



CITY OF WHITEWATER PLAN AND ARCHITECTURAL REVIEW  
COMMISSION

Agenda

February 13, 2012

City of Whitewater Municipal Building  
312 W. Whitewater St., Whitewater, Wisconsin  
6:00 p.m.

1.	Call to order and Roll Call.
2.	<b><u>Hearing of Citizen Comments</u></b> . No formal Plan Commission Action will be taken during this meeting, although issues raised may become a part of a future agenda. Specific items listed on the agenda may not be discussed at this time; however citizens are invited to speak to those specific issues at the time the Plan Commission discusses that particular item.
3.	Approval of the Plan Commission minutes of: January 9, 2012.
4.	Hold a public hearing for consideration of a Conditional Use Permit for a “Class B” Beer and Liquor License for Alejandro R. Meza and Alfredo G. Camerena, to serve beer and liquor by the bottle or glass at 1155 W. Main Street, Whitewater Wisconsin.
5.	Hold a public hearing for consideration of a Conditional Use Permit to construct the proposed new 8 unit multi-family building (six 4-bedroom and two 5-bedroom) across three existing lots located at 157 and 165 N. Tratt Street and 1039 W. Florence Street in an R-3(Multi-family Residence) Zoning District for DLK Enterprises Inc.
6.	Review the proposed certified survey map to combine the lots located at 157 and 165 N. Tratt Street and 1039 W. Florence Street.
7.	Review the proposed construction of a smoking area inside the existing beer garden at 158 W. Whitewater Street in a B-2 (Central Business) Zoning District for Greg Condos/Mitchell’s Bar.
8.	Information Items: a. Update on the status of the Zoning Rewrite. b. Possible future agenda items. c. Next regular Plan Commission Meeting – March 12 <sup>th</sup> , 2012
9.	Adjournment.

Anyone requiring special arrangements is asked to call the Zoning and Planning Office 24 hours prior to the meeting. Those wishing to weigh in on any of the above-mentioned agenda items but unable to attend the meeting are asked to send their comments to c/o Neighborhood Services Manager, 312 W. Whitewater Street, Whitewater, WI, 53190 or [jwegner@whitewater-wi.gov](mailto:jwegner@whitewater-wi.gov).

The City of Whitewater website is: [whitewater-wi.gov](http://whitewater-wi.gov)

CITY OF WHITEWATER  
PLAN AND ARCHITECTURAL REVIEW COMMISSION  
Whitewater Municipal Building Community Room  
January 9, 2012

**ABSTRACTS/SYNOPSIS OF THE ESSENTIAL ELEMENTS OF THE OFFICIAL  
ACTIONS OF THE PLAN AND ARCHITECTURAL REVIEW COMMISSION**

**Call to order and roll call.**

Vice-Chairperson Binnie called the meeting of the Plan and Architectural Review Commission to order at 6:00 p.m.

Present: Meyer, Binnie, Dalee, Parker, Coburn, Miller, Henry (Alternate).

Absent: None.

Others: Wallace McDonell (City Attorney), Latisha Birkeland (Neighborhood Services Manager/City Planner).

**Election of Chairperson.**

Birkeland opened the meeting to nominations for chairperson. Lynn Binnie was nominated by Coburn, but declined. Greg Meyer was then nominated by Binnie, seconded by Coburn. There were no other nominations. AYES: Meyer, Binnie, Dalee, Parker, Coburn, Miller, Henry. NOES: None. ABSENT: None. Meyer was presented with the gavel and took his place as chairperson for 2012.

**Hearing of Citizen Comments.** No formal Plan Commission action will be taken during this meeting ON CITIZEN COMMENTS although issues raised may become a part of a future agenda. Items on the agenda may not be discussed at this time.

There were no citizen comments.

**Approval of the minutes of December 12, 2011.**

Moved by Miller and seconded by Henry to approve the Plan Commission minutes of December 12, 2011 with the correction that Henry should be taken off the list of those present at that meeting. Motion approved by unanimous voice vote.

**Public hearing for a conditional use permit for a “Class B Beer and Liquor” License for Alejandro R. Meza, to serve beer and liquor by the bottle or glass at 1155 W. Main Street, Whitewater, Wisconsin.** Chairperson Meyer opened the public hearing for consideration of a conditional use permit for a “Class B Beer and Liquor” License for Alejandro R. Meza, to serve beer and liquor by the bottle or glass at 1155 W. Main Street, Whitewater, Wisconsin.

Neighborhood Services Manager/City Planner Latisha Birkeland explained that this property had housed the Greenhouse Café and is still owned by Vicki Fiedler. Alejandro Meza wishes to convert the business to a sports bar and grill which would require a “Class B Beer and Liquor” License. Restaurants are permitted by use in Zoning District B-1.

The Fiedlers (MBCK LLC) first received a Class B Beer and Liquor License in 2004. If the conditional use for the new business is approved by the Plan Commission, the Alcohol Licensing Committee and Common Council will act on the Alcohol License application submitted by Alejandro Meza.

Alejandro Meza was present to answer questions. In response to Coburn's questions, Meza replied that the bar and grill would be open until 2:00 am on weekdays and 2:30 am on weekend days. Meza has not talked to any of his neighbors yet, but he will be contacting the businesses nearest him to try and obtain additional parking. Meza stated that the grass area behind the store is part of the subject property.

Meza confirmed that he does have a partner. Binnie asked what kind of renovations would be made to the building and what is meant by "sports bar and grill". Meza stated that they will be serving food and have games such as pool available. There will be a number of televisions. Binnie asked what kind of clientele Meza wishes to attract. Meza replied that they would like anyone to be welcome at the business.

Coburn asked how deliveries would be made. Vicky Fiedler, owner of the real estate indicated that supplies would be delivered in the same manner and location as occurred for Sugar Bay with the same suppliers. Fiedler stated that suppliers park in the Whitewater Plaza parking lot and deliver to businesses in the Plaza and the Fiedler property.

Donna Henry stated that her main concern would be the noise at night, given that there are many people living directly behind the business. Fiedler noted that the kitchen and a small amount of seating are at the back of the building. The parking lot and yard is also behind the building between the business and apartments.

In answer to Parker's question, Meza stated that there could be up to 125 people in the building. Birkeland responded that this is what is being proposed, but has not been verified yet. Birkeland indicated that plans still need to be reviewed by the building inspector and fire chief.

Birkeland indicated that there would be a total of four additional parking spaces needed for the business as determined by floor space, instead of the five listed in the report to the Plan Commission.

Sherry Bigelow, area resident, expressed concern about the volume of the music that would be played at the bar and grill, as well as the late hours that the business would be open. Fiedler stated that there have been bands playing in the building every Thursday and there have been no complaints.

Wendell Swift, a resident of Blackhawk Apartments, expressed concern over the lack of parking and limited exits for cars, as well as the nuisance factor of the bar and grill being open so late at night.

Bob McCullough, owner of McCullough's Pharmacy, referred the Commission to a handout he had distributed. One of McCullough's concerns is for where the 125 patrons of the bar and grill

will park. His concern is that they will park in privately owned lots such as the Whitewater Plaza and the Robin's Nest Hair Salon. McCullough believes the bar and grill will be a nuisance to the businesses around it. There is no good access to the parking stalls at the rear of the Sugar Bay building. The driveways are too narrow for truck access. He questioned Fiedler's statement that all the vendors serving the Greenhouse Café also served businesses in the plaza, and therefore would be entitled to park in the plaza's parking spaces. McCullough believes the bar and grill would be too close to residential properties. He also stated that this is an ill-suited proposal for this property and a liquor license should not be used there. Part of his handout included a petition with over 50 signatures asking that the issuance of a conditional use permit for a "Class B Beer and Liquor" License as requested by Alejandro Meza be denied.

In response to Donna Henry's question, McCullough repeated that he would not be interested in making a deal with Meza to increase the availability of parking spaces for the proposed bar and grill.

Nancy Giorno, resident of Blackhawk Manor, spoke in opposition to approval of the conditional use. Giorno believes that the sports bar and grill will be a nuisance to those living near the business because of the lack of parking, the hours of the business and the type of business.

Karen McCulloch, of Highland Street, expressed her concern over the establishment of the sports bar and grill in her neighborhood. McCulloch is opposed to a bar being in the neighborhood, stating that neighborhood safety would be compromised, and there would be an increase in vandalism in the area. She believes the business would be noisy and there would be trespassers. The proposed bar and grill is too close to schools. McCulloch also stated that this location is not consistent with the family values of this neighborhood.

John Kittleson, owner of Jimmy Johns in the Whitewater Plaza, is concerned with the parking situation as there are already three restaurants in the Whitewater Plaza, and parking is very limited at certain times of the day. He feels it will be difficult for his customers to get to his store. There are empty spaces in the plaza that could be filled in the future, making parking even tighter than it is now.

Heidi Price, employee of Whitewater Plaza, stated that they have not been contacted about parking by the proposed bar and grill owners. Parking will be enough of an issue without adding a business of this kind next to the Plaza.

Oscar Vigil, from Cozumel Restaurant, indicated that with snow, 14 parking spaces are reduced as snow piles up and people do not park accurately in the spaces.

Barb Congdon of Robin's Nest stated that parking will be an issue. McCullough's Pharmacy leases part of the Robin's Nest parking lot. Customers of the Greenhouse Café had been parking in Congdon's lot and it has been problematic. Congdon is worried that customers of the bar would be parking in her lot and she is not in favor of this.

Ms. Fiedler stated that the biggest issue appears to be parking. Fiedler told the Commission that she could turn the green space at the back of the property into additional parking spaces and review plans for improved access to the parking.

Joan Grosinski, resident of Blackhawk Manor, stated that even with that bit of additional parking, there would still be a problem. The difference in volume between café music and bar music will be large. There will be cans and bottles being noisily dumped at 2:30-3:00 in the morning, as employees of the bar and grill clean up.

Chairperson Meyer closed the public hearing.

Coburn asked about ingress and egress to the parking lot. She was wondering if it would be hard for customers to get onto and off Main Street. Birkeland stated that in the event the conditional use "Class B Beer and Liquor" License is approved, staff would recommend directional signage to help customers find the correct driveway to get to and from the parking area as well as requiring that the directional arrows on the driveways be repainted. She added that within a 330 foot section of Main Street, there are seven driveways, making it difficult to identify the correct driveway for a given business.

