity for the purpose.

The Plan Commission voiced concerns of: reducing the required lot area if it changes the drainage and Fire Department access; Is the stormwater able to take the density?; Like to see increase in appropriate use of density; incentivizing quality materials and other amenities; better fire protection. With the Zoning Rewrite the increase in density near the university is good. The R-2A area makes no sense as the properties are not near the university. Students don't know the area where they are living.

City Planner Munz-Pritchard stated that if the property has 40 % or more impervious surface, the developer would have to do stormwater mitigation. Redoing infrastructure is costly, but it is needed.

PD (Planned Development District): Plan Commission Members voiced concerns of the PD Zoning District: What would be an appropriate use of the PD?; abused in the past; could have argued appropriately for the PD for the proposal for 1014 W. Main Street if the City hadn't just passed the R-3A; How can we determine the parking to be adequate if the parking summit had not even been started yet; a PD allows for specific projects to come in and fit into the neighborhood; The only reason for the project at 1014 W. Main Street to come to the Plan Commission was density. Large projects with phasing etc. need to be looked at for their long and short term effects on the area and if the project will work. Concerns of the PD include throwing out a lot of regular standards, consequently the maximum occupancy gets thrown out unless specified. PD's should include a list of things that are to be considered. The PD should be like an overlay, think of it as a district. Code should have "higher quality urban design".

City Planner Munz-Pritchard suggested putting in a minimal area for the plan.

Parking and Pavement vs. gravel: City Planner Munz-Pritchard stated that when conditional use applications come to the Plan Commission, pavement is being required. Paving stones need to be maintained. She would like to see mitigation put into place. The house should be included in the area considered as well as the driveway. Another suggestion for parking areas is to add curb stops on rental properties to prevent driving through yards.

Plan Commission members voiced concerns of: People don't realize that gravel is impervious. On the larger projects, larger storm sewers are needed. Driving across the lawn to get to a parking space needs to be prohibited.

City Attorney McDonell stated that it could be enforced as operation of a vehicle in an area not intended for use.

City Planner Munz-Pritchard wanted to remind Plan Commission members of the joint meeting on December 2nd at 6:30 p.m. for the parking study.

Height of the buildings and skyline: Plan Commission Member Parker explained that the skyline exposure plane was put in the code years ago. It was only in the R-3 (Multi-family) Zoning District.

Plan Commission Members voiced concerns of: arbitrary number is too limiting; should consider different skyline exposure for different areas; come to terms of height on code basis; fine with height, concern with access.

City Planner Munz-Pritchard suggested checking with the Fire Department first.

Structures in the front yard setback: If the front yard (street yard) is over a certain amount of square feet, Plan Commission could allow an accessory structure in the street yard area. This would allow the applicant to have approval without going to the Board of Zoning Appeals for a variance. Ordinance does not allow an accessory structure in the street yard area. The City does not regulate bird houses or flags.

When asked about having a gazebo in the front yard, City Attorney McDonell would have to look at the definition.

City Planner Munz-Pritchard recommended adding the following to Chapter 19.15 R-1:

One (1) accessory structure may be located in the front or side yard if the following requirements are met:

1. The total square footage of the front yard is greater than or equal to 43,560 square feet.
2. Minimum front yard setback of the accessory structure must be fifty (50) feet.

3. Minimum side yard setback of the accessory structure must be (10) feet, or corner lot, twenty-five (25) feet.

When the changes for the parking study are made, changes to this section might also be considered.

Projects that have not been completed before requesting new projects/Enforcement consistency: It was suggested that adding fines for extending permits may need to be considered. The problem is in determining how to apply across the board. Sometimes someone is struggling because something happened.

In extreme cases, the owner may need to be told that the use of the property cannot continue because of the expired permit.

It was requested to have a limit of one year to finish paving.

City Planner Munz-Pritchard stated that occupancy is not issued until things are completed. We have to treat everyone equally.

City Attorney McDonell stated that the health and safety items are the major issue. He was going to do some research on if there could be a condition placed on a conditional use permit (or a permitted use permit) that a previous project must be completed.

Information Items: The main item is the joint meeting with the Common Council for the presentation and discussion of the Parking Study on December 2, 2014 at 6:30 p.m.

Future agenda items: City Planner Chris Munz-Pritchard explained that there were no agenda items at this time.

Next regular Plan Commission meeting – December 8, 2014.

Moved by Zaballos and seconded by Tanis to adjourn the meeting. Motion approved by unanimous voice vote. The meeting adjourned at approximately 8:20 p.m.

Chairperson Greg Meyer

M E M O R A N D U M

To: City of Whitewater Plan and Architectural Review Commission
 From: Christine Munz-Pritchard, City Planner
 Date: December 8th 2014
 Re: **Item # 5** Proposed is a Conditional Use Permit to allow for a 6 unit apartment building located at 158 Tratt Street for Mike Kachel.

Summary of Request		
Requested Approvals:	6 Unit Apartment Building	
Location:	158 N Tratt Street	
Current Land Use:	Residential	
Proposed Land Use:	Same, but with over four (4) units	
Current Zoning:	R-3 Multifamily Residence District	
Proposed Zoning:	Same	
Comprehensive Plan's Future Land Use:	Higher Density Residential	
Surrounding <i>Zoning</i> and Current Land Uses:		
Northwest:	North:	Northeast:
<i>R-3</i> Multi Family Residence District	<i>R-3</i> Multi Family Residence District	<i>R-3</i> Multi Family Residence District
	Subject Property	
Southwest:	South:	Southeast:
<i>R-3</i> Multi Family Residence District	<i>B-1</i> Community Business	<i>R-3</i> Multi Family Residence District

Description of the Proposal:

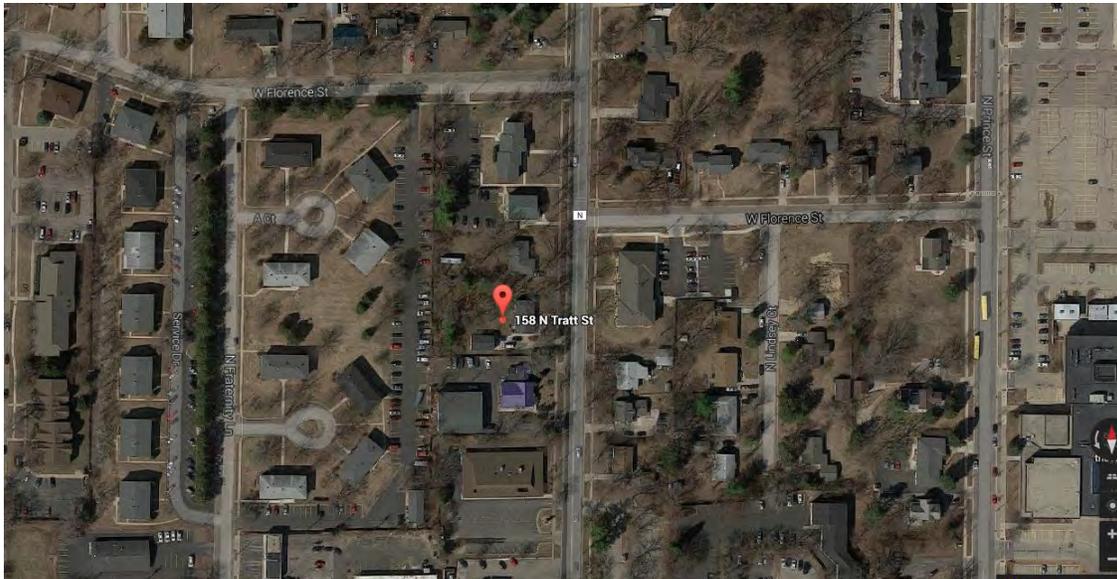
The existing dwelling is a single (one) family residence. This proposal is to allow for a 6 unit apartment building. In the R-3 district any multifamily dwelling unit over four (4) units requires a conditional use permit (19.21.030 B)

PLANNER'S RECOMMENDATIONS:

I recommend that the Plan and Architectural Review Commission recommend approval of the proposed 6 unit apartment building, subject to the finding presented below.

SUGGESTED FINDING TO BE MADE BY THE PLAN COMMISSION

1. The minimum parking stall requirement is 18 stalls. The site plan shows 8. According to plans additional parking will be provided in the adjacent parking lot at 144 N Tratt Street. It is my recommendation that the additional stalls be documented.
2. Any other conditions identified by City Staff or the Plan Commission.



Analysis of Proposed Conditional Use Permit for: 280 South Janesville Street		
<i>Conditional Use Permit Review Standards per Section 19.66.050:</i>		
STANDARD	EVALUATION	COMMENTS
1. The establishment, maintenance, or operation of the conditional use will not create a nuisance for neighboring uses or substantially reduce the values of property.	Yes	This project reflects the surrounding neighboring uses.
2. Adequate utilities, access roads, parking, drainage, landscaping, and other necessary site improvements are being provided.	No	The parking area needs to be documented in order to meet the current parking requirements.
3. The conditional use conforms to all applicable regulations of the district in which it is located, unless otherwise specifically exempted in this ordinance or through variance.	Yes	No exemptions or variances are being requested.
4. The conditional use conforms to the purpose and intent of the city master (comprehensive) plan.	Yes	The proposal conforms to the comprehensive plan.
5. The conditional use and structures are consistent with sound planning and zoning principles.	Yes	The project is consistent with the use and density requirements R-3 Multifamily Residence District and the Comprehensive Plan.



Neighborhood Services Department
*Planning, Zoning, Code Enforcement, GIS
and Building Inspections*

www.whitewater-wi.gov
Telephone: (262) 473-0540

NOTICE OF PUBLIC HEARING

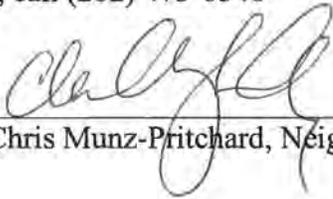
TO ALL INTERESTED PARTIES:

A meeting of the PLAN AND ARCHITECTURAL REVIEW COMMISSION of the City of Whitewater will be held at the Municipal Building, Community Room, located at 312 W. Whitewater Street on the 8th day of December 2014 at 6:30 p.m. to hold a public hearing for a Conditional Use Permit to allow for a 6 unit apartment building in an R-3 (Multi-family) Zoning District located at 158 N. Tratt Street for Mike Kachel.

The proposal is on file in the office of the Zoning Administrator at 312 W. Whitewater Street and is open to public inspection during office hours Monday through Friday, 8:00 a.m. to 5:00 p.m.

This meeting is open to the public. COMMENTS FOR, OR AGAINST THE PROPOSED PROJECT MAY BE SUBMITTED IN PERSON OR IN WRITING.

For information, call (262) 473-0540


Chris Munz-Pritchard, Neighborhood Services Director/City Planner

TaxKey	Owner1	Owner2	Address1	City	State	Zip
/A444100001	DLK ENTERPRISES INC		PO BOX 239	WHITEWATER	WI	00005-3190
/BH 00002	DLK ENTERPRISES INC		PO BOX 239	WHITEWATER	WI	00005-3190
/BH 00003	DLK ENTERPRISES INC		PO BOX 239	WHITEWATER	WI	53190-0000
/BH 00004	SUSAN J SAASKI		135 N TRATT ST	WHITEWATER	WI	53190-0000
/BH 00005	CHASE J KINCAID		W377 S2283 KINCAID LN	DOUSMAN	WI	53118-0000
/BH 00006	CHARLES A NORTH	URSULA M NORTH	142 N LINDSEY CT	WHITEWATER	WI	53190-0000
/BH 00007	CHASE J KINCAID		W377 S2283 KINCAID LN	DOUSMAN	WI	53118-0000
/BH 00008	GARY KINCAID	KATHLEEN KINCAID	W1581 ISLAND RD	PALMYRA	WI	53156-0000
/RC 00001	DLK ENTERPRISES INC		PO BOX 239	WHITEWATER	WI	00005-3190
/RC 00002	DLK ENTERPRISES INC		PO BOX 239	WHITEWATER	WI	00005-3190
/RC 00003	DLK ENTERPRISES INC		PO BOX 239	WHITEWATER	WI	00005-3190
/RC 00004	DLK ENTERPRISES INC		PO BOX 239	WHITEWATER	WI	00005-3190
/RC 00005	DLK ENTERPRISES INC		PO BOX 239	WHITEWATER	WI	00005-3190
/RC 00006	DLK ENTERPRISES INC		PO BOX 239	WHITEWATER	WI	00005-3190
/RC 00007	DLK ENTERPRISES INC		PO BOX 239	WHITEWATER	WI	00005-3190
/RC 00008	DLK ENTERPRISES INC		PO BOX 239	WHITEWATER	WI	00005-3190
/RC 00010	DMS INVESTMENTS CORP		2445 KENMORE LN	THE VILLAGES	FL	32162-0000
/WUP 00166	DLK ENTERPRISES INC		PO BOX 239	WHITEWATER	WI	53190-0000
/WUP 00166C	WHITEWATER PROFESSIONAL CENTER		128 N TRATT ST	WHITEWATER	WI	53190-0000
/WUP 00166D	WHITEWATER PROFESSIONAL CENTER		128 N TRATT ST	WHITEWATER	WI	53190-0000
/WUP 00166E	DLK ENTERPRISES INC		PO BOX 239	WHITEWATER	WI	00005-3190
/WUP 00166F	DLK 214 NORTH TRATT LLC		PO BOX 239	WHITEWATER	WI	53190-0000
/WUP 00166G	DLK 202 NORTH TRATT LLC		P. O. BOX 239	WHITEWATER	WI	53190-0000
/WUP 00166H	DEBRA C FOSBERG	RANDALL E THORNTON	168 N TRATT ST	WHITEWATER	WI	53190-0000
/WUP 00167	FIRST CITIZENS STATE BANK OF WHITEWATER		207 W MAIN ST	WHITEWATER	WI	53190-0000
/WUP 00172D	DLK ENTERPRISES INC		PO BOX 239	WHITEWATER	WI	00005-3190
/WUP 00172E	CHASE J KINCAID		W1322 S SHORE DR	PALMYRA	WI	53156-0000
/WUP 00183	JEFFREY D THATCHER		1050 W FLORENCE ST	WHITEWATER	WI	53190-0000
/WUP 00183B	KACHEL LP 1042 WEST FLORENCE LLC		PO BOX 239	WHITEWATER	WI	53190-0000
/WUP 00183K	CAROL A CARSON		109 PATRIOT PL	SUMMERVILLE	SC	00002-9485
/WUP 00184	WHITEWATER DEVELOPMENT LLC		PO BOX 239	WHITEWATER	WI	53190-0000



Neighborhood Services Department
Planning, Zoning, GIS, Code Enforcement
and Building Inspections

www.whitewater-wi.gov
(262) 473-0143

CONDITIONAL USE PERMIT APPLICATION

Address of Property: 158 N. Tratt St.