Donna Henry stated that she is concerned for the Fiedlers having this become an empty property. There have been a couple bars on this side of town in the past, although they were not sports bars. Henry stated that people park where it is easiest. Parking is noisy and sports bars are noisy. Henry feels that this is not the best location for this business in that it would be a difficulty for the neighborhood.

Coburn agreed with her concerning the noise level and the parking.

Meyer asked if there is a minimum number of parking spots required. Birkeland responded that in the Municipal Code, there are different types of usage with different requirements which depend on what was thought appropriate at the time the ordinance was created. The Code does not distinguish between a bar and a restaurant. Attorney McDonell added that the Plan Commission, particularly for a conditional use application, has the discretion to require more parking.

Parker indicated that there are other issues, due to the fact the building is on a small lot. Parker feels that the building could be used successfully as a sports bar, depending on how it's managed. He added that parking expansion in compliance with City Code would be difficult. Deliveries and trash pickup are issues that need to be addressed. The building was constructed for use as a floral shop, prior to current code requirements and with less traffic anticipated.

Binnie added that parking is not the crux of all of the concern. His issue is whether this is the best or appropriate use of a property that is in an area that is residential in nature. A large number of senior adults live nearby. Binnie feels that another primarily bar-oriented property is not needed, particularly in this location. He stated that he appreciates the applicant's interest in doing business in Whitewater. He wishes that the applicant's proposal was in a different location.

Binnie moved that the conditional use permit for a “Class B Beer and Liquor” License request be denied for Alejandro Meza at 1155 W Main Street. Coburn seconded the motion. AYES: Binnie, Meyer, Dalee, Parker, Henry, Coburn, Miller. NOES: None. ABSENT: None.

#### **Update on Generac Addition**

Birkeland stated that per the Plan Commission comments at the last meeting, Generac did some testing in the area for generator noise. She stated that Generac took nine readings at two different times. The readings were at 55.8 decibels, which is significantly lower than the City’s ordinance requirement of 70 decibels. The sound was lower than the traffic going by, which was at 65–84 decibels, depending on the type of vehicle. However, even though it is not required, Generac will put up some sound buffering on the west side of the building in order to be a good neighbor.

Coburn asked if the sound is different in that it is a persistent sound. Birkeland replied that there was no consideration of the type of sound, but that Generac will still be doing some sound abatement.

#### **Update on Status of the Zoning Rewrite.**

Birkeland indicated that the next meeting of the Zoning Rewrite Committee will be Wednesday, February 1, from 5:30 to 7:00 pm.

#### **Future agenda items**

Birkeland gave notice of items to be on the next agenda. There will be a request for a conditional use permit for a smoking/patio structure at Mitchells/Pumpers. Also anticipated is a request for a conditional use permit for an eight unit apartment building off of Tratt and Florence Streets.

#### **Next regular Plan Commission meeting- February 13, 2012.**

Moved by Coburn and seconded by Meyer to adjourn at approximately 7:05 p.m. Motion was approved by unanimous voice vote.

---

Chairperson Greg Meyer



Neighborhood Services Department  
*Planning, Zoning, Code Enforcement, GIS  
and Building Inspections*

[www.whitewater-wi.gov](http://www.whitewater-wi.gov)  
Telephone: (262) 473-0540

---

To: City of Whitewater Plan and Architectural Review Commission  
From: Latisha Birkeland, Neighborhood Services Manager / City Planner  
Date: February 7<sup>th</sup>, 2012  
Re: Requested Conditional Use Permit for a "Class B" Beer and Liquor License for Alejandro R. Meza and Alfredo G. Camerena, to serve beer and liquor by the bottle or glass at 1155 W. Main Street, the former "Greenhouse Café."

---

### **Summary of Request**

**Requested Approvals:** The applicant, Alejandro Meza, is requesting a conditional use permit (CUP) for a "Class B" Beer and Liquor License, to serve beer and liquor by the bottle or glass.

**Location:** 1155 W. Main Street

**Current Land Use:** Restaurant with retail floral and gifts with sale of beer and liquor by the bottle or glass.

**Proposed Use:** Restaurant, without a drive-through facility, to sell alcoholic beverages by the bottle or glass.

**Current Zoning:** B-1 Community Business

**Proposed Zoning:** (no change proposed)

**Comprehensive Plan's Future Land Use Designation:** Community Business

**Surrounding Zoning and Land Use:** North, East and West: B-1, Community Business. South: R-3, Multi-Family Residential.

### **Brief History of Project:**

#### **2003**

Sugar Bay Floral and Gifts applied for a conditional use permit to sell bottles of wine, champagne and specialty beer in gourmet gift baskets. The application was denied.

#### **2004**

This property expanded into a café and applied for a conditional use permit to "offer wine, beer, and small amounts of liquor, with the majority being served with meals." A conditional use permit was approved. The applicant applied and received a "Class B" Beer and Liquor License to serve beer and liquor by the bottle or glass for the Greenhouse Café.

#### **January 2012**

Mr. Meza applied for a conditional use permit for the sale of alcoholic beverages by the bottle or glass at a new business proposed as Cube Sports Bar and Grill. This application was unanimously denied by the

Plan Commission. Official findings are not required for conditional use permit application denials, but the main concerns from the Plan Commissioners were noise, maximum occupancy of the building, parking and appropriate use of the property – primarily a bar-oriented establishment.

### **Description of Use**

Mr. Meza has submitted a new conditional use permit application to sell alcohol beverages by the bottle or glass at an establishment to be called Cube’s Restaurant. In the B-1 Community Business Zoning District, restaurants without drive-through facilities are permitted by right and would not need a Plan Commission approval. Mr. Meza is seeking approval for a conditional use permit (CUP) to allow this restaurant to serve alcoholic beverages by the bottle or glass.

The applicant has submitted a statement of use indicating the new direction of the business. This was received with letters of recommendation from business owners nearby his other restaurants in Edgerton and Sun Prairie, WI. The proposed concept is an American Continental style restaurant. The applicant hopes that this concept will provide a more positive direction for the Whitewater Community.

### **Interior**

The proposed floor plan is different from the Greenhouse Café, but the layout has generally remained the same as the previous proposal in January 2012. These plans were drawn to scale and have provided staff with verifiable information such as square footage and parking lot dimensions. Cube’s Restaurant will be the official name and not El Patron as it states on the plans.

The main floor will have a bar, seating and a game room. The lower level identifies a future game room. All permits would need to be approved by the Building Inspector and Fire Chief to meet all code requirements.

### **Hours**

The applicant has proposed new hours for Cube’s Restaurant. These hours are: Monday – Wednesday 12:00 p.m. to 11:30 p.m., Thursday 12:00 p.m. to 2:00 a.m., Friday – Saturday 12:00 p.m. to 2:30 am. and Sunday 12:00 p.m. to 10:00 p.m. The hours of operation have been reduced for Sundays through Wednesdays from the previous application and would comply with the Wisconsin State Statute.

### **Menu**

The applicant has submitted a revised menu for Cube’s Restaurant and included it with the application.

### **Parking**

Restaurants, bars and places of entertainment are required to have one (1) stall for each 200 square feet of primary floor area. The primary floor area for the building is a total of 2,804 square feet. A minimum of 14 parking stalls would be required by the City Code for this amount of primary floor area. The Plan Commission may choose to require more parking stalls to be installed.

The property currently has 10 stripped parking stalls. The applicant intends to re-stripe the parking lot to fit the 14 stalls on the current hard surface. There will need to be some additional hard surface area added to the parking area to fit the last two parking stalls.

The proposed dumpster location is at the south end of the parking lot. Screening of the dumpster by fence, structure or evergreen landscaping is required. The dumpster will be on wheels making it moveable so that the refuse removal company can get to it from the Whitewater Plaza site.

### **Ingress / Egress**

Two driveways on the site provide access to the parking lot behind the structure. To help direct traffic to the parking lot, directional signage will be placed in the front yard of the property. The two directional signs will have a sign area of 20.0 inches by 20.0 inches with a 4 inch post, each. They will state “EXIT

ONLY” and “ENTER ONLY” respectively. These signs meet the City Code requirements of size and location.

Directional arrows will be re-painted on the pavement of the entrance and exit driveways to help facilitate traffic movement. The Comprehensive Plan supports the idea of controlling access points by limiting the number onto major corridors like Main Street to help avoid future congestion and traffic safety problems.

I suggest that signage be added to the south side of the building that indicates which way to exit the property.

The applicant has stated that food and beverage deliveries will come through the Whitewater Plaza site because they use the same companies. A statement from the Whitewater Plaza Property Manager stating that this agreement is acceptable to them shall be required.

### **Signage**

Mr. Meza plans to re-face the current sign structure for his signage. The square footage of the sign area will not be expanded. A color rendition of the proposed sign look has been included in the packet. This structure is setback 13 feet from the property line and meets all sign code requirements.

### **Staffing and Occupancy**

Cube’s Restaurant will have 3 – 5 employees per shift. The new plans indicate the that maximum occupancy for this building is 99. This will be verified by the City Building Inspector and/or Fire Chief.

As of 4:30 p.m. on 2/7/2012, staff did not receive any public comments. Citizens came to view the plans that were submitted from Mr. Meza and asked to see the packet when it was completed.

### **Recommendation on Conditional Use Permit**

Pending comments received at the public hearing, I recommend the Plan and Architectural Review Commission approve the conditional use permit for Cube’s Restaurant, subject to the following conditions:

1. The conditional use permit shall run with the applicant and not the land. If the business is sold, the new owner/operator must return to the Plan Commission.
2. Require the two proposed directional signage in the front yard and the directional stripping on the driveways. Allow an “Exit Only” sign on the wall of the building to indicate traffic flow no larger than 24” by 24”.
3. There must be at least 14 parking stalls located on the property. This may change if the primary floor area used is increased or decreased.
4. Screening of the dumpster by means of fence or evergreen landscaping. Plan Commission may want to require additional screening on the south side of the property for the residential land uses across Blackhawk Drive.
5. Statement from the Whitewater Plaza Property Manager agreeing to let deliveries come to Cube’s Restaurant from the Whitewater Plaza property is required.

If the CUP application is approved by the Plan Commission, Mr. Meza would need approval for a “Class B” Beer and Liquor license from the Alcohol Licensing Committee and the Common Council. Once the

license is granted by the Common Council, Mrs. Vicki Fiedler would ‘turn in’ the license for the Greenhouse Café and Mr. Meza would be issued a license.

**Analysis of Proposed Project**

Standard	Evaluation	Comments
<b>Conditional Use Permit Standards (see section 19.66.050 of zoning ordinance)</b>		
The establishment, maintenance, or operation of the conditional use will not create a nuisance for neighboring uses or substantially reduce the values of other property.	Possibly	The applicant has reduced the proposed hours the restaurant will be open. There is a mix of businesses in the area that helps keep this area vibrant. This change could potentially increase traffic.
Adequate utilities, access roads, parking, drainage, landscaping, and other necessary site improvements are being provided.	Yes	Items have been identified and addressed.
The conditional use conforms to all applicable regulations of the district in which it is located, unless otherwise specifically exempted in this ordinance [or through a variance].	Yes	Project meets all zoning ordinance requirements applicable under the B-1 district.
The conditional use conforms to the purpose and intent of the city master [comprehensive] plan.	Met	The Comprehensive Plan identifies the site as appropriate for “Community Business” uses. This would include restaurants that sell alcoholic beverages by the drink.
The conditional use and structures are consistent with sound planning and zoning principles.	Met	Project is consistent with the purpose, character and intent of the future land use classification and zoning district.



Neighborhood Services Department  
*Planning, Zoning, Code Enforcement, GIS  
 and Building Inspections*

www.whitewater-wi.gov  
 Telephone: (262) 473-0540

NOTICE OF PUBLIC HEARING

TO ALL INTERESTED PARTIES:

A meeting of the PLAN AND ARCHITECTURAL REVIEW COMMISSION of the City of Whitewater will be held at the Municipal Building, Community Room, located at 312 W. Whitewater Street, Whitewater, Wisconsin, on the 13th day of February, 2012 at 6:00 p.m. to hold a public hearing for consideration of a Conditional Use Permit for a "Class B" Beer and Liquor License for Alejandro R. Meza and Alfredo G. Camerena, to serve beer and liquor by the bottle or glass at 1155 W. Main Street, Whitewater Wisconsin.

The proposal is on file in the office of the Zoning Administrator at 312 W. Whitewater Street and is open to public inspection during office hours Monday through Friday, 8:00 a.m. to 4:30 p.m.

This meeting is open to the public. COMMENTS FOR, OR AGAINST THE PROPOSED PROJECT MAY BE SUBMITTED IN PERSON OR IN WRITING.

For information, call (262) 473-0540.

\_\_\_\_\_  
 Latisha Birkeland, Neighborhood Services Manager/City Planner

/A 1400002, /A 67400002, /RC 00008  
DLK ENTERPRISES INC  
141 W. WHITEWATER ST  
PO BOX 239  
WHITEWATER WI 53190

/L 00008  
BARBARA A CONGDON  
8-427 E. SHERMAN AVE  
FT ATKINSON WI 53538

/L 00012, /L00013  
JR RENTALS LLC  
694 WELLS ST  
LAKE GENEVA WI 53147

/RC 00010  
DMS INVESTMENTS CORP  
N6615 ANDERSON RD  
DELAN VAN WI 53115

/WUP 00164E  
FOUR GUYS, LLP  
120 N. FRATERNITY LN  
WHITEWATER WI 53190

/WUP 00197  
HARRIET J STRITZEL TRUST  
530 SOUTH JANESVILLE AVE  
WHITEWATER WI 53190

/WUP 00197E  
BRUCE J KINATEDER  
151 S. ELIZABETH ST  
WHITEWATER WI 53190

/L 00002  
WHITEWATER PLAZA, LLC  
262 LEGEND HTS  
WALES WI 53183

/L 00010  
MCCULLOUGH FAMILY LTD  
PART  
694 WELLS ST  
LAKE GENEVA WI 53147

/RC 00009A  
MIKE AND VIRG DARRAH LLC  
1208 S. WILLARD  
JANESVILLE WI 53546-5392

/WUP 00163A  
CA POPE PROPERTIES LLC  
P. O. BOX 2473  
JANESVILLE WI 53547

/WUP 00194  
DON L WARGOWSKY  
JOANN WARGOWSKY  
1130 W. HIGHLAND ST  
WHITEWATER WI 53190

/WUP 00197B  
AJET DAUTI  
EDITA D DAUTI  
1168 W. HIGHLAND ST  
WHITEWATER WI 53190

Proposal  
ALEJANDRO R MEZA  
ALFREDO G CAMERENA  
332 SHANE CT. #3  
SUN PRAIRIE WI 53890

/L 00007  
MBCK, LLC  
1155 W MAIN ST  
WHITEWATER WI 53190

/L 00011  
MICHAEL W ERDMANN  
PO BOX 589  
WHITEWATER WI 53190

/RC 00009B  
WISH ENTERPRISES, LLC  
1138 W. MAIN ST  
WHITEWATER WI 53190

/WUP 00164D  
REYNOLDS RENTALS, LLC  
12340 E BRADLEY RD  
WHITEWATER WI 53190

/WUP 00195  
DONALD ZAHN  
LOUELLA J ZAIN  
1140 W. HIGHLAND ST  
WHITEWATER WI 53190

/WUP 00197D, 197G  
LAND & WATER INVESTMENTS  
LLC  
503 CENTER ST  
LAKE GENEVA WI 53147

**NOTICE:** The Plan Commission meetings are scheduled on the 2nd Monday of the month. All complete plans must be in by 9:00 a.m. four weeks prior to the meeting. If not, the item will be placed on the next available Plan Commission meeting.

CITY OF WHITEWATER  
CONDITIONAL USE PERMIT APPLICATION PROCEDURE

1. File the application with the Code Enforcement Director's Office at least four weeks prior to the meeting. \$100.00 fee. Filed on 1/16/12 *JMB*
2. Class 1 Notice published in Official Newspaper on 2-2-12
3. Notices of the Public Hearing mailed to property owners on 1-30-12
4. Plan Commission holds the PUBLIC HEARING on 2-13-12. They will hear comments of the Petitioner and comments of property owners. Comments may be made in person or in writing.
5. At the conclusion of the Public Hearing, the Plan Commission makes a decision.

PLEASE COMPLETE THE FOLLOWING APPLICATION.

Refer to Chapter 19.66 of the City of Whitewater Municipal Code of Ordinances, entitled CONDITIONAL USES, for more information on the application.

Twenty complete sets of all plans should be submitted. All plans should be drawn to a scale of not less than 50 feet to the inch; represent actual existing and proposed site conditions in detail; and indicate the name, address, and phone number of the applicant, land owner, architect, engineer, landscape designer, contractor, or others responsible for preparation. It is often possible and desirable to include two or more of the above 8 plans on one map. The Zoning Administrator or Plan and Architectural Review Commission may request more information, or may reduce the submittal requirements. If any of the above 10 plans is not submitted, the applicant should provide a written explanation of why it is not submitted.

## SITE PLAN SUBMITTAL REQUIREMENTS

This checklist must be completed before making application for a City of Whitewater Zoning/Building Permit. If not complete, the application will be returned to the owner and will not proceed until all information and forms are complete.

Drawings must be legible and drawn to scale not less than 1/4" per foot unless noted.

Address of Project 1155 W Main St., Whitewater WI, 58190  
Zoning of Property B-1

1. **Site Plan**, including the location and dimensions of all buildings, parking, loading, vehicle and pedestrian circulation, signs, walls, fences, other structures, outdoor storage areas, mechanicals, and dumpsters. Adjacent streets and uses and methods for screening parking, loading, storage, mechanical, and dumpster areas should be shown. Statistics on lot area, green space percentage, and housing density should be provided. The Plan Commission encourages compliance with its adopted parking lot curbing policy.
2. **Natural Features Inventory Map**, showing the existing limits of all water bodies, wetlands, floodplains, existing trees with trunks more than 4 inches in diameter, and any other exceptional natural resource features on all or part of the site.
3. **Landscape Plan**, prepared by a professional, and showing an overhead view of all proposed landscaping and existing landscaping to remain. The species, size at time of planting, and mature size should be indicated for all plantings. Areas to be left in green space should be clearly delineated. The Plan Commission encourages compliance with its adopted landscaping guidelines, available from the Zoning Department.
4. **Grading and drainage plan**, meeting the City's stormwater management ordinance if required. The plan should show existing and proposed surface elevations on the site at two foot intervals or less, and proposed stormwater management improvements, such as detention/retention facilities where required. Stormwater calculations may be required.
5. **Utilities plan**, showing locations and sizes of existing and proposed connections to sanitary sewer, water, and storm sewer lines, along with required easements. Sampling manholes may be required for sanitary sewer. The City's noise ordinance must be met.
6. **Building elevations**, showing the dimensions, colors, and materials used on all sides of the building. The Plan Commission encourages variety and creativity in building colors and architectural styles, while respecting the character of the surrounding neighborhood.
7. **Sign plan**, meeting the City's sign ordinance, and showing the location, height, dimensions, color, materials, lighting and copy area of all signage.
8. **Lighting plan**, meeting the City's lighting ordinance, and showing the location, height, type, orientation, and power of all proposed outdoor lighting—both on poles and on buildings. Cut sheets and photometric plans may be required for larger projects.

9. **Floor plan** which shows:
- A. The size and locations of:
    - 1) Rooms;
    - 2) Doors;
    - 3) Windows;
    - 4) Structural features - size, height and thickness of wood, concrete and/or masonry construction;
    - 5) Exit passageways (hallways) and stairs (including all stair dimensions - riser height, tread width, stair width, headroom and handrail heights);
    - 6) Plumbing fixtures (bathroom, kitchen, etc.) - lavatory, water closet, water heater, softener, etc.;
    - 7) Chimney(s) - include also the type of construction (masonry or factory built);
    - 8) Heating equipment;
    - 9) Cooling equipment (central air conditioning, if provided);
    - 10) Attic and crawl space access; and
    - 11) Fire separation between dwelling and garage.
    - 12) Electrical service entrance/transformer location.