Owner's Name: D.L.K. Enterprises, Inc.

Applicant's Name: MIKE KACHEL

Mailing Address: 144 N. Tratt St. - PO Box 239

Phone #: 262-473-5321 Email: MIKEL.WIDAIRY@VDCNET.COM

Legal Description (Name of Subdivision, Block and Lot of other Legal Descriptions): PT N/W 1/4 SEC, 5 T4N R15E Described As: COM CTR TRATT ST. 32 Rods 13' 10" N of C/L MAIN ST. N 14 Rods 6' 8" EAST TO TRATT ST. S. TO POB EXC N 16 Rods ALSO EXC AS DESCRIBED IN VOLUME 421 Pg. 223 + EXC IN VOL. 542 Pg. 189 Deeds of City of Whitewater
Existing and Proposed Uses:

Current Use of Property: Single Family

Zoning District: R-3

Proposed Use: Multi-Family

NOTICE: The Plan Commission meetings are scheduled on the 2nd Monday of the month. All complete plans must be in by 4:00 p.m. four weeks prior to the meeting.

Conditions

The City of Whitewater Zoning Ordinance authorizes the Plan Commission to place conditions on approved conditional uses. "Conditions" such as landscaping, architectural design, type of construction, construction commencement and completion dates, sureties, lighting, fencing, plantation, deed restrictions, highway access restrictions, increased yards or parking requirements may be affected. "Conditional Uses" may be subject to time limits or requirements for periodic review by staff.

APPLICATION REQUIREMENTS

THE FOLLOWING INFORMATION MUST BE SUBMITTED IN ORDER TO CONSIDER THE APPLICATION COMPLETE:

1. Statement of use, including type of business with number of employees by shift.
2. Scaled plot plan with north arrow, showing proposed site and all site dimensions.
3. All buildings and structures: location, height, materials and building elevations.
4. Lighting plan: including location, height, type, orientation of all proposed outdoor lighting – both on poles and on buildings. Photometric plans may be required.
5. Elevation drawings or illustrations indicating the architectural treatment of all proposed buildings and structures.
6. Off-street parking: locations, layout, dimensions, circulation, landscaped areas, total number of stalls, elevation, curb and gutter.
7. Access: pedestrian, vehicular, service. Points of ingress and egress.
8. Loading: location, dimensions, number of spaces, internal circulation.
9. Landscaping: including location, size and type of all proposed planting materials.
10. Floor plans: of all proposed buildings and structures, including square footage.
11. Signage: location, height, dimensions, color, materials, lighting and copy area.
12. Grading /drainage plan of the proposed site.
13. Waste disposal facilities: storage facilities for the storage of trash and waste materials.
14. Outdoor storage, where permitted in the district: type, location, height of screening devices.

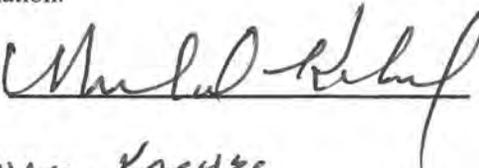
****Four (4) full size, Twenty (20) 11x17, and 1 Electronic Copy** (include color where possible) site plan copies, drawn to scale and dimensioned.

STANDARDS FOR REVIEW AND APPROVAL

The Plan and Architectural Commission shall use the following standards when reviewing applications for conditional uses. The applicant is required to fill out the following items and explain how the proposed conditional use will meet the standard for approval.

STANDARD	APPLICANT'S EXPLANATION
A. That the establishment, maintenance, or operation of the Conditional Use will not create a nuisance for neighboring uses or substantially reduce value of other property.	The Proposed 6 unit complex is partially surrounded by A large apartment complex on Tratt Street to the East & Fraternity Lane to the West
B. That utilities, access roads, parking, drainage, landscaping, and other necessary site improvements are being provided.	All Included in Plan
C. That the conditional use conforms to all applicable regulations of the district in which it is located, unless otherwise specifically exempted by this ordinance.	The zoning Re-write gave permission to developments of 4 units or less without A conditional use permit, I am asking for conditional use for the two additional units
D. That the conditional use conforms to the purpose and intent of the city Master Plan.	The Proposed site lies in the city's focus of higher density a R3A overlay

**Refer to Chapter 19.66 of the City of Whitewater Municipal Code, entitled CONDITIONAL USES, for more information.

Applicant's Signature 
 Printed: Michael Kacuse

Date: 11.10.14

TO BE COMPLETED BY THE NEIGHBORHOOD SERVICES DEPARTMENT

- 1) Application was filed and the paid fee at least four weeks prior to the meeting. **\$100.00 fee** filed on 11-11-14. Received by: JWegner Receipt #: 6.01544
- 2) Application is reviewed by staff members.
- 3) Class 1 Notice published in Official Newspaper on 11-27-14.
- 4) Notices of the Public Hearing mailed to property owners on 11-24-14.
- 5) Plan Commission holds the PUBLIC HEARING on 12-8-14. Public comments may also be submitted in person or in writing to City Staff.
- 5) At the conclusion of the Public Hearing, the Plan Commission will make a decision.

ACTION TAKEN:

Condition Use Permit: Granted _____ Not Granted _____ By the Plan and Architectural Review Commission

CONDITIONS PLACED UPON PERMIT BY PLAN AND ARCHITECTURAL REVIEW COMMISSION:

Signature of Plan Commission Chairperson

Date

Tips for Minimizing Your Development Review Costs: A Guide for Applicants

The City of Whitewater assigns its consultant costs associated with reviewing development proposals to the applicant requesting development approval. These costs can vary based on a number of factors. Many of these factors can at least be partially controlled by the applicant for development review. The City recognizes that we are in a time when the need to control costs is at the forefront of everyone's minds. The following guide is intended to assist applicants for City development approvals to understand what they can do to manage and minimize the costs associated with review of their applications. The tips included in this guide will almost always result in a less costly and quicker review of an application.

Meet with Neighborhoods Services Department before submitting an application

If you are planning on submitting an application for development review, one of the first things you should do is have a discussion with the City's Neighborhood Services Department. This can be accomplished either by dropping by the Neighborhood Services Department counter at City Hall, or by making an appointment with the Neighborhood Services Manager / City Planner. Before you make significant investments in your project, the Department can help you understand the feasibility of your proposal, what City plans and ordinances will apply, what type of review process will be required, and how to prepare a complete application.

Submit a complete and thorough application

One of the most important things you can do to make your review process less costly to you is to submit a complete, thorough, and well-organized application in accordance with City ordinance requirements. The City has checklists to help you make sure your application is complete. To help you prepare an application that has the right level of detail and information, assume that the people reviewing the application have never seen your property before, have no prior understanding of what you are proposing, and don't necessarily understand the reasons for your request.

For more complex or technical types of projects, strongly consider working with an experienced professional to help prepare your plans

Experienced professional engineers, land planners, architects, surveyors and landscape architects should be quite familiar with standard development review processes and expectations. They are also generally capable of preparing high-quality plans that will ultimately require less time (i.e., less cost for you) for the City's planning and engineering consultants to review, saving you money in the long run. Any project that includes significant site grading, stormwater management, or utility work; significant landscaping; or significant building remodeling or expansion generally requires professionals in the associated fields to help out.

For simpler projects, submit thorough, legible, and accurate plans

For less complicated proposals, it is certainly acceptable to prepare plans yourself rather than paying to have them prepared by a professional. However, keep in mind that even though the project may be less complex, the City's staff and consultants still need to ensure that your proposal meets all City requirements. Therefore, such plans must be prepared with care. Regardless of the complexity, all site, building, and floor plans should:

1. Be drawn to a recognized scale and indicate what the scale is (e.g., 1 inch = 40 feet).
2. Include titles and dates on all submitted documents in case pieces of your application get separated.
3. Include clear and legible labels that identify streets, existing and proposed buildings, parking areas, and other site improvements.
4. Indicate what the property and improvements look like today versus what is being proposed for the future.
5. Accurately represent and label the dimensions of all lot lines, setbacks, pavement/parking areas, building heights, and any other pertinent project features.
6. Indicate the colors and materials of all existing and proposed site/building improvements.
7. Including color photos with your application is one inexpensive and accurate way to show the current condition of the site. Color catalog pages or paint chips can be included to show the appearance of proposed signs, light fixtures, fences, retaining walls, landscaping features, building materials, or other similar improvements.

Submit your application well in advance of the Plan and Architectural Review Commission meeting

The City normally requires that a complete application be submitted four weeks in advance of the Commission meeting when it will be considered. The further in advance you can submit your application, the better for you and everyone involved in reviewing the project. Additional review time may give the City's consultant staff and staff an opportunity to communicate with you about potential issues with your project or application and allow you time to efficiently address those issues before the Plan and Architectural Review Commission meeting. Be sure to provide reliable contact information on your application form and be available to respond to such questions or requests in a timely manner.

For more complex projects, submit your project for conceptual review

A conceptual review can be accomplished in several ways depending on the nature of your project and your desired outcomes.

1. Preliminary plans may be submitted to City staff and/or planning consultant for a quick, informal review. This will allow you to gauge initial reactions to your proposal and help you identify key issues;
2. You may request a sit-down meeting with the Neighborhood Services Manager/ City Planner to review and more thoroughly discuss your proposal; and/or

3. You can ask to be placed on a Plan and Architectural Review Commission meeting agenda to present and discuss preliminary plans with the Commission and gauge its reaction before formally submitting your development review application.

Overall, conceptual reviews almost always save time, money, stress, and frustration in the long run for everyone involved. For this reason, the City will absorb up to \$200 in consultant review costs for conceptual review of each project.

Hold a neighborhood meeting for larger and potentially more controversial Projects

If you believe your project falls into one or both of these two categories (City staff can help you decide), one way to help the formal development review process go more smoothly is to host a meeting for the neighbors and any other interested members of the community. This would happen before any Plan and Architectural Review Commission meeting and often before you even submit a formal development review application.

A neighborhood meeting will give you an opportunity to describe your proposal, respond to questions and concerns, and generally address issues in an environment that is less formal and potentially less emotional than a Plan and Architectural Review Commission meeting. Neighborhood meetings can help you build support for your project, understand others' perspectives on your proposals, clarify misunderstandings, and modify the project and alleviate public concerns before the Plan and Architectural Review Commission meetings. Please notify the Neighborhood Services Manager / City Planner of your neighborhood meeting date, time, and place; make sure all neighbors are fully aware (City staff can provide you a mailing list at no charge); and document the outcomes of the meeting to include with your application.

Typical City Planning Consultant Development Review Costs

The City often utilizes assistance from a planning consultant to analyze requests for land development approvals against City plans and ordinances and assist the City's Plan and Architectural Review Commission and City Council on decision making. Because it is the applicant who is generating the need for the service, the City's policy is to assign most consultant costs associated with such review to the applicant, as opposed to asking the general taxpayer to cover these costs.

The development review costs provided below represent the planning consultant's range of costs associated with each particular type of development review. This usually involves some initial analysis of the application well before the public meeting date, communication with the applicant at that time if there are key issues to resolve before the meeting, further analysis and preparation of a written report the week before the meeting, meeting attendance, and sometimes minor follow-up after the meeting. Costs vary depending on a wide range of factors, including the type of application, completeness and clarity of the development application, the size and complexity of the proposed development, the degree of cooperation from the applicant for further information, and the level of community interest. The City has a guide called "Tips for Minimizing Your Development Review Costs" with information on how the applicant can help control costs.

Type of Development Review Being Requested	Planning Consultant Review Cost Range
Minor Site/Building Plan (e.g., minor addition to building, parking lot expansion, small apartment, downtown building alterations)	
When land use is a permitted use in the zoning district, and for minor downtown building alterations	Up to \$600
When use also requires a conditional use permit, and for major downtown building alterations	\$700 to \$1,500
Major Site/Building Plan (e.g., new gas station/convenience store, new restaurant, supermarket, larger apartments, industrial building)	
When land use is a permitted use in the zoning district	\$700 to \$2,000
When land use also requires a conditional use permit	\$1,600 to \$12,000
Conditional Use Permit with no Site Plan Review (e.g., home occupation, sale of liquor request, substitution of use in existing building)	\$up to \$600
Rezoning	
To a standard (not PCD) zoning district	\$400 to \$2,000
To Planned Community Development zoning district, assuming complete GDP & SIP application submitted at same time	\$2,100 to \$12,000
Land Division	
Certified Survey Map	Up to \$300
Preliminary Subdivision Plat	\$1,500 to \$3,000
Final Plat (does not include any development agreement time)	\$500 to \$1,500
Annexation	\$200 to \$400

**Note: The City also retains a separate engineering consultant, who is typically involved in larger projects requiring stormwater management plans, major utility work, or complex parking or road access plans. Engineering costs are not included above, but will also be assigned to the development review applicant. The consultant planner and engineer closely coordinate their reviews to control costs.

Cost Recovery Certificate and Agreement

The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, and recreation specialists) to assist in the City's review of an application for development review coming before the Plan and Architectural Review Commission, Board of Zoning Appeals, and/or Common Council. In fact, most applications require some level of review by the City's planning consultant. City of Whitewater staff shall retain sole discretion in determining when and to what extent it is necessary to involve a professional consultant in the review of an application.