10. **Elevation drawings** which show:
- A. Information on exterior appearance (wood, stone, brick, block, colors);
  - B. Indicate the location, size and configuration of doors, windows, roof chimneys and exterior grade level.
  - C. Indicate color of Trim \_\_\_\_\_, Siding \_\_\_\_\_, Roofing \_\_\_\_\_.
  - D. Electrical service entrance/transformer location.

11. **Type of Project:**
- A. Single family;
  - B. Duplex;
  - C. Multifamily # units \_\_\_\_\_;  
 Condominium # units \_\_\_\_\_;  
 Sorority # units \_\_\_\_\_;  
 Fraternity # units \_\_\_\_\_;
  - D. Office/Store;
  - E. Industrial;
  - F. Parking lot # of stalls \_\_\_\_\_;
  - G. Other;

City of Whitewater  
Application for Conditional Use Permit

IDENTIFICATION AND INFORMATION ON APPLICANT(S):

Applicant's Name: Alejandro B. Meza + Alfredo G. Camerena  
Applicant's Address: 332 Shane Ct # 3, Sun Prairie WI 53590  
Phone # 907-708-0407  
Email Address: alejandrovmeza@gmail.com

Owner of Site, according to current property tax records (as of the date of the application):

Street address of property: 1155 W Main St, Whitewater WI 53190

Legal Description (Name of Subdivision, Block and Lot or other Legal Description):  
Lot 7 of Block 1 of Lawndale Subdivision, located in the southwest 1/4 of Section 5, Town 4 North Range 15 East, City of Whitewater, Walworth County, Wisconsin

Agent or Representative assisting in the Application (Engineer, Architect, Attorney, etc.)

Name of Individual: \_\_\_\_\_  
Name of Firm: \_\_\_\_\_  
Office Address: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Name of Contractor: \_\_\_\_\_

Has either the applicant or the owner had any variances issued to them, on any property? YES NO  
If YES, please indicate the type of variance issued and indicate whether conditions have been complied with.

EXISTING AND PROPOSED USES: \* CUBE'S Restaurant

Principal Use: Retail Food establishment with a Class B retail liquor and beer license.  
Current Land Use: \_\_\_\_\_  
Accessory of Secondary Uses: \_\_\_\_\_

In main area, Proposed Use (Describe need for conditional use): Build a bar, fishing off the downstairs by drywalling, painting and expand the use of the kitchen to include new equipment.  
NE Room

No. of occupants proposed to be accommodated: 10

No. of employees: 4

Zoning District in which property is located: Whitewater, Walworth County, Wisconsin

Section of City Zoning Ordinance that identifies the proposed land use as a Conditional Use in the Zoning District in which the property is located:

**PLANS TO ACCOMPANY APPLICATION**

Applications for permits shall be accompanied by drawings of the proposed work, drawn to scale, showing, when necessary, floor plans, sections, elevations, structural details, computations and stress diagrams as the building official may require.

**PLOT PLAN**

When required by the building official, there shall be submitted a plot plan in a form and size designated by the building official for filing permanently with the permit record, drawn to scale, with all dimension figures, showing accurately the size and exact location of all proposed new construction and the relation to other existing or proposed buildings or structures on the same lot, and other buildings or structures on adjoining property within 15 feet of the property lines. In the case of demolition, the plot plan shall show the buildings or structures to be demolished and the buildings or structures on the same lot that are to remain.

**STANDARDS**

STANDARD	APPLICANT'S EXPLANATION
<p>A. That the establishment, maintenance, or operation of the Conditional Use will not create a nuisance for neighboring uses or substantially reduces value of other property.</p>	<p>Work will be conducted starting around 8-9 AM and finishing no later than 10 PM.</p> <p>→ Mon Tue Wed Thu Fri Sat Sun            12:00 12:00 12:00 12:00 12:00 12:00 12:00            11:30 11:30 11:30 2:00 2:30 2:30 10:00</p>
<p>B. That utilities, access roads, parking, drainage, landscaping, and other necessary site improvements are being provided.</p>	<p>N/A</p>
<p>C. That the conditional use conforms to all applicable regulations of the district in which it is located, unless otherwise specifically exempted in this ordinance.</p>	
<p>D. That the conditional use conforms to the purpose and intent of the City Master Plan.</p>	

**CONDITIONS**

The City of Whitewater Zoning Ordinance authorizes the Plan Commission to place conditions on approved conditional uses. Conditions can deal with the points listed below. Be aware that there may be discussion at the Plan Commission in regard to placement of such conditions upon your property. You may wish to supply pertinent information.

"Conditions" such as landscaping, architectural design, type of construction, construction commencement and completion dates, sureties, lighting, fencing, plantation, deed restrictions, highway access restrictions, increased yards or parking requirements may be required by the Plan and Architectural Review Commission upon its finding that these are necessary to fulfill the purpose and intent of this Ordinance.

"Conditional Uses" may be subject to time limits or requirements for periodic reviews where such requirements relate to review standards.

Alexandro L. Meza  
Applicant's Signature

1-16-12  
Date

**APPLICATION FEES:**

Fee for Conditional Use Application: \$100

Date Application Fee Received by City 1-16-12 Receipt No. 6.009601

Received by J. Wagner

**TO BE COMPLETED BY CODE ENFORCEMENT/ZONING OFFICE:**

Date notice sent to owners of record of opposite & abutting properties: 1-30-12

Date set for public hearing before Plan & Architectural Review Board: 2-13-12

**ACTION TAKEN:**

Conditional Use Permit: \_\_\_\_\_ Granted \_\_\_\_\_ Not Granted by Plan & Architectural Review Commission.

**CONDITIONS PLACED UPON PERMIT BY PLAN AND ARCHITECTURAL REVIEW COMMISSION:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Signature of Plan Commission Chairman

\_\_\_\_\_  
Date



## **Tips for Minimizing Your Development Review Costs: A Guide for Applicants**

The City of Whitewater assigns its consultant costs associated with reviewing development proposals to the applicant requesting development approval. These costs can vary based on a number of factors. Many of these factors can at least be partially controlled by the applicant for development review. The City recognizes that we are in a time when the need to control costs is at the forefront of everyone's minds. The following guide is intended to assist applicants for City development approvals understand what they can do to manage and minimize the costs associated with review of their applications. The tips included in this guide will almost always result in a less costly and quicker review of an application.

### **Meet with Neighborhoods Services Department before submitting an application**

If you are planning on submitting an application for development review, one of the first things you should do is have a discussion with the City's Neighborhood Services Department. This can be accomplished either by dropping by the Neighborhood Services Department counter at City Hall, or by making an appointment with the Neighborhood Services Director. Before you make significant investments in your project, the Department can help you understand the feasibility of your proposal, what City plans and ordinances will apply, what type of review process will be required, and how to prepare a complete application.

### **Submit a complete and thorough application**

One of the most important things you can do to make your review process less costly to you is to submit a complete, thorough, and well-organized application in accordance with City ordinance requirements. The City has checklists to help you make sure your application is complete. To help you prepare an application that has the right level of detail and information, assume that the people reviewing the application have never seen your property before, have no prior understanding of what you are proposing, and don't necessarily understand the reasons for your request.

### **For more complex or technical types of projects, strongly consider working with an experienced professional to help prepare your plans**

Experienced professional engineers, land planners, architects, surveyors and landscape architects should be quite familiar with standard development review processes and expectations. They are also generally capable of preparing high-quality plans that will ultimately require less time (i.e., less cost for you) for the City's planning and engineering consultants to review, saving you money in the long run. Any project that includes significant site grading, stormwater management, or utility work; significant landscaping; or significant building remodeling or expansion generally requires professionals in the associated fields to help out.

### **For simpler projects, submit thorough, legible, and accurate plans**

For less complicated proposals, it is certainly acceptable to prepare plans yourself rather than paying to have them prepared by a professional. However, keep in mind that even though the project may be less complex, the City's staff and planning consultant still need to ensure that your proposal meets all City



## Tips for Minimizing Your Development Review Costs: A Guide for Applicants

requirements. Therefore, such plans must be prepared with care. Regardless of the complexity, all site, building, and floor plans should:

1. Be drawn to a recognized scale and indicate what the scale is (e.g., 1 inch = 40 feet).
2. Include titles and dates on all submitted documents in case pieces of your application get separated.
3. Include clear and legible labels that identify streets, existing and proposed buildings, parking areas, and other site improvements.
4. Indicate what the property and improvements look like today versus what is being proposed for the future.
5. Accurately represent and label the dimensions of all lot lines, setbacks, pavement/parking areas, building heights, and any other pertinent project features.
6. Indicate the colors and materials of all existing and proposed site/building improvements. Including color photos with your application is one inexpensive and accurate way to show the current condition of the site. Color catalog pages or paint chips can be included to show the appearance of proposed signs, light fixtures, fences, retaining walls, landscaping features, building materials, or other similar improvements.

### Submit your application well in advance of the Plan and Architectural Review Commission meeting

The City normally requires that a complete application be submitted four weeks in advance of the Commission meeting when it will be considered. For simple submittals not requiring a public hearing, this may be reduced to two weeks in advance. The further in advance you can submit your application, the better for you and everyone involved in reviewing the project. Additional review time may give the City's planning consultant and staff an opportunity to communicate with you about potential issues with your project or application and allow you time to efficiently address those issues before the Plan and Architectural Review Commission meeting. Be sure to provide reliable contact information on your application form and be available to respond to such questions or requests in a timely manner.

### For more complex projects, submit your project for conceptual review

A conceptual review can be accomplished in several ways depending on the nature of your project and your desired outcomes.

1. Preliminary plans may be submitted to City staff and the planning consultant for a quick, informal review. This will allow you to gauge initial reactions to your proposal and help you identify key issues;
2. You may request a sit-down meeting with the Neighborhood Services Director and/or planning consultant to review and more thoroughly discuss your proposal; and/or
3. You can ask to be placed on a Plan and Architectural Review Commission meeting agenda to present and discuss preliminary plans with the Commission and gauge its reaction before formally submitting your development review application.