The submittal of an application or petition for development review by an applicant shall be construed as an agreement to pay for such professional review services associated with the application or petition. The City may apply the charges for these services to the applicant and/or property owner in accordance with this agreement. The City may delay acceptance of an application or petition (considering it incomplete), or may delay final action or approval of the associated proposal, until the applicant pays such fees or the specified percentage thereof. Development review fees that are assigned to the applicant, but that are not actually paid, may then be imposed by the City as a special charge on the affected property.

Section A: Background Information

----- To be filled out by the Applicant/Property Owner -----

Name of Applicant: MICHAEL KACHEC - DLK ENTERPRISES, LLC.

Applicant's Mailing Address: PO BOX 239
Whitewater, WI 53190

Applicant's Phone Number: 262-473-5321

Applicant's Email Address: MIKE K. WILDAIRY@1DCNET.COM

Project Information:

Name/Description of Development: _____

Address of Development Site: 158 N. TRUTH ST.

Tax Key Number(s) of Site: 1WUP 00166E

Property Owner Information (if different from applicant):

Name of Property Owner: _____

Property Owner's Mailing Address: _____

Section B: Applicant/Property Owner Cost Obligations

----- To be filled out by the Neighborhood Services Department -----

Under this agreement, the applicant shall be responsible for the costs indicated below. In the event the applicant fails to pay such costs, the responsibility shall pass to the property owner, if different. Costs may exceed those agreed to herein only by mutual agreement of the applicant, property owner, and City. If and when the City believes that actual costs incurred will exceed those listed below, for reasons not anticipated at the time of application or under the control of the City administration or consultants, the Neighborhood Services Director or his agent shall notify the applicant and property owner for their approval to exceed such initially agreed costs. If the applicant and property owner do not approve such additional costs, the City may, as permitted by law, consider the application withdrawn and/or suspend or terminate further review and consideration of the development application. In such case, the applicant and property owner shall be responsible for all consultant costs incurred up until that time.

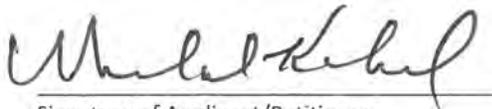
- A. Application Fee.....\$ _____
- B. Expected Planning Consultant Review Cost\$ _____
- C. Total Cost Expected of Applicant (A+B)\$ _____
- D. 25% of Total Cost, Due at Time of Application.....\$ _____
- E. Project Likely to Incur Additional Engineering or Other Consultant Review Costs? < Yes < No

The balance of the applicant's costs, not due at time of application, shall be payable upon applicant receipt of one or more itemized invoices from the City. If the application fee plus actual planning and engineering consultant review costs end up being less than the 25% charged to the applicant at the time of application, the City shall refund the difference to the applicant.

Section C: Agreement Execution

----- To be filled out by the Applicant and Property Owner -----

The undersigned applicant and property owner agree to reimburse the City for all costs directly or indirectly associated with the consideration of the applicant's proposal as indicated in this agreement, with 25% of such costs payable at the time of application and the remainder of such costs payable upon receipt of one or more invoices from the City following the execution of development review services associated with the application.



Signature of Applicant/Petitioner

Michael Kacuse

Printed Name of Applicant/Petitioner

11.10.14

Date of Signature

Signature of Property Owner (if different)

Printed Name of Property Owner (if different)

Date of Signature



CALL TOLL FREE 1-800-242-8511
 MILWAUKEE AREA 414-259-1181
 FAX A LOCATE 1-800-338-3860
 TDD (HEARING IMPAIRED) 1-800-542-2289
 ONLINE: www.DiggersHotline.com

WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF THREE (3) WORKING DAYS NOTICE PRIOR TO EXCAVATION.

ISSUANCES	REVISIONS
PLAN COMMISSION SUBMITTAL - 08/15/2015	

Angus Young
 Architecture
 Engineering
 Interior Design

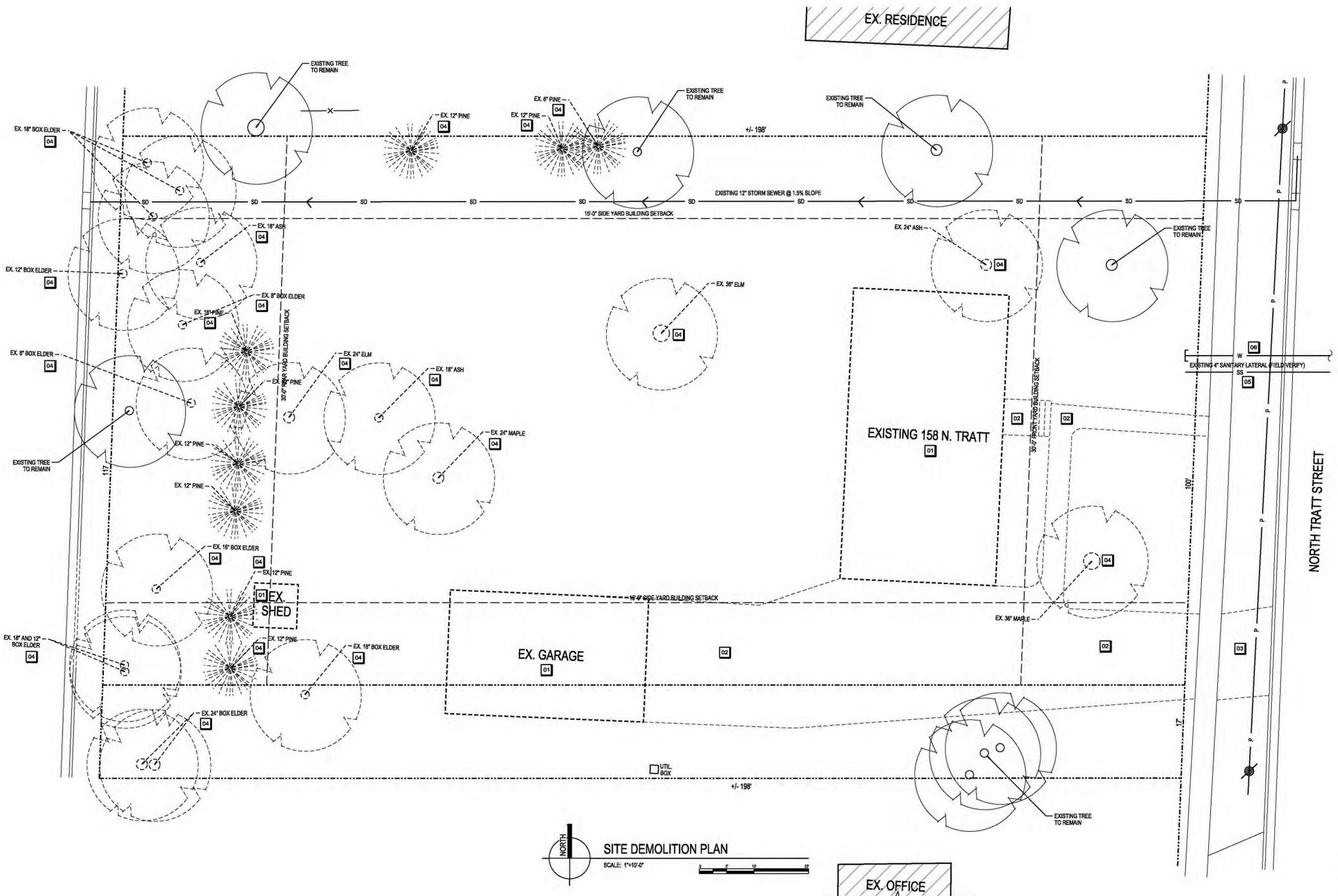
Balance in Creativity
 555 South River Street, Janesville, WI 53548-4783
 Ph: 608.756.2326 Fax: 608.756.0464
 www.angusyoung.com

158 TRATT STREET
 SIX-UNIT APARTMENT BUILDING
 DLK ENTERPRISES
 WHITEWATER, WISCONSIN

PROJECT NUMBER: 54980
 APPROVED BY: J.H.
 REVIEWED BY: J.C.T.
 DRAWN BY: K.A.U.
 9/15/2014 12:44:56 PM

SITE DEMOLITION PLAN
C100

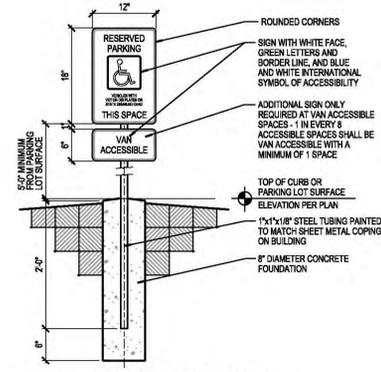
Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.



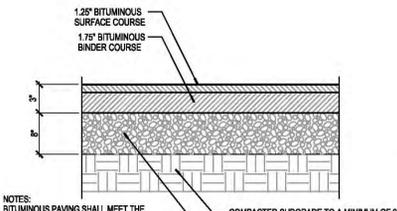
- SITE GENERAL NOTES**
- TRUE NORTH MAY VARY FROM PROJECT NORTH.
 - CONSTRUCTION PRACTICES, MEANS AND METHODS, AND JOB SITE SAFETY, SHALL REMAIN THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE FEDERAL OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA), AND ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES AS THEY PERTAIN TO THIS PROJECT.
 - FIELD VERIFY ALL EXISTING AND PROPOSED UTILITIES, ELEVATIONS AND DIMENSIONS.
 - COORDINATE WITH THE AUTHORITY HAVING JURISDICTION AND UTILITY COMPANIES AS NECESSARY.
- KEYNOTES**
- 01** REMOVE EXISTING BUILDING
 - 02** REMOVE EXISTING PAVEMENT
 - 03** EXISTING DRIVEWAY OPENING. DRIVEWAY OPENING WILL BE ENLARGED, SEE SITE LAYOUT PLAN C101.
 - 04** EXISTING TREES TO BE CLEARED AND GRUBBED.
 - 05** EXISTING 4" SANITARY LATERAL TO BE INTERCEPTED FOR NEW BUILDING. COORDINATE WITH DEMOLITION OF EXISTING BUILDING AND CONSTRUCTION OF NEW BUILDING.
 - 06** CAP AND ABANDON EXISTING 36" WATER LATERAL IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS. COORDINATE WITH BUILDING DEMOLITION.

ORIGINAL SIZE: 24" x 36"
 XS:158000054980000100.dgn

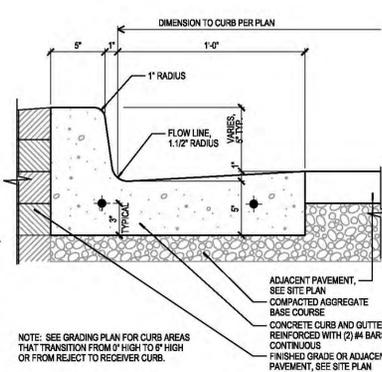
PRELIMINARY - NOT FOR CONSTRUCTION



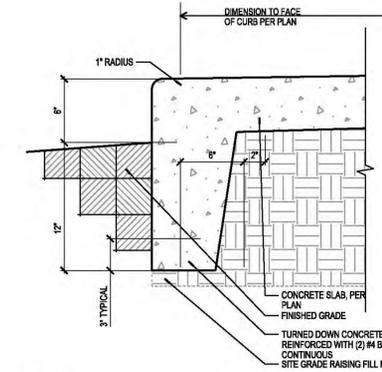
24 SINGLE PARKING SPACE BARRIER-FREE SIGN DETAIL
SCALE: 3/4"=1'-0"



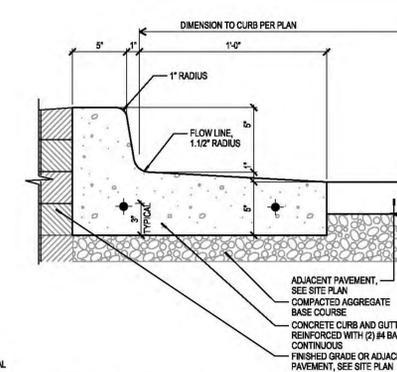
20 BITUMINOUS PAVING DETAIL
SCALE: 1"=1'-0"