Overall, conceptual reviews almost always save time, money, stress, and frustration in the long run for everyone involved. For this reason, the City will absorb up to \$200 in consultant review costs for conceptual review of each project.



## Tips for Minimizing Your Development Review Costs: A Guide for Applicants

### Hold a neighborhood meeting for larger and potentially more controversial projects

If you believe your project falls into one or both of these two categories (City staff can help you decide), one way to help the formal development review process go more smoothly is to host a meeting for the neighbors and any other interested members of the community. This would happen before any Plan and Architectural Review Commission meeting and often before you even submit a formal development review application.

A neighborhood meeting will give you an opportunity to describe your proposal, respond to questions and concerns, and generally address issues in an environment that is less formal and potentially less emotional than a Plan and Architectural Review Commission meeting. Neighborhood meetings can help you build support for your project, understand others' perspectives on your proposals, clarify misunderstandings, and modify the project and alleviate public concerns before the Plan and Architectural Review Commission meetings. Please notify the City Neighborhood Services Director of your neighborhood meeting date, time, and place; make sure all neighbors are fully aware (City staff can provide you a mailing list at no charge); and document the outcomes of the meeting to include with your application.



## Typical City Planning Consultant Development Review Costs

The City often utilizes assistance from a planning consultant to analyze requests for land development approvals against City plans and ordinances and assist the City's Plan and Architectural Review Commission and City Council on decision making. Because it is the applicant who is generating the need for the service, the City's policy is to assign most consultant costs associated with such review to the applicant, as opposed to asking general taxpayer to cover these costs.

The development review costs provided below represent the planning consultant's range of costs associated with each particular type of development review. This usually involves some initial analysis of the application well before the public meeting date, communication with the applicant at that time if there are key issues to resolve before the meeting, further analysis and preparation of a written report the week before the meeting, meeting attendance, and sometimes minor follow-up after the meeting. Costs vary depending on a wide range of factors, including the type of application, completeness and clarity of the development application, the size and complexity of the proposed development, the degree of cooperation from the applicant for further information, and the level of community interest. The City has a guide called "Tips for Minimizing Your Development Review Costs" with information on how the applicant can help control costs.

Type of Development Review Being Requested	Planning Consultant Review Cost Range
<b>Minor Site/Building Plan</b> (e.g., minor addition to building, parking lot expansion, small apartment, downtown building alterations) When land use is a permitted use in the zoning district, and for minor downtown building alterations	Up to \$600
When use also requires a conditional use permit, and for major downtown building alterations	\$750 to \$1,500
<b>Major Site/Building Plan</b> (e.g., new gas station/convenience store, new restaurant, supermarket, larger apartments, industrial building) When land use is a permitted use in the zoning district	\$700 to \$2,000
When land use also requires a conditional use permit	\$1,600 to \$12,000
<b>Conditional Use Permit with no Site Plan Review</b> (e.g., home occupation, sale of liquor request, substitution of use in existing building)	\$up to \$600
<b>Rezoning</b>	
To a standard (not PCD) zoning district	\$400 to \$2,000
To Planned Community Development zoning district, assuming complete GDP & SIP application submitted at same time	\$2,100 to \$12,000
<b>Land Division</b>	
Certified Survey Map	Up to \$300
Preliminary Subdivision Plat	\$1,500 to \$3,000
Final Plat (does not include any development agreement time)	\$500 to \$1,500
<b>Annexation</b>	\$200 to \$400
Note on Potential Additional Review Costs: The City also retains a separate engineering consultant, who is typically involved in larger projects requiring stormwater management plans, major utility work, or complex parking or road access plans. Engineering costs are not included above, but will also be assigned to the development review applicant. The consultant planner and engineer closely coordinate their reviews to control costs.	



# Cost Recovery Certificate and Agreement

The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, and recreation specialists) to assist in the City's review of an application for development review coming before the Plan and Architectural Review Commission, Board of Zoning Appeals, and/or Common Council. In fact, most applications require some level of review by the City's planning consultant. City of Whitewater staff shall retain sole discretion in determining when and to what extent it is necessary to involve a professional consultant in the review of an application.

The submittal of an application or petition for development review by an applicant shall be construed as an agreement to pay for such professional review services associated with the application or petition. The City may apply the charges for these services to the applicant and/or property owner in accordance with this agreement. The City may delay acceptance of an application or petition (considering it incomplete), or may delay final action or approval of the associated proposal, until the applicant pays such fees or the specified percentage thereof. Development review fees that are assigned to the applicant, but that are not actually paid, may then be imposed by the City as a special charge on the affected property.

## Section A: Background Information

----- To be filled out by the Applicant/Property Owner -----

### Applicant's Information:

Name of Applicant: Alejandro R. Meza  
 Applicant's Mailing Address: 332 Shane Ct #3  
Sun Prairie WI. 53590  
 Applicant's Phone Number: (937) 708-6407  
 Applicant's Email Address: alejandro.meza@y9hoo.com

### Project Information:

Name/Description of Development: Greenhouse Cafe (currently)  
 Address of Development Site: 1155 W Main St.  
 Tax Key Number(s) of Site: 1L 00007

### Property Owner Information (if different from applicant):

Name of Property Owner: MBCK, LLC - c/o Gary F. Edler  
 Property Owner's Mailing Address: W8382 TRAILS W TOWNSHIP Rd  
WHITEWATER, WI 53190



# Cost Recovery Certificate and Agreement

## Section B: Applicant/Property Owner Cost Obligations

----- To be filled out by the City's Neighborhood Services Director -----

Under this agreement, the applicant shall be responsible for the costs indicated below. In the event the applicant fails to pay such costs, the responsibility shall pass to the property owner, if different. Costs may exceed those agreed to herein only by mutual agreement of the applicant, property owner, and City. If and when the City believes that actual costs incurred will exceed those listed below, for reasons not anticipated at the time of application or under the control of the City administration or consultants, the Neighborhood Services Director or his agent shall notify the applicant and property owner for their approval to exceed such initially agreed costs. If the applicant and property owner do not approve such additional costs, the City may, as permitted by law, consider the application withdrawn and/or suspend or terminate further review and consideration of the development application. In such case, the applicant and property owner shall be responsible for all consultant costs incurred up until that time.

- A. Application Fee.....\$ \_\_\_\_\_
- B. Expected Planning Consultant Review Cost .....\$ \_\_\_\_\_
- C. Total Cost Expected of Applicant (A+B).....\$ \_\_\_\_\_
- D. 25% of Total Cost, Due at Time of Application.....\$ \_\_\_\_\_
- E. Project Likely to Incur Additional Engineering or Other Consultant Review Costs?  Yes  No

The balance of the applicant's costs, not due at time of application, shall be payable upon applicant receipt of one or more itemized invoices from the City. If the application fee plus actual planning and engineering consultant review costs end up being less than the 25% charged to the applicant at the time of application, the City shall refund the difference to the applicant.

## Section C: Agreement Execution

----- To be filled out by the Applicant and Property Owner -----

The undersigned applicant and property owner agree to reimburse the City for all costs directly or indirectly associated with the consideration of the applicant's proposal as indicated in this agreement, with 25% of such costs payable at the time of application and the remainder of such costs payable upon receipt of one or more invoices from the City following the execution of development review services associated with the application.

Alexandro R. Meza  
Signature of Applicant/Petitioner

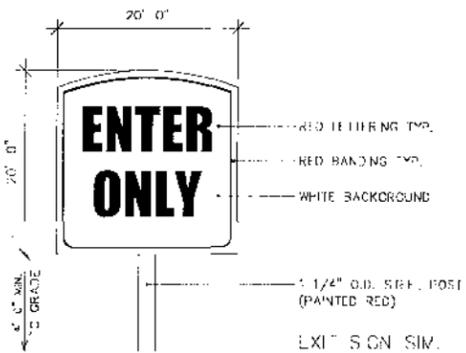
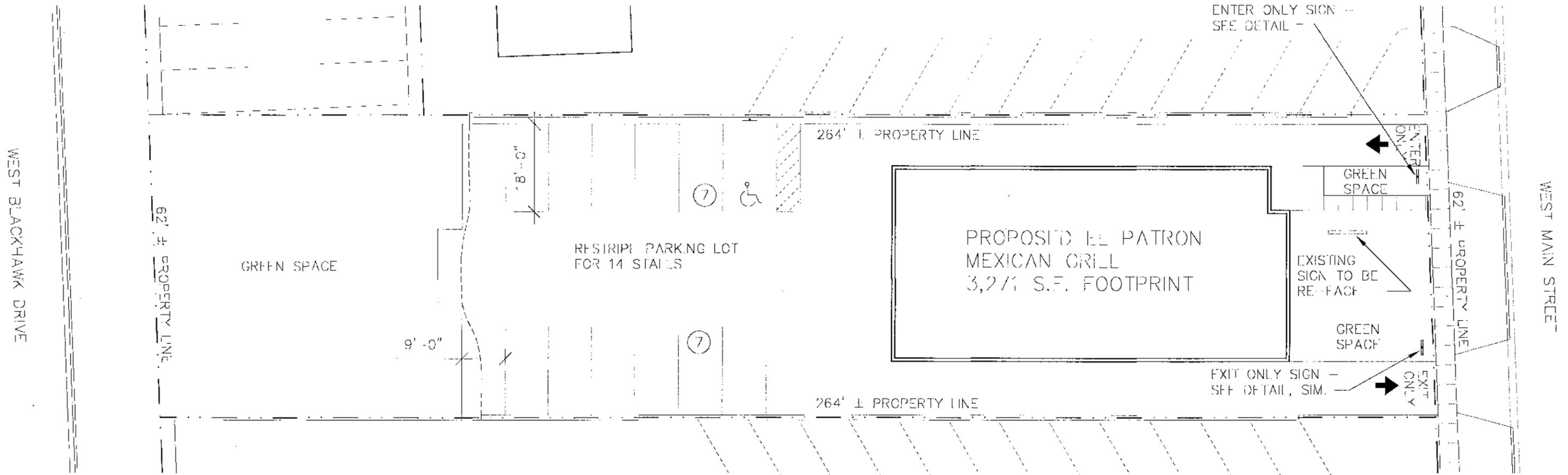
ALEXANDRO R. MEZA  
Printed Name of Applicant/Petitioner

1-16-12  
Date of Signature

Joseph Fiedler  
Signature of Property Owner (if different)

Joseph Fiedler  
Printed Name of Property Owner (if different)

1-16-12  
Date of Signature



**SITE INFORMATION:**

SITE AREA:	16,389 S.F.	(0.38 ACRE)
FOOTPRINT AREA:	3,271 S.F.	(20.0%)
PAVED AREA: (INCLUDES SIDEWALK)	8,184 S.F.	(50.0%)
GREEN SPACE AREA:	4,934 S.F.	(30.0%)

**PARKING INFORMATION:**

PARKING REQUIREMENTS PER 19.51.130:  
 1 STALL FOR EACH 200 S.F. PRIMARY FLOOR SPACE.  
 PRIMARY FLOOR SPACE (PER DIAGRAMS SHEET A-3):  
 2,804 S.F.  
 2,804 S.F./200 S.F. PER STALL = 14 REQUIRED STALLS

**STATEMENT OF USE:**

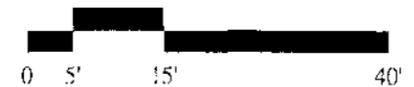
RESTAURANT WITH 3-5 EMPLOYEES PER SHIFT.  
 MAX. OCCUPANCY 99 PERSONS.



**SP-1**

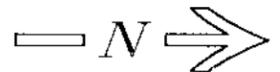
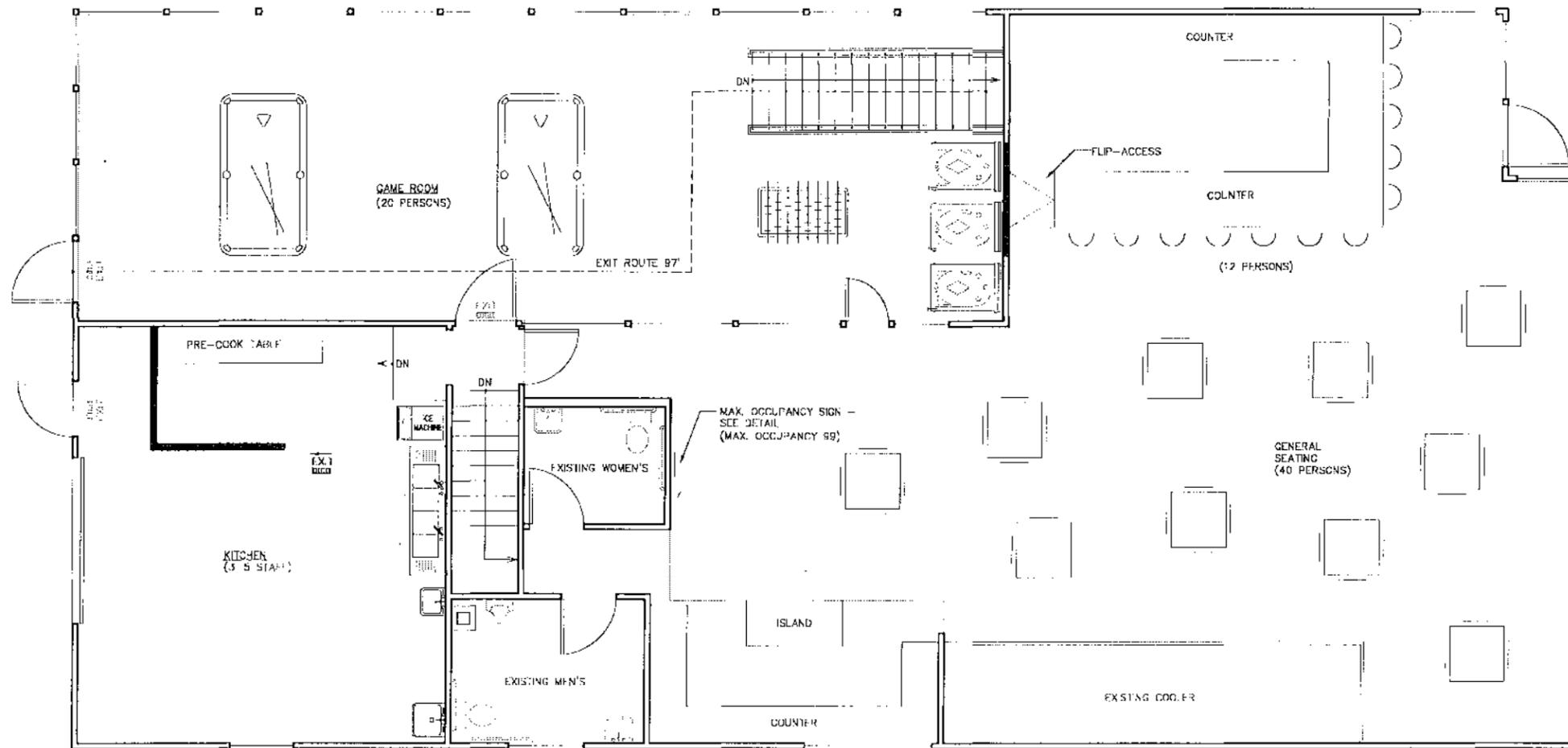
SCALE: 1"=20'-0"

DATE: JANUARY 24, 2012



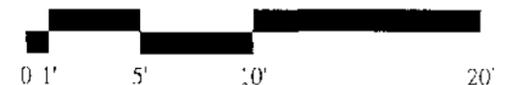
**EL PATRON MEXICAN GRILL  
 SITE PLAN**

**NOTICE**  
 FOR YOUR SAFETY  
**OCCUPANCY**  
 IS LIMITED TO:  
**99**  
 PERSONS  
 BY ORDER OF  
 THE CODE OFFICIAL  
 KEEP POSTED UNDER PENALTY OF LAW

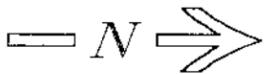
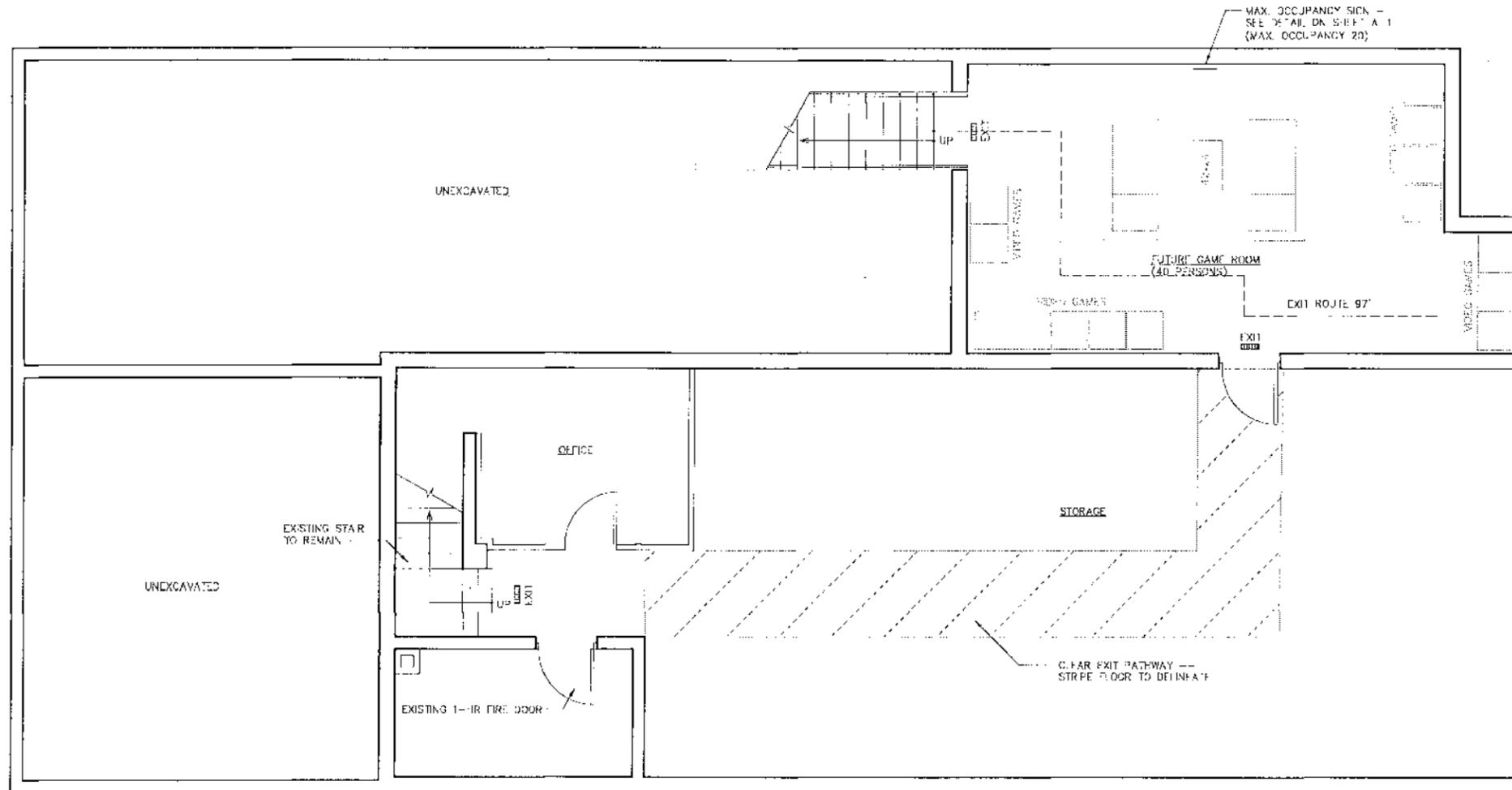