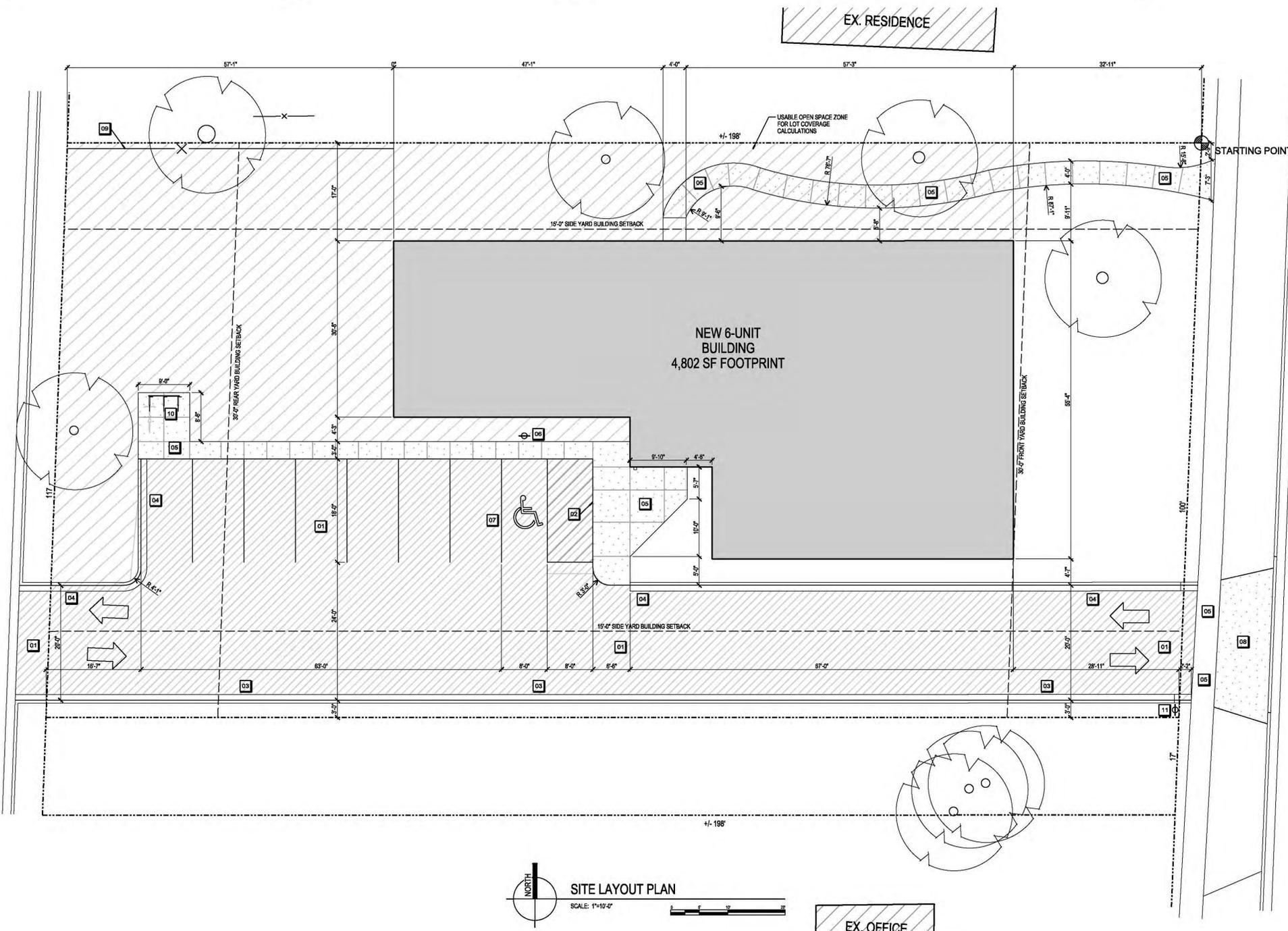
16 RECEIVER CURB AND GUTTER SECTION
SCALE: 1 1/2"=1'-0"



12 TURNDOWN CURB SECTION
SCALE: 1 1/2"=1'-0"



08 REJECT CURB AND GUTTER SECTION
SCALE: 1 1/2"=1'-0"



SITE LAYOUT PLAN
SCALE: 1"=10'-0"



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ONLINE: www.DiggersHotline.com
WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF THREE (3) WORKING DAYS NOTICE PRIOR TO EXCAVATION.

DLK 6-UNIT DEVELOPMENT - SITE CALCULATIONS			
Zoning District:	R-3A Multifamily Residence		
Setbacks:	Max. 40% Lot Coverage	Provided Lot Coverage, sf	
30'-0"	Street Yard	1,200 sf	724
15'-0"	Side Yard	2,377 sf	1,928
30'-0"	Rear Yard	1,200 sf	1,084
Building Height:	45'-0"		
Use:	Conditional Use - Multifamily over 4 units		

Lot Area Before Lot Reduction			
Existing Buildings	2,392 sf	0.05 ac	
Existing Pavement	2,476 sf	0.06 ac	
Total Existing Impervious	4,868 sf	0.11 ac	21%
Remainder Greenspace	18,295 sf	0.42 ac	79%

Lot Area After Lot Reduction			
New Building	4,802 sf	0.11 ac	
New Pavement	6,758 sf	0.16 ac	
Total Impervious	11,560 sf	0.27 ac	58%
Remainder Greenspace	8,240 sf	0.19 ac	42%

LOT AREA CALCULATIONS (19.22.040) - 6 UNIT (158 N. Tratt)					
Provide a minimum parcel size of 3,500 sf for 3-bedroom units, plus an additional 300 sf for each bedroom over 3.					
	# of Units	Req. Lot Area per Unit	Total (sf)	# of Bedrooms	# Stalls Required (3 stalls per unit)
3-Bedroom	2	2,800 sf	5,600 sf	8	6 stalls
4-Bedroom	4	3,040 sf	12,160 sf	16	12 stalls
Minimum Lot Area Required:			17,760 sf	24	18 required
Lot Area Provided:			19,800 sf	8	provided

LOT COVERAGE (19.21.070) - 6 UNIT (158 N. Tratt)			
Provide 350 sf usable open space for each dwelling unit for structures with 2 or more units. Not allowed in front or corner side yards.			
# of Units	6	350 sf	2,100 sf
			Required Usable Open Space
			5,403 sf
			Provided Usable Open Space

Alternatively, provide min. 10% of lot area as usable open space: 1,980 sf

- SITE GENERAL NOTES**
- TRUE NORTH MAY VARY FROM PROJECT NORTH.
 - CONSTRUCTION PRACTICES, MEANS AND METHODS, AND JOB SITE SAFETY, SHALL REMAIN THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE FEDERAL OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA), AND ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES AS THEY PERTAIN TO THIS PROJECT.
 - FIELD VERIFY ALL EXISTING AND PROPOSED UTILITIES, ELEVATIONS AND DIMENSIONS.
 - COORDINATE WITH THE AUTHORITY HAVING JURISDICTION AND UTILITY COMPANIES AS NECESSARY.
 - BUILDING SHALL BE ORIENTED PARALLEL AND PERPENDICULAR TO NORTH PROPERTY LINE AS SHOWN ON DRAWING.
 - ALL EXTERIOR CONCRETE SIDEWALKS AND YARD SLABS SHALL BE 4,000 PSI. ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI UNLESS NOTED OTHERWISE.
 - NO DUMPSTER ENCLOSURE WILL BE PROVIDED ON THIS SITE; DUMPSTER AT 144 N. TRATT WILL BE SHARED WITH THIS PROPERTY.

- KEYNOTES**
- 01 NEW BITUMINOUS PAVEMENT, SEE DETAIL 20/C101
 - 02 NEW TURN-DOWN CURB, SEE DETAIL 12/C101
 - 03 NEW RECEIVER CURB, SEE DETAIL 16/C101
 - 04 NEW REJECT CURB, SEE DETAIL 08/C101
 - 05 NEW CONCRETE SIDEWALK, SEE DETAILS 02/C101 AND 21/C101. ALL SIDEWALKS AT DRIVEWAY OPENINGS SHALL BE 6" THICK.
 - 06 NEW BARRIER-FREE PARKING SIGNAGE. COORDINATE WITH UNDERGROUND UTILITY LOCATIONS. SEE DETAIL 24/C101.
 - 07 4" PAINT STRIPE - TYPICAL.
 - 08 NEW CONCRETE DRIVEWAY APRON BETWEEN STREET CURB AND PUBLIC SIDEWALK, 6" THICK TYP. PROVIDE A NEW DRIVEWAY-TYPE CURB AND GUTTER, OR REMOVE EXISTING CURB HEAD WITH A HORIZONTAL PROFILE CURB.
 - 09 NEW DOG-EARED WOOD FENCE, SEE DETAIL 03/C101.
 - 10 NEW BIKE RACK
 - 11 NEW STOP SIGN

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158 TRATT STREET
SIX-UNIT APARTMENT BUILDING
DLK ENTERPRISES
WHITEWATER, WISCONSIN

PROJECT NUMBER: 54980
APPROVED BY: J.H.
REVIEWED BY: J.C.T.
DRAWN BY: K.A.U.
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SITE LAYOUT PLAN

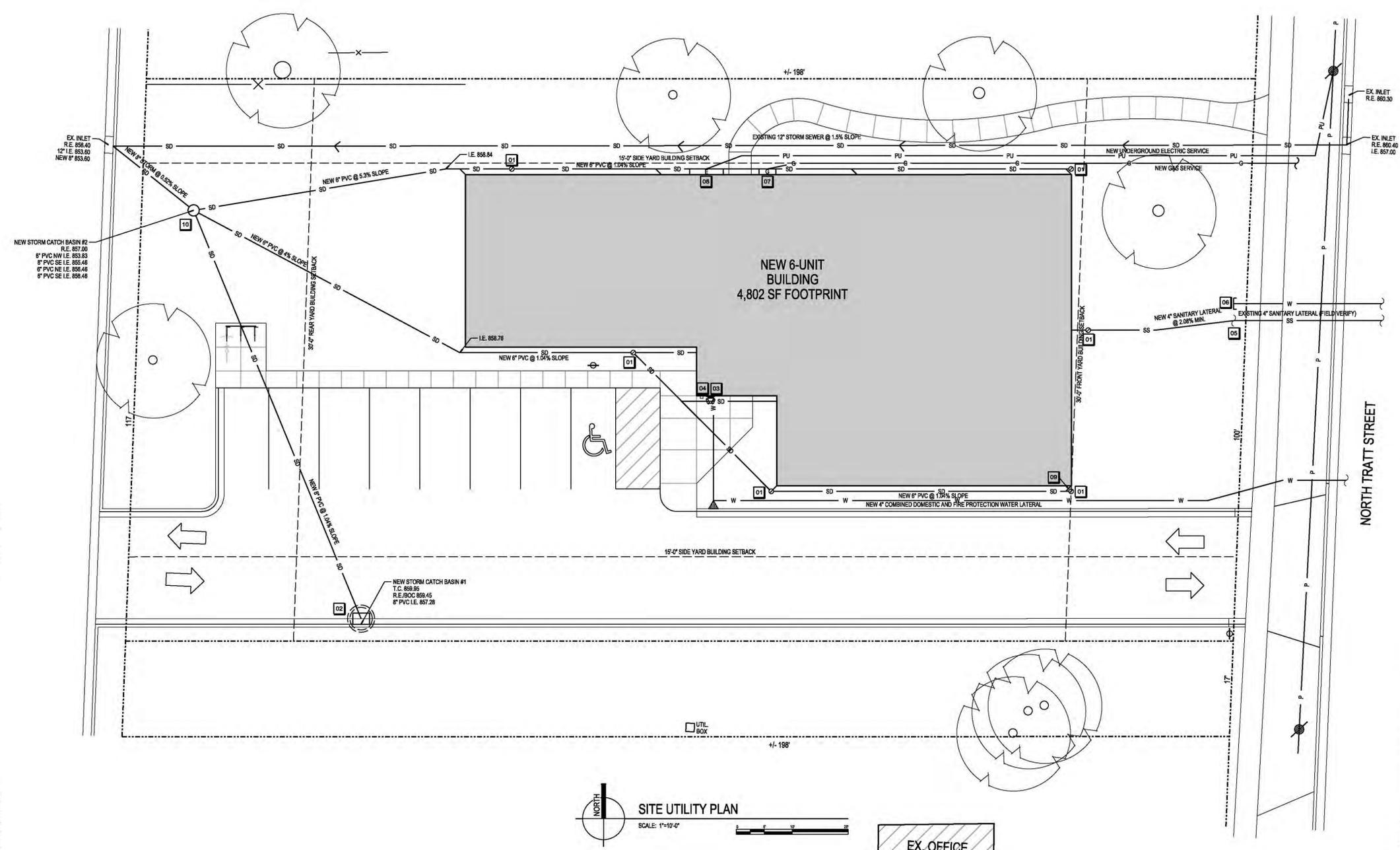
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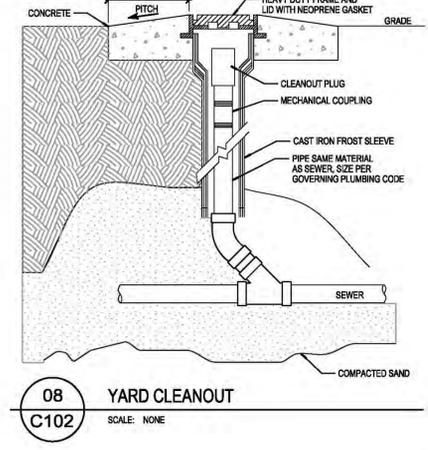
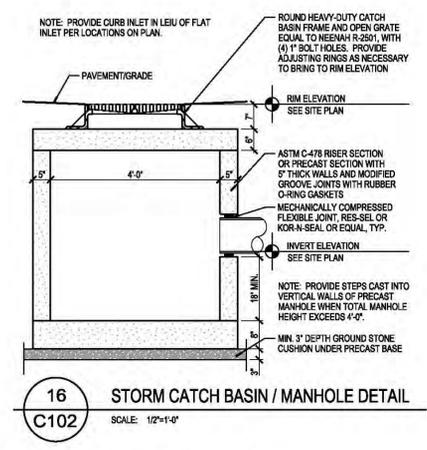
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ORIGINAL SIZE: 24" x 36"
XC1581802436000C101.dgn

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SITE UTILITY PLAN
SCALE: 1"=10'-0"



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FAX A LOCATE 1-800-338-3860
TDD (HEARING IMPAIRED) 1-800-542-2289
ONLINE: www.DiggersHotline.com
WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF THREE (3) WORKING DAYS NOTICE PRIOR TO EXCAVATION.

SITE LINE LEGEND	
---	PROPERTY LINE
---	SETBACK LINE
---	EASEMENT LINE
---	EXISTING INTERMEDIATE CONTOUR
---	EXISTING INDEX CONTOUR
---	NEW INTERMEDIATE CONTOUR
---	NEW INDEX CONTOUR
---	PAVEMENT
---	FENCE
SD	STORM DRAIN
SS	SANITARY SEWER
W	WATER
PW	PUBLIC WATER MAIN
G	GAS
P	ELECTRICAL POWER
PU	UNDERGROUND ELECTRICAL POWER
T	TELEPHONE
TU	UNDERGROUND TELEPHONE
CATV	CABLE

NOTE: ALL LINE TYPES MAY NOT BE USED IN THIS SET.

- SITE UTILITY PLAN GENERAL NOTES**
- TRUE NORTH MAY VARY FROM PROJECT NORTH.
 - CONSTRUCTION PRACTICES, MEANS AND METHODS, AND JOB SITE SAFETY, SHALL REMAIN THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
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 - FIELD VERIFY ALL EXISTING AND PROPOSED UTILITIES, ELEVATIONS AND DIMENSIONS.
 - COORDINATE RELOCATION OF ANY UTILITIES WITH THE UTILITY COMPANIES. NOTIFY THE ELECTRICAL UTILITY OF ANY EXCAVATION ADJACENT TO HIGH VOLTAGE LINES. PROTECT ALL UTILITIES TO REMAIN.
 - DIGGERS HOTLINE SHALL BE CALLED TO MARK UTILITIES PRIOR TO LAND DISTURBANCE.
 - COORDINATE WITH THE AUTHORITY HAVING JURISDICTION AND UTILITY COMPANIES AS NECESSARY.
 - PROVIDE THRUST BLOTTING AND PIPE JOINT RESTRAINT FOR DUCTILE IRON WATER LATERALS. PROVIDE WATER CONNECTIONS AND CONTROL VALVES IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
 - ANY SIDEWALK CURB AND GUTTER AND PAVEMENT THAT ADJUTS THE PROPERTY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED PER LOCAL REQUIREMENTS.
 - TRACER WIRE SHALL BE INSTALLED ABOVE ALL SANITARY, STORM AND WATER LATERALS THAT CONNECT TO A PUBLIC UTILITY. TRACER WIRE SHALL BE A MINIMUM OF 12 GAUGE, PLASTIC-COATED COPPER WIRE BURIED WITHIN 6" AND DIRECTLY ABOVE THE TOP OF THE PIPE. THE TRACER WIRE SHALL BE BROUGHT TO THE SURFACE AT LEAST EVERY 400'. PROTECT THE WIRE AT THE ACCESS POINTS. THE COLOR OF THE TRACER WIRE SHALL BE AS FOLLOWS:
- GREEN FOR SANITARY SEWER
- BROWN FOR STORM SEWER
- BLUE FOR POTABLE WATER
 - PROVIDE TRENCH BEDDING, UTILITY TRENCHES UNDER CONCRETE PAVEMENT SHALL UTILIZE FLOWABLE FILL IN AREAS DIFFICULT TO COMPACT TO PREVENT CONCRETE CRACKING.
 - RESTORE ALL AREAS TO SEEDDED LAWN UNLESS NOTED OTHERWISE.

- KEYNOTES**
- NEW YARD CLEANOUT, SEE DETAIL 08C102. FIELD VERIFY ELEVATIONS.
 - NEW STORM CATCH BASIN, SEE DETAIL 12C102
 - NEW FIRE DEPARTMENT CONNECTION
 - NEW KNOX BOX, COORDINATE LOCATION WITH FIRE DEPARTMENT
 - INTERCEPT EXISTING SANITARY LATERAL FOR NEW BUILDING, COORDINATE WITH EXISTING BUILDING DEMOLITION
 - CAP AND ABANDON EXISTING 3/4" WATER LATERAL IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
 - NEW GAS METER
 - NEW ELECTRIC METERS (6) AND TERMINATION BOX, COORDINATE WITH WE ENERGIES
 - CONNECT DOWNSPOUTS TO STORM, TYP. SEE DETAIL 07C901
 - NEW STORM CATCH BASIN WITH BEEHIVE GRATE, SIMILAR TO DETAIL 12C102

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PROJECT NUMBER: 54980
APPROVED BY: JKH
REVIEWED BY: JCT
DRAWN BY: KAU
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158 TRATT STREET
SIX-UNIT APARTMENT BUILDING
DLK ENTERPRISES
WHITEWATER, WISCONSIN

ISSUANCES
PLAN COMMISSION SUBMITTAL - 09/15/2015

REVISIONS

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 OF THREE (3) WORKING DAYS NOTICE PRIOR TO EXCAVATION.

**CONSTRUCTION SITE EROSION CONTROL
 REGULATIONS**

NR 151.05 Construction Site Performance Standards for Sites of Less than 1 Acre

Erosion and sediment control practices shall be constructed or installed before land disturbing activities begin. These practices shall be maintained until final stabilization. BMP's that are no longer necessary shall be removed by contractor.

The following BMP's shall be incorporated into this Erosion and Sediment Control Plan:

- * Seeding, per Wisconsin DNR Conservation Practice Standard No. 1059
- * Silt Fence, per Wisconsin DNR Conservation Practice Standard No. 1056
- * Stone Tracking Pad and Tire Washing, per Wisconsin DNR Conservation Practice Standard No. 1057
- * Storm Drain Inlet Protection for Construction Sites, per Wisconsin DNR Conservation Practice Standard No. 1060
- * Vegetative Buffer for Construction Sites, per Wisconsin DNR Conservation Practice Standard No. 1054
- * Stockpile protection

GRADING AND SEEDING NOTES

- 1 All disturbed areas shall be seeded and mulched immediately following grading activities.
- 2 All proposed grades are finished grades. Contractor shall verify all grades and ensure proper drainage. Contractor shall report any discrepancies to the design professional prior to completion.

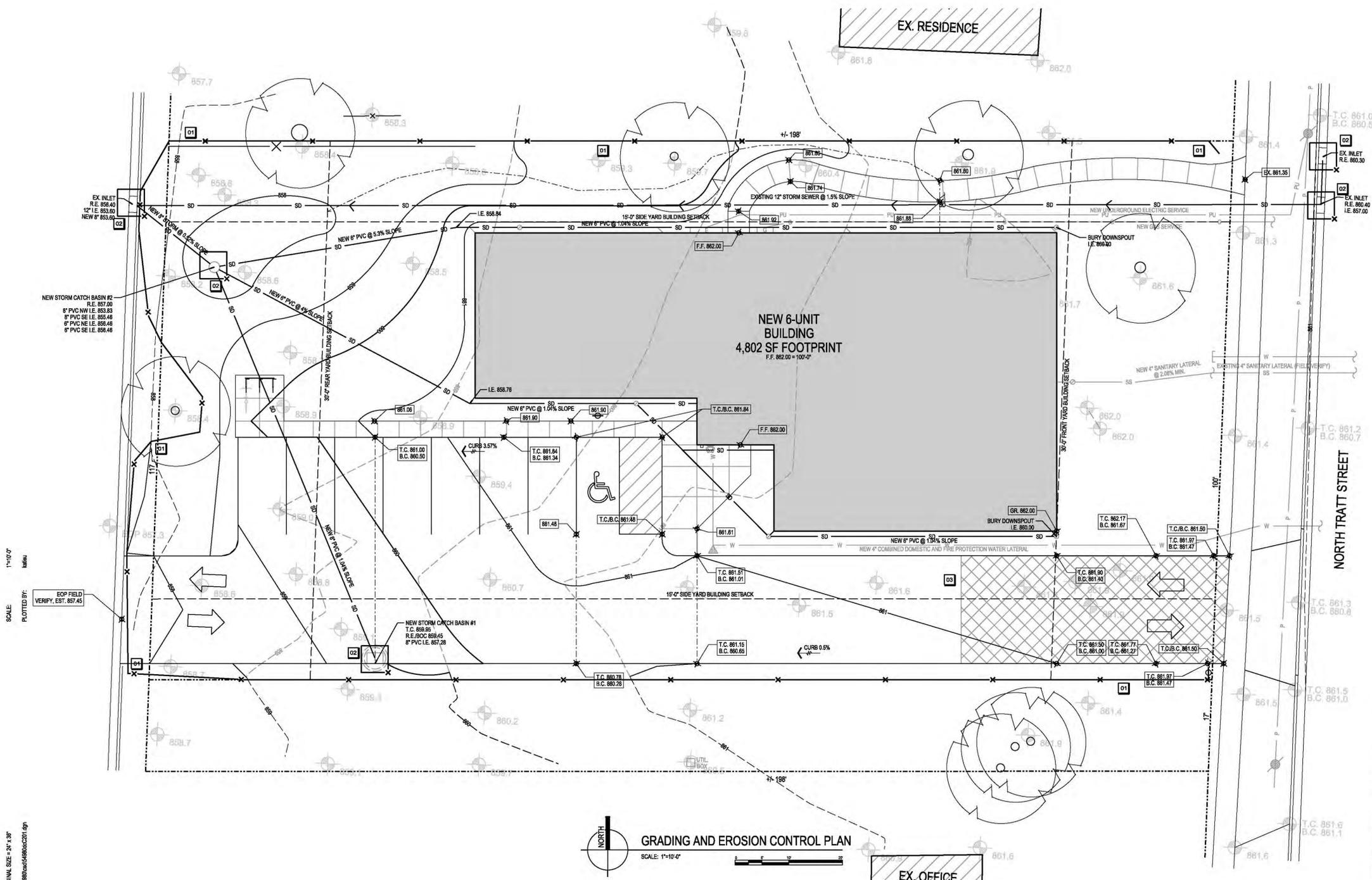
EROSION CONTROL LEGEND	
	INLET PROTECTION
	SILT FENCING
	CONSTRUCTION LIMITS

KEYNOTES

- 01** NEW SILT FENCING, SEE DETAIL 17/C801
- 02** NEW INLET PROTECTION, SEE DETAIL 19/C801
- 03** NEW TRACKING PAD, SEE DETAIL 06/C801

GENERAL NOTES

1. EXISTING GRADES ARE BASED ON SURVEY PROVIDED BY WOODMAN & ASSOCIATES. VERIFY ALL EXISTING AND PROPOSED ELEVATIONS PRIOR TO START OF CONSTRUCTION. VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES AND DRIVEWAY ENTRANCES.
2. CONTRACTOR SHALL COORDINATE GRADING AND INSTALLATION OF DRIVES IN R.O.W. WITH APPROPRIATE GOVERNMENT AGENCIES. OBTAIN APPROPRIATE PERMITS FOR GRADING AND DRAINAGE IN ALL R.O.W.



GRADING AND EROSION CONTROL PLAN
 SCALE: 1"=10'-0"

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 APPROVED BY: J.H.
 REVIEWED BY: J.C.T.
 DRAWN BY: K.A.U.
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ISSUANCES:
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REVISIONS:

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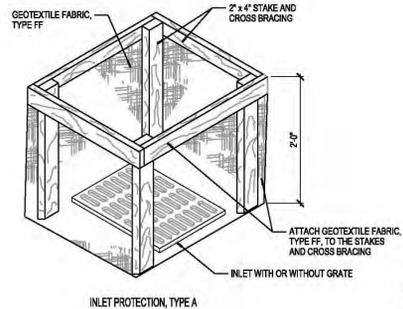
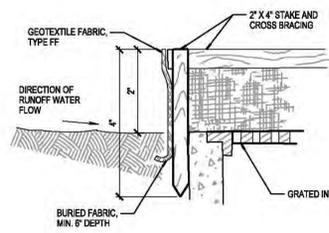
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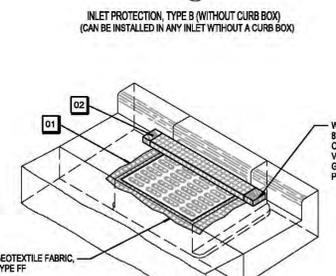
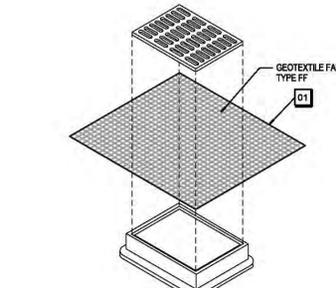


KEYNOTES

- 01** FINISHED SIZE, INCLUDED FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10\"/>

GENERAL NOTES

1. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
2. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

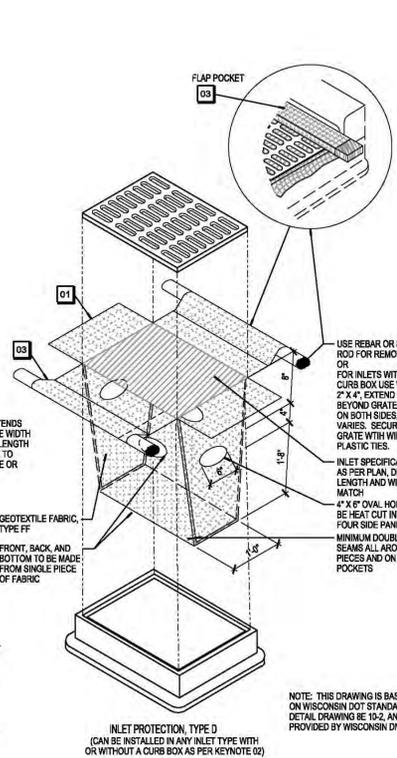


INSTALLATION NOTES - TYPE D:

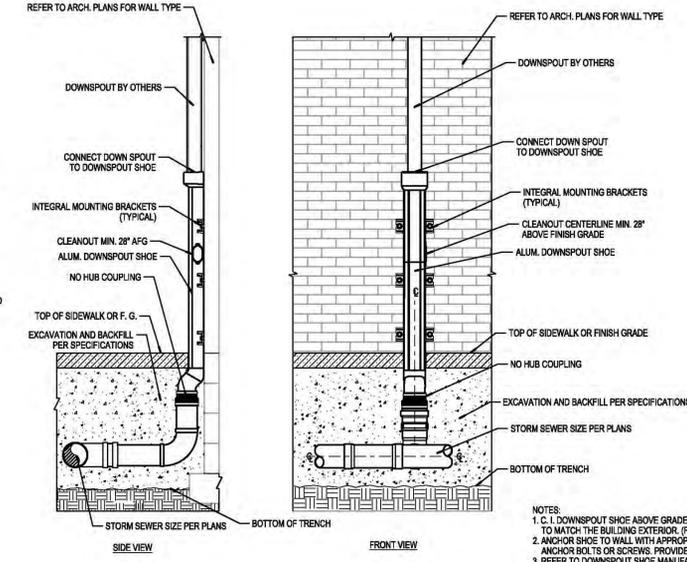
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30\"/>

INSTALLATION NOTES - TYPE B & C:

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3\"/>

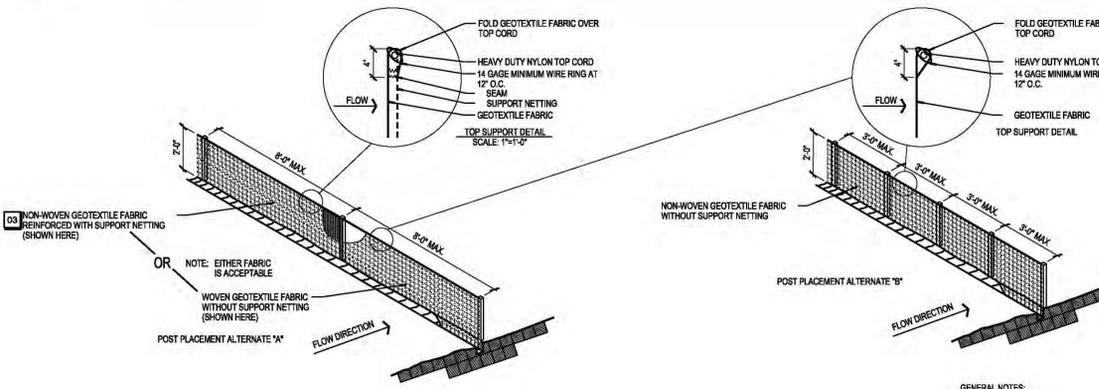


NOTE: THIS DRAWING IS BASED ON WISCONSIN DOT STANDARD DETAIL DRAWING BE 10-2, AND PROVIDED BY WISCONSIN DNR.