**A-1**

SCALE: 1/8"=1'-0"  
 DATE: JANUARY 24, 2012



**EL PATRON MEXICAN GRILL  
 MAIN FLOOR PLAN**

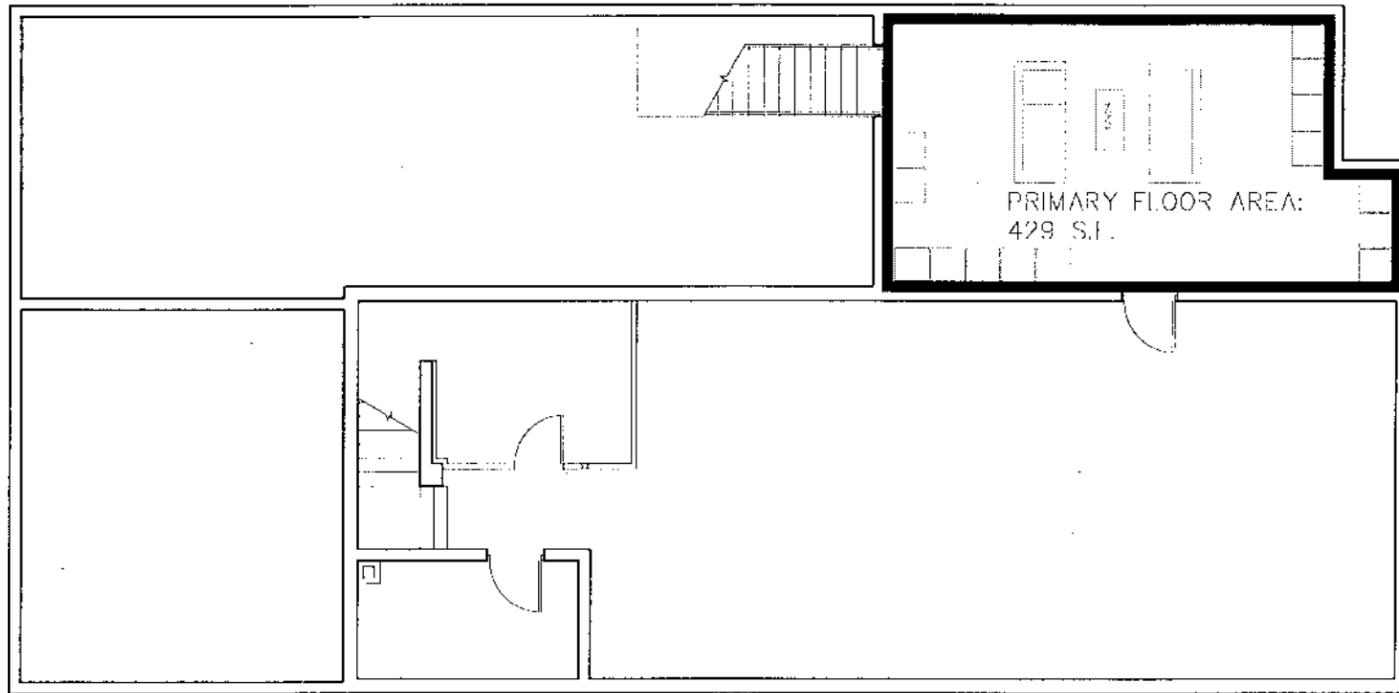


A-2

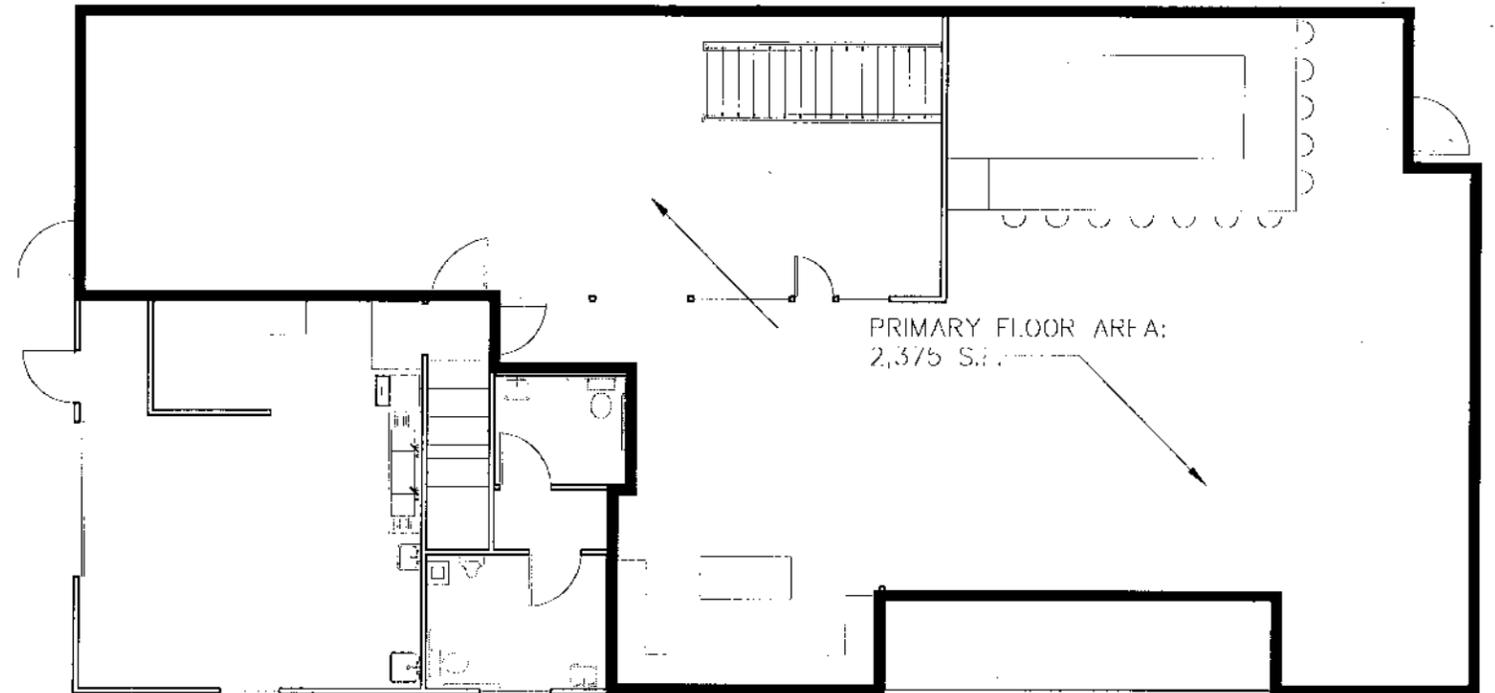
SCALE: 1/8"=1'-0"  
 DATE: JANUARY 24, 2012



**EL PATRON MEXICAN GRILL  
 BASEMENT FLOOR PLAN**



**BASEMENT FLOOR DIAGRAM**



**MAIN FLOOR DIAGRAM**



**A-3**

SCALE: 3/32"=1'-0"

DATE: JANUARY 24, 2012



January 24, 2012

City of Whitewater  
Neighborhood Services Manager  
Latisha Birkeland  
312 W Whitewater Street  
Whitewater, WI 53190

Re: 1155 W Main Street, Whitewater, WI

Mrs. Birkeland,

I am writing to you today to not only give a more in depth description of the establishment we want to open in the city of Whitewater, but to ease any concerns that you may have as to the type of restaurant this will be. I had previously discussed opening something that would resemble more of a sports bar, but after hearing your concerns I have decided to take a different route and open an American style restaurant. Our new concept is more American Continental and the menu will match accordingly. I want to make this partnership work and feel that a family oriented American style restaurant would not only be a great business venture, but take us in a more positive direction within the Whitewater community. With this type of restaurant we will be able to service a wider range of people, from the family looking for a night out together to the college students who are looking for a good meal with a relaxed atmosphere. I understand how important it is to create a place that fits the expectations and needs of the city of Whitewater, which is why this new direction will be a positive addition to the restaurants of the community.

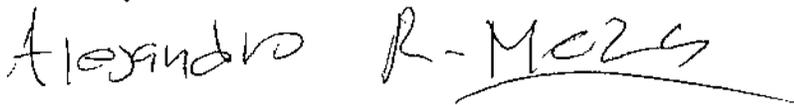
In my ten years in the restaurant business I have done it all and have been blessed to be able to own and operate my own restaurants. I have worked my way through the different positions and levels of the restaurant industry, so I know what it takes at every step to create a successful place. I have had to work very hard and smart in order to get to where I am and because of this tireless effort I have been able to open two restaurants. My El Patron Mexican style restaurants have been a great addition to the communities of Sun Prairie and Edgerton WI. The people of these cities have been very receptive and continue to enjoy a great family atmosphere along with authentic Mexican food. With our very hospitable wait staff and authentic decor, we have been able to attract a wide spectrum of guests. I believe that my ability to open a quality establishment can continue in Whitewater and I look forward to the opportunity to create something new and different.

Now that I have given you some background and introduced the new direction, I want to discuss some of my plans for the building and its daily operations. The hours of operation are something that I want to cater to the community and its needs. I believe that unique hours and a willingness to serve all patrons will help make this place a success. This is why we propose these hours; Mon-Wed 12pm to 11:30pm, Thurs 12pm to 2am, Fri-Sat 12pm to 2:30am and Sun 12pm-10pm. The full menu will be served throughout the hours of operation in order to accommodate those customers that may not have the time during the day to enjoy a full meal, such as a

studious college student or busy professional. I believe that accommodating people even late night with a full menu will set us apart from other family style restaurants. To show that our commitment is to quality dining first and foremost, we will also be offering delivery every from open to 10pm. By offering this option we are showing that we are truly trying to serve the community by not only offering a great dining experience, but bringing that experience right to your door. We also want to limit the inconveniences of daily restaurant operations such as delivery trucks coming to the restaurant. This is why our deliveries will come through the Whitewater Plaza parking lot because we are using the same delivery company as some of the businesses in the Plaza, limiting any inconvenience on the street or elsewhere. The trash situation is also something I've planned for and we will be using dumpsters that have wheels in order to make trash pickup easier for the trucks that come and remove it from the Plaza businesses. In order to bring our parking lot up to code I will be putting in four additional parking spots. For the parking lot we will also be repainting the lines and adding entrance and exit signs to ease traffic through the lot. Unfortunately we will have to wait until the weather permits us to go ahead and work not he parking lot. I want to make sure I am covering every base with the daily operations of the restaurant and what will work best in the area we have chosen.