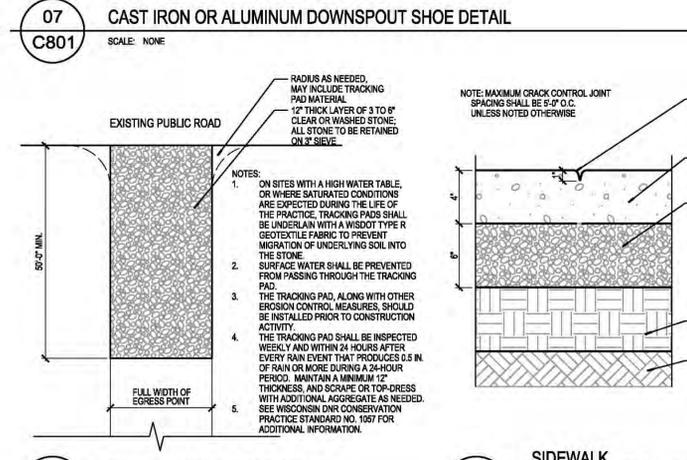


- NOTES:**
1. C. DOWNSPOUT SHOE ABOVE GRADE SHALL BE PAINTED TO MATCH THE BUILDING EXTERIOR. FIELD VERIFY.
 2. ANCHOR SHOE TO WALL WITH APPROPRIATE 3/8\"/>

19 C801 STORM DRAIN INLET PROTECTION
SCALE: 1/2\"/>

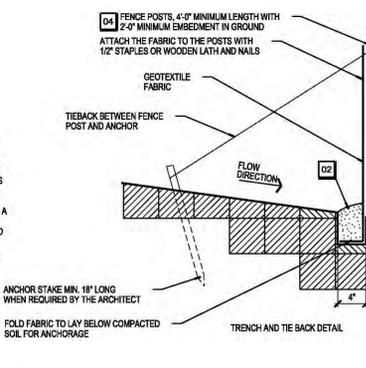


07 C801 CAST IRON OR ALUMINUM DOWNSPOUT SHOE DETAIL
SCALE: NONE

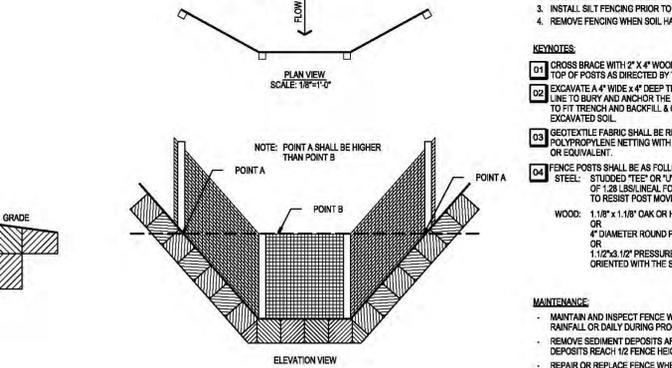


06 C801 STONE TRACKING PAD DETAIL
SCALE: 1/2\"/>

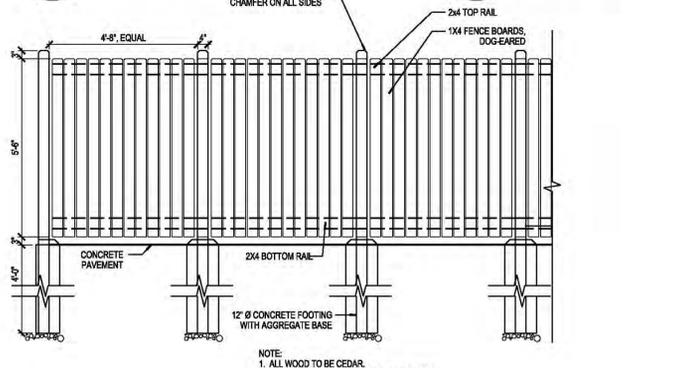
02 C801 SIDEWALK CRACK CONTROL JOINT DETAIL (CCJ)
SCALE: 1/2\"/>



21 C801 SIDEWALK EXPANSION JOINT DETAIL (EJ)
SCALE: 1/2\"/>



17 C801 OVERLAND FLOW SILT FENCE DETAILS
SCALE: NOT TO SCALE



05 C801 TYPICAL FENCE DETAIL
SCALE: 3/8\"/>

SCALE: 1/8\"/>

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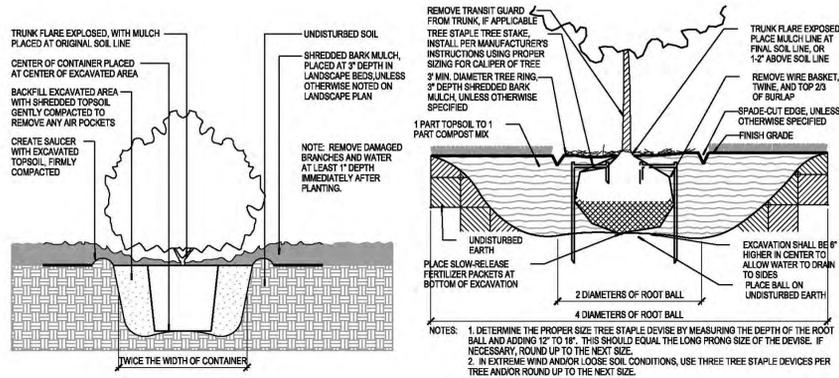
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LANDSCAPE PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	INSTALLED SIZE	ROOT	MATURE SIZE	QTY
TREES:						
GB	<i>Ginkgo biloba</i> 'Autumn Gold'	Autumn Gold Ginkgo	2" Cal.	B.B.	50' H x 30" W	1
MR	<i>Malus</i> 'Royal Raindrops'	Royal Raindrops Crabapple	1.5" Cal.	B.B.	20' H x 15" W	3
SHRUBS:						
EF	<i>Euonymus fortunei</i> 'Emerald Gaiety'	Variiegated Silver Euonymous	4.5 Gallon	Container	3' H x 5' W	7
HA	<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Hydrangea	4.5 Gallon	Container	4' H x 5' W	7
JS	<i>Juniperus sabinna</i> 'Buffalo'	Buffalo Saw Juniper	12-18" High	Cont.	18" H x 5' W	10
RA	<i>Rhus aromatica</i> 'Gro Low'	Gro Low Fragrant Sumac	18-24" H	2-4 Gallon	2-3' H x 5-6' W	6
SJ	<i>Spiraea japonica</i> 'Little Princess'	Little Princess Spirea	2-3 Gallon	Container	2' H x 3' W	10
SP	<i>Syringa patula</i> 'Miss Kim'	Miss Kim Dwarf Lilac	24-36" H	4-5 Gallon	5-6' H x 5-6' W	1
TM	<i>Taxus x media</i> 'Tauntoni'	Taunton Spreading Yew	18-24" High	Cont.	3' H x 4' W	3
VC	<i>Viburnum carlesii</i>	Koreanspice Viburnum	4.5 Gallon	Container	6' H x 6' W	1
PERENNIALS:						
AC	<i>Astilbe chinensis</i> 'Visions in Pink'	Visions in Pink Astilbe	Gallon		18" H x 18" W	20
CA	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	Gallon		5' H x 2' W	26
GJ	Geranium 'Johnson's Blue'	Johnson's Blue Geranium	Gallon		16" H x 12" W	11
HS	<i>Hemerocallis</i> 'Stella d'Oro'	Stella d'Oro Daylily	1 Gallon		18" H x 2' W	7
NF	<i>Nepeta faassenii</i> 'Blue Wonder'	Blue Wonder Catmint	4.5" Pot		15" H x 15" W	5
PD	<i>Penstemon digitalis</i> 'Husker Red'	Husker Red Beardtongue	4.5" Pot		40" H x 24" W	7
RH	<i>Rudbeckia hirta</i> 'Indian Summer'	Indian Summer Black-Eyed Susan	1 Gallon		30" H x 24" W	5

- ### LANDSCAPE GENERAL NOTES
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 - FIELD VERIFY ALL EXISTING AND PROPOSED UTILITIES, ELEVATIONS AND DIMENSIONS.
 - DIGGERS HOTLINE SHALL BE CALLED TO MARK UTILITIES PRIOR TO LAND DISTURBANCE.
 - RESTORE ALL AREAS TO SEEDED LAW UNLESS NOTED OTHERWISE.
 - ALL PLANTING BEDS SHALL RECEIVE 3" THICK WASHED LOCAL STONE MULCH (1" DIAMETER) WITH WEED BARRIER FABRIC AND BLACK ANODIZED ALUMINUM EDGING.
 - ALL INDIVIDUAL TREES SHALL RECEIVE 4" DIAMETER, 3" THICK SHREDDED BARK MULCH TREE RING WITH SPADE CUT EDGE. MULCH SHALL BE PULLED AWAY FROM TRUNK OF TREE TO PREVENT ROT.
 - ALL LAWN TO BE RESTORED WITH SEED AND EROSION MAT OR HYDROMULCH UNLESS NOTED OTHERWISE.
 - WISDOT URBAN TYPE B EROSION MAT SHALL BE PROVIDED ON SLOPES 4:1 OR GREATER.
 - SEE DETAILS 24L101 AND 20L101 FOR PLANTING DETAILS.



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LANDSCAPE SYMBOL LEGEND

	SHADE TREE
	ORNAMENTAL TREE
	EVERGREEN SHRUB OR TREE
	DECIDUOUS SHRUB
	ORNAMENTAL GRASS
	PERENNIAL
	EXISTING VEGETATION
	EXISTING EVERGREEN

NOTE: ALL SYMBOLS MAY NOT BE USED IN THIS SET.

WHITewater LANDSCAPE GUIDELINES

The following landscape guidelines are provided as a guide for this site. All requirements are noted as **MUST**, all recommendations are noted as **SHOULD**.

STREET FRONTAGE:
One deciduous tree **MUST** be planted for each 35' along a street right of way. Street trees shall be planted midway between the street curb and the sidewalk, or within 15' of the property line adjoining the street, but only if space is not available between the sidewalk and curb.
Linear Frontage 98 LF Along North Prince Street
3 Trees Required (1 tree per 35 LF frontage)
Note: 3 Trees Provided (Ornamental due to overhead power lines)

PAVED AREAS:
One large deciduous tree and 60 points of additional landscaping **SHOULD** be planted for each 1500 square feet of paved area. Plants should be installed in landscape islands or peninsulas within 15' of the paved area or within 15' of the edges of the paved area. Landscaped islands or peninsulas **MUST** be provided at the end of every parking row, and interior islands **SHOULD** be provided for every 20 parking stalls in nonindustrial projects.
Total Paved Area 6,277 sf
4.18 divided by 1,500
251.08 landscape points required

The following plants have been incorporated into the landscape plan:

Qty.	Type of Plant	Points per plant	Total Points
1	Large Deciduous Tree	150	150
1	Existing Deciduous Tree	150	150
1	Existing Evergreen Tree	40	40
subtotal points:			340

BUILDING FOUNDATION:
160 points of landscaping **SHOULD** be planted for each 100 LF of exterior building wall that is visible from public right of way and adjoining sites. Plantings should be installed within 15' of the building foundation.

LF Building Perimeter visible	Ratio	Total Landscape Points Required
327	3.3	523

The following plants have been incorporated into the landscape plan:

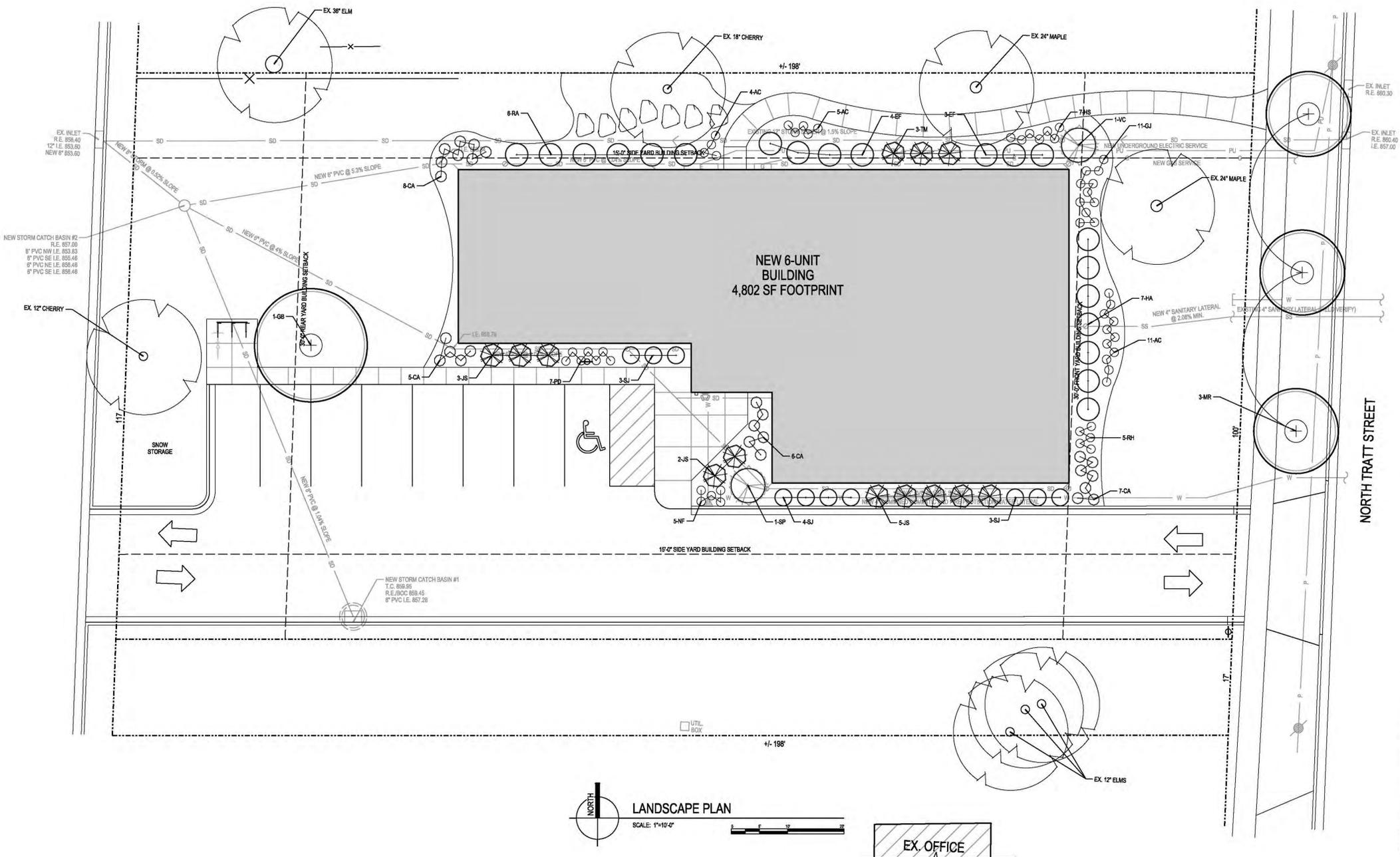
Qty.	Type of Plant	Points per plant	Total Points
44	Shrubs	20	880
470	Sf. Planting Bed	20	470
subtotal points:			1350

GENERAL YARD AREAS:
In other parts of the site, 200 additional points of landscaping **SHOULD** be planted for each 5,000 square feet of total site area. Most general yard area landscaping should be located in street-facing yards.

Remainder of Site Area, sf	Divide by 5,000	Total Landscape Points Required
8,321	1.7	333

The following plants have been incorporated into the landscape plan:

Qty.	Type of Plant	Points per plant	Total Points
5	Existing Deciduous Tree	150	750
4	Existing Evergreen Tree	40	160
subtotal points:			910



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REVIEWED BY: J.C.T.
DRAWN BY: KAU
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ISSUANCES:
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REVISIONS:

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SIX-UNIT APARTMENT BUILDING
DLK ENTERPRISES
WHITEWATER, WISCONSIN

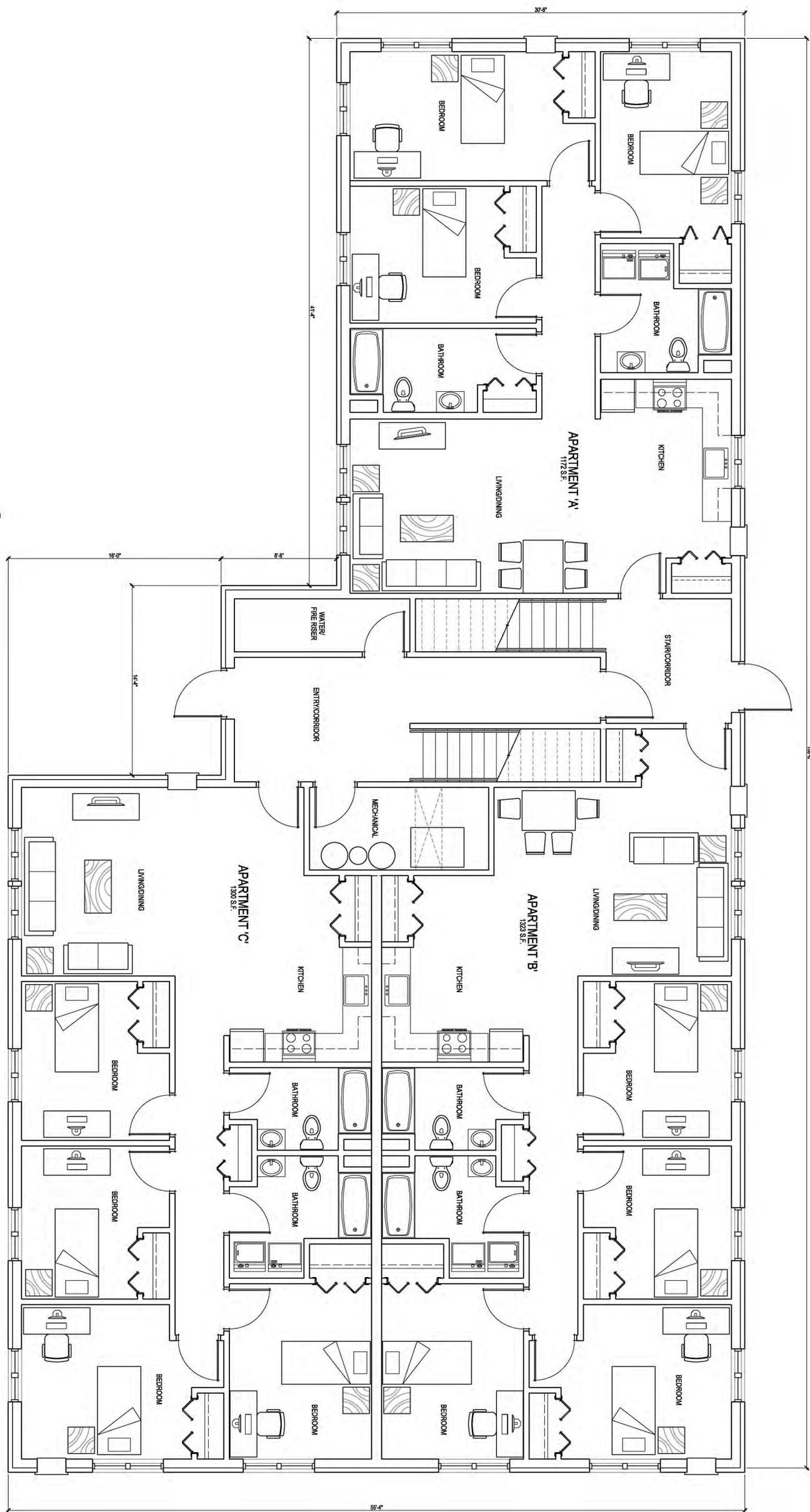
LANDSCAPE PLAN

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L101



FIRST FLOOR PLAN



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A101

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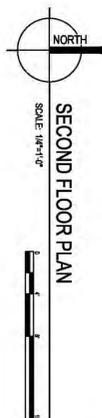
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PROJECT NUMBER	54880
APPROVED BY	JLH
REVIEWED BY	JCT
DRAWN BY	BTW
DATE	9/15/2014 3:31:10 PM

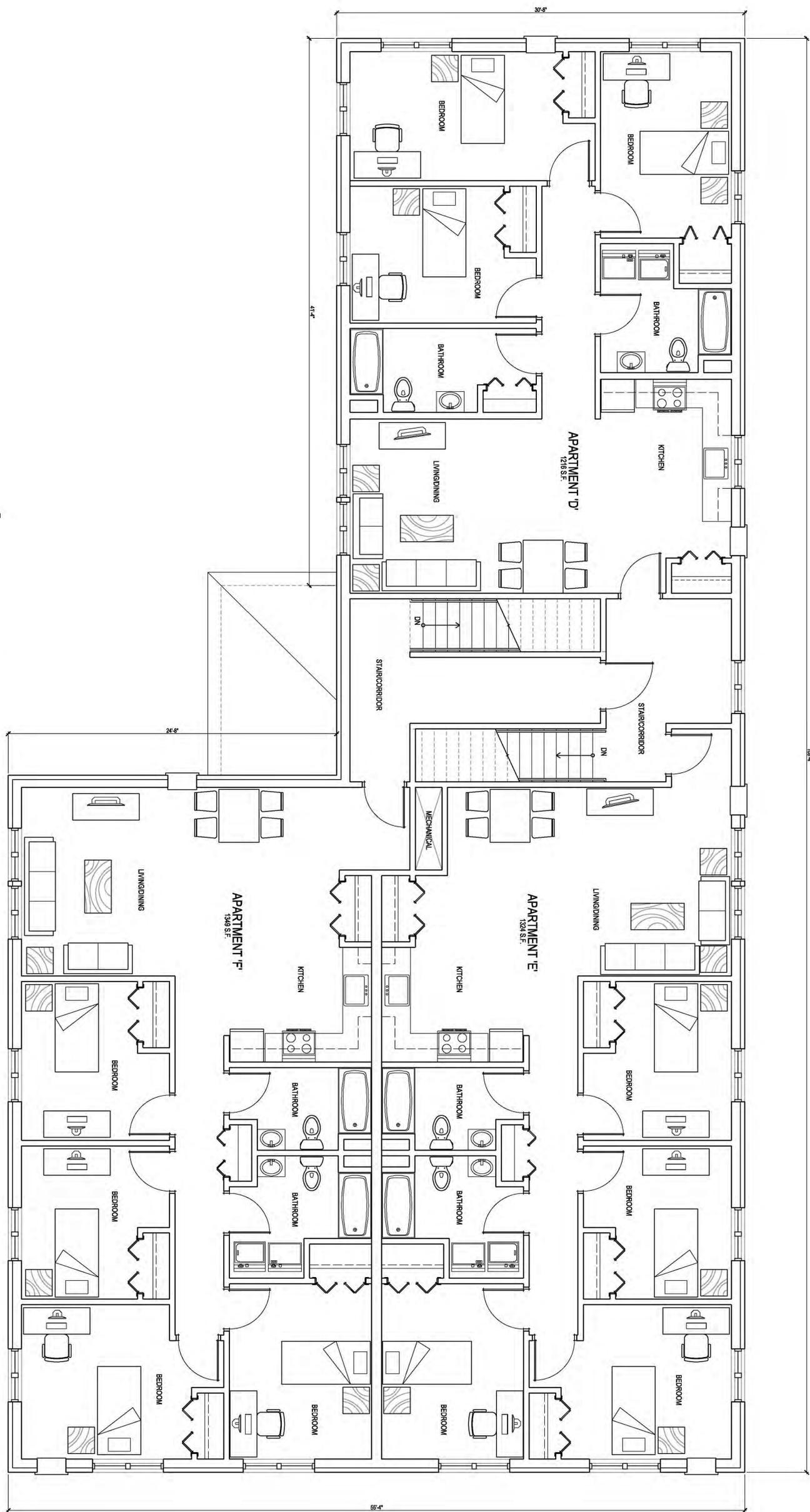
158 TRATT STREET
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 DLK ENTERPRISES
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SECOND FLOOR PLAN



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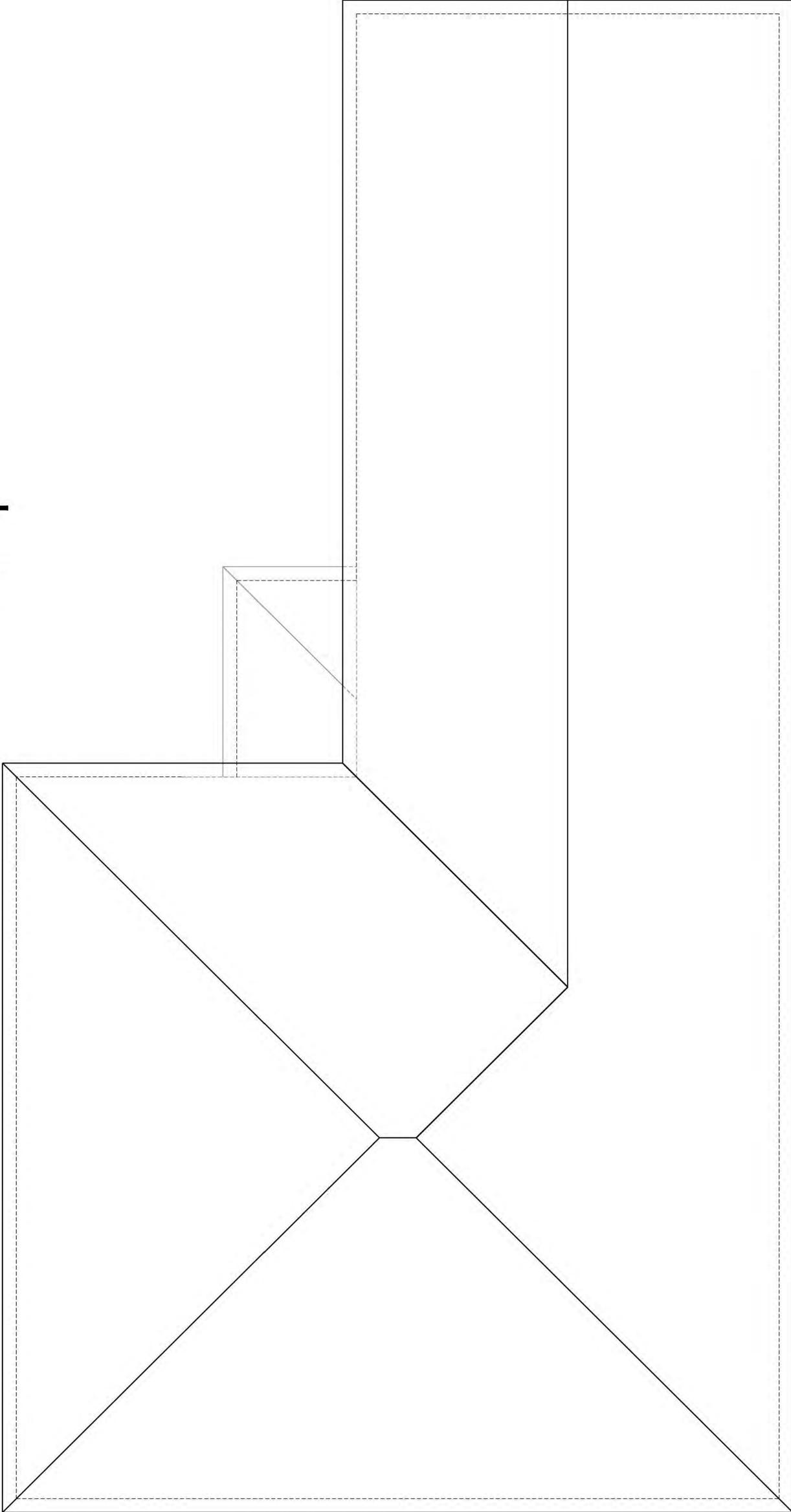
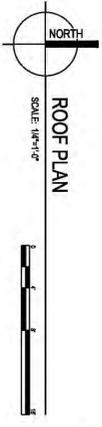
A102

PROJECT NUMBER	54880
APPROVED BY	JLH
REVIEWED BY	JCT
DRAWN BY	BTW
DATE	9/15/2014 3:31:11 PM

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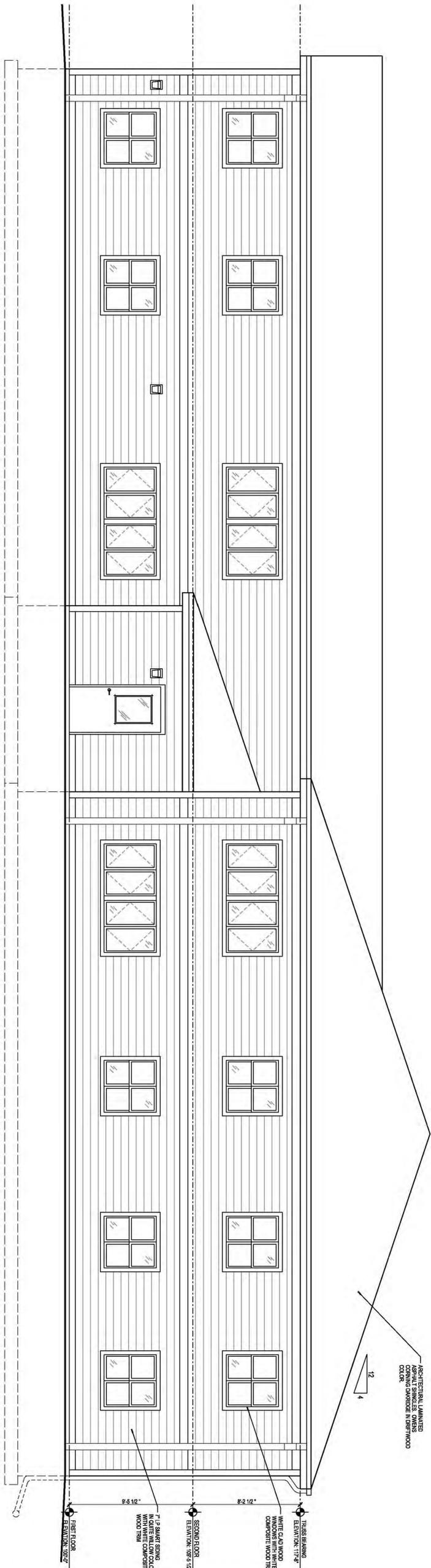
A103

PROJECT NUMBER
54880
APPROVED BY
JLH
REVIEWED BY
JCT
DRAWN BY
BTW
9/15/2014 3:31:13 PM

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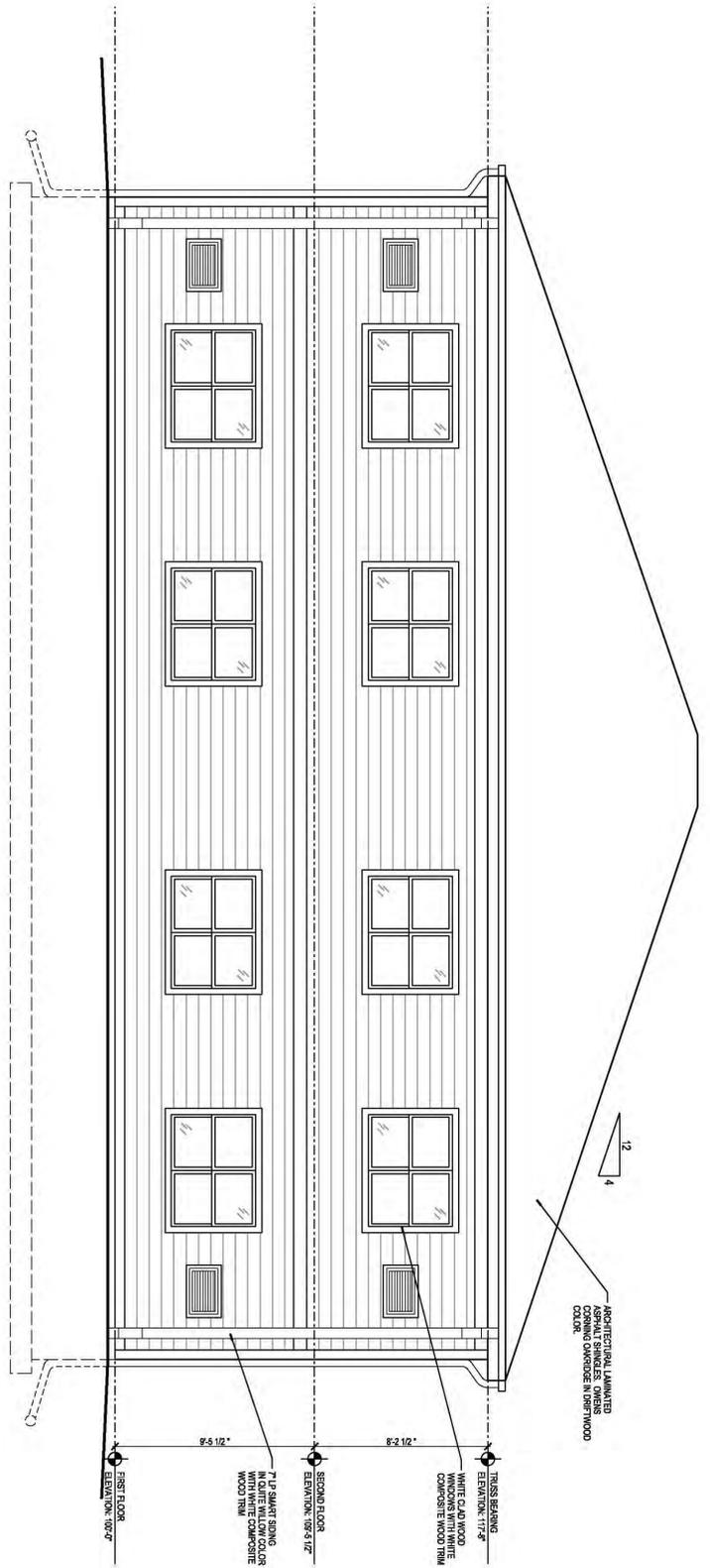
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05 SOUTH ELEVATION
A401 SCALE: 1/4"=1'-0"

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07 EAST ELEVATION
A401 SCALE: 1/4"=1'-0"

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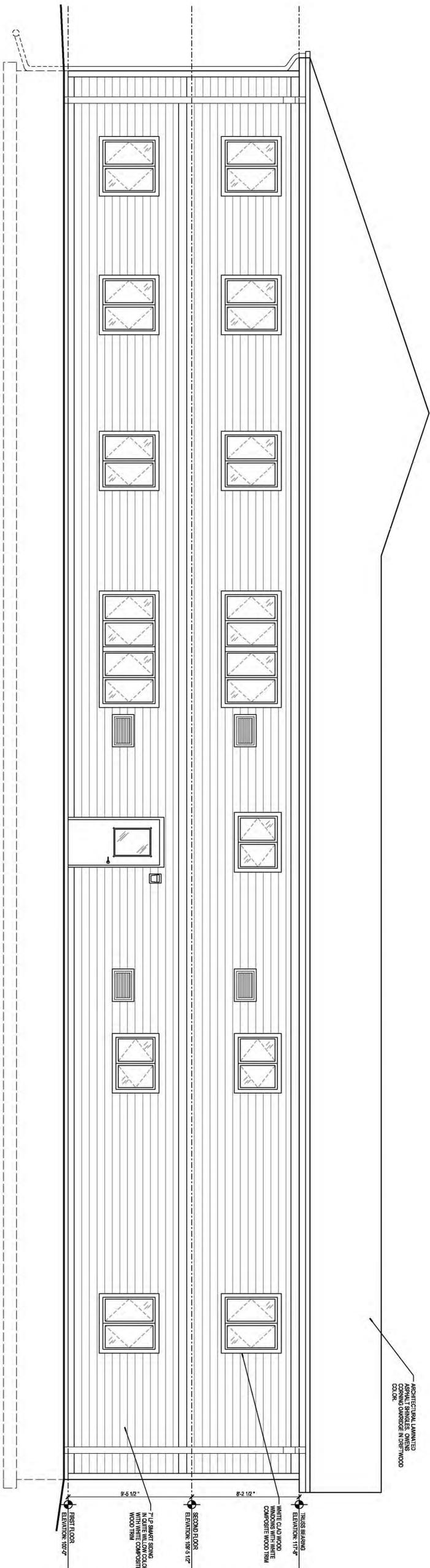
A401

PROJECT NUMBER	54880
APPROVED BY	JJH
REVIEWED BY	JCT
DRAWN BY	BTW
DATE	9/15/2014 3:31:14 PM

158 TRATT STREET
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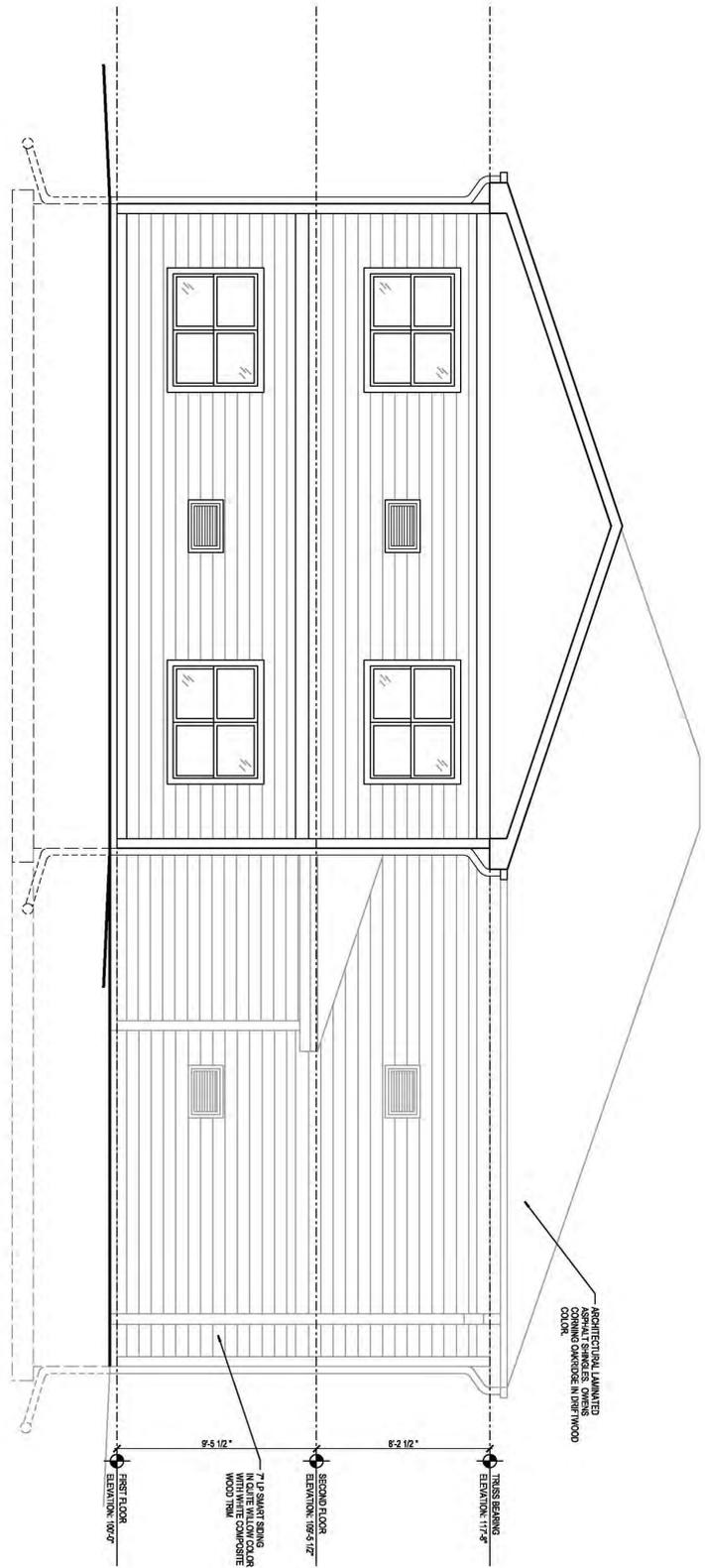
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05 NORTH ELEVATION
A402 SCALE: 1/4"=1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION



07 WEST ELEVATION
A402 SCALE: 1/4"=1'-0"

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A402

PROJECT NUMBER	54880
APPROVED BY	JJH
REVIEWED BY	JCT
DRAWN BY	BTW
DATE	9/15/2014 3:31:16 PM

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