I will be trying to make the decor and atmosphere one that will fit our new family style direction. The decor inside will try to go along with a family American style restaurant with decorations that will represent not only the theme, but the history of the community of Whitewater as well as the University. I am going to build a bar and renovate the kitchen area as well. For the kitchen area I will be putting up two walls in order to enclose our equipment. The layout of the restaurant itself will be such that it will accommodate those that want the full dining in experience as well as those that might just want to sit at the bar and enjoy appetizers with friends. I feel that while the bar will be a big section of the restaurant, but it will not be the focus. As I stated earlier, we are looking to create the full experience that will cater to all types of guests and I believe our hours and set up will accomplish that. Again, I look forward to this opportunity and partnership with the community of Whitewater and hope that we can work together to provide a great service.

Sincerely,

A handwritten signature in black ink that reads "Alejandro R. Meza". The signature is written in a cursive style with a long horizontal line underneath the name.

Alejandro R. Meza

[alejandormeza@yahoo.com](mailto:alejandormeza@yahoo.com)

Mobile: 937-708-6407

# *Cube's Restaurant Menu*

Hours: M-W 12-11:30 ~Thurs 12-2~ Fri-Sat 12-2:30~ Sun 12-10

## **Appetizers**

Breaded Chicken Wings \$6.95	Nachos \$6.95
Jalapeno Poppers \$5.95	Quesadillas \$5.95
Cheese Curds \$5.95	Queso Dip and Chips \$4.95
Chicken Tenders \$5.95	Popcorn Chicken \$5.95
Onion Rings \$4.95	Mini Corn Dogs \$4.95
Mozzarella Sticks \$5.95	Breaded Mushrooms \$4.95
Coconut Shrimp \$5.95	Popcorn Shrimp \$5.50

## **12" Emil's Pizzas**

Pepperoni \$8.25
Sausage \$7.95
Sausage & Pepperoni \$8.50
Cheese \$7.25
Deluxe \$8.50
Sausage & Mushroom \$8.25

## **Salads**

Cajun Chicken Salad -seasoned strips of chicken, onion, mushroom, peppers, cheese on mixed greens. \$6.95
Chef Salad – ham, turkey, eggs, mushrooms, onions, cheese on mixed greens \$5.95
Taco Salad – seasoned ground beef, lettuce, tomato, cheese, salsa, sour cream \$5.95
Chicken Caesar Salad –chicken, romaine lettuce, tomato, parmesan cheese \$5.95

## **Sandwiches** (all served with French fries)

Cheese Burger- 4.95
---------------------

Grilled Chicken- 4.95  
BBQ Pulled Pork- 4.95  
Grilled Cheese- 3.75  
Ham & Cheese- 4.25  
Cuban- 5.75  
Turkey, Bacon, Avacado- 5.50  
BBQ Beef – 4.95

**Seafood** (all served with French fries and coleslaw)

Battered Cod \$5.95  
Breaded Perch \$7.95  
Breaded Walleye \$7.95  
Breaded Jumbo Shrimp \$7.95

**Kids Menu** (all served with French fries)

Macaroni and Cheese 4.50  
Mini Corn Dogs 4.25  
Chicken Strips 5.50  
Cheese Sticks 4.95  
Quesadillas 5.00

**Desserts**

Cheesecake \$3.50  
Peanut Butter Pie \$3.50  
Key Lime Pie \$3.50

**WHEREAS**, the local governing body of the City of Sun Prairie, County of Dane, Wisconsin, has, upon application duly made, granted and authorized the issuance of the following licenses to:

**El Patron Mexican Grill, Partnership  
DBA: El Patron Mexican Grill  
1303 W. Main St.  
Alejandro Ramirez Meza, Agent**

**WHEREAS**, said licenses are issued at the following described premises:

One story building with alcohol beverages stored in restaurant, kitchen and bar areas located at 1303 West Main Street Sun Prairie, WI 53590 Alcohol and food service area in the inside restaurant and outdoor patio in accordance with approved CUP.

**WHEREAS**, said capacity of the following area(s)

5550 Sq. Ft. :

**NO A11-14  
"CLASS B" RETAILER'S LICENSE  
FOR THE SALE OF  
FERMENTED MALT AND INTOXICATING LIQUOR BEVERAGES  
FOR CONSUMPTION ON THE PREMISES WHERE SOLD.**

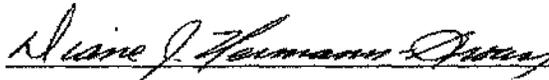
To sell Fermented Malt, and Intoxicating Liquor Beverages, as defined by law, pursuant to Section 125 of the Statutes of the State of Wisconsin, and local Ordinances;

License is hereby issued to said applicant to sell, deal and traffic in, at retail, Fermented Malt, and Intoxicating Liquor Beverages

**BE IT FURTHERED RESOLVED**, the said applicant has paid the required sum for License as provided by State Statutes and local ordinances, and has complied with all the requirements necessary for obtaining such licenses.

**THESE LICENSES ARE ISSUED FOR THE PERIOD** from July 01, 2011 to June 30, 2012

Given under my hand and the corporate seal of the City of Sun Prairie, County of Dane, State of Wisconsin, this 1st day of July, 2011



Diane J. Hermann-Brown, CMC, City Clerk

This License must be FRAMED and POSTED in a conspicuous place in the room or place where:  
Fermented Malt, Wine, and/or Alcohol Beverages are drawn or removed for service or sale;  
tobacco products are sold; or where amusement machines are used.

January 23, 2012

City of Whitewater  
Whitewater, WI

To Whom It May Concern,

I am writing to you in support of El Patron Restaurant located in Edgerton, WI and their desire to open a new location in Whitewater. El Patron opened next door to my business, Threads Consignment, and have been wonderful neighbors.

They have brought new business to the area as well as my store. Their employees are always willing to help me when myself or consignors are bringing items into my store; they have even delivered lunch when I have been too busy to go over for my order.

I have not noticed any additional noise or rowdiness from the staff or patrons and many customers have come over telling me that they had a great dining experience and stopped by afterwards to some shopping.

It is my opinion that El Patron would make a great addition to the Whitewater business district and bring additional business to your area.

Feel free to contact me if you require further information.

Sincerely,



Christa Bowers  
Owner of Threads Consignment  
4 W. Fulton St.  
Edgerton, WI 53534

*Three Blind Mice*

To whom it may concern. It would be my opinion that El Patron Mexican restaurant operates in a responsible manner with experienced staff and excellent service. I have personally patronized the restaurant with a pleasant experience. I would see no problems from such establishment.

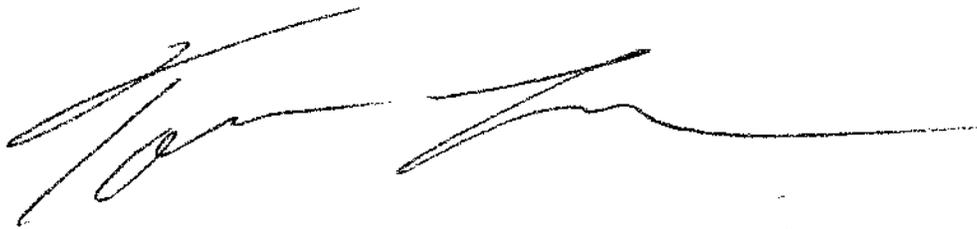
Regards, Tom Law

Manager

Three Blind Mice Computers

20 West Fulton Street

Edgerton, WI 53534



608-884-6891

608-290-7071

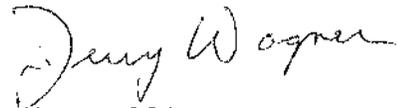
January 18, 2012

To: Whom It Concerns,

Darlene and I own the Four Seasons Craft Mall in Sun Prairie, Wi. We are Business neighbors of El Patron and they have a fine business, well kept, warm atmosphere and lovely place to enjoy.

We can be contacted at 608-825-3255 at any time.

Thank You,

A handwritten signature in cursive script that reads "Jerry Wagner".

Jerry Wagner

1323 W. Main St.

Sun Prairie, Wi. 53590



GOYER ACE  
10 Madison Avenue  
Fort Atkinson, WI 53536  
920-563-6677 • 920-563-2114 Fax

January 20, 2012

To Whom It May Concern:

I am the Owner-Operator of Goyer Ace Hardware in Fort Atkinson. Our store is located directly across the street from El Patron. Their business appears to be well run. They have been great business neighbors and their property is well maintained. Traffic generated by their business has positively affected my business.

It is my opinion any community would benefit from having a quality, well run establishment like El Patron.

Sincerely,

A handwritten signature in black ink, appearing to read "Jim Goyer".

Jim Goyer  
Goyer Ace

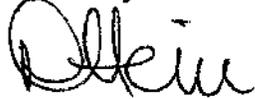
January 17, 2012

To Whom It May Concern:

I own and manage GameDay Liquor store which is located next door to El Patron restaurant. They are a very good and well run establishment and it has been enjoyable working next to them.

I can be reached at 608-884-4113 for anything further.

Thank you

A handwritten signature in black ink, appearing to read 'D. Hein'.

Danielle Hein  
GameDay Liquor  
18 N. Main Street  
Edgerton WI 53534

January 24, 2012

To Whom it May Concern:

I Manage The UPS Store which is located near El Patron restaurant. They are a very well run establishment and it has been enjoyable to do business with them.

I can be reached at 608-825-6245

Thank you

A handwritten signature in black ink that reads "Jess Stevens". The signature is written in a cursive style with a large, stylized "J" and "S".

Jess Stevens

The UPS Store

1223 West Main St

Sun Prairie, WI 53590

January 24<sup>th</sup>, 2012

To Whom it May Concern:

I own and operate JB's Italian Grille which is in Sun Prairie. I know the managers and owners of El Patron and enjoy working with them. They are always very respectful when they come into my business. When I have Mexican food I go to El Patron and it is always a great experience.

I can be reached at 608-837-6016 with any other questions.

Thank You,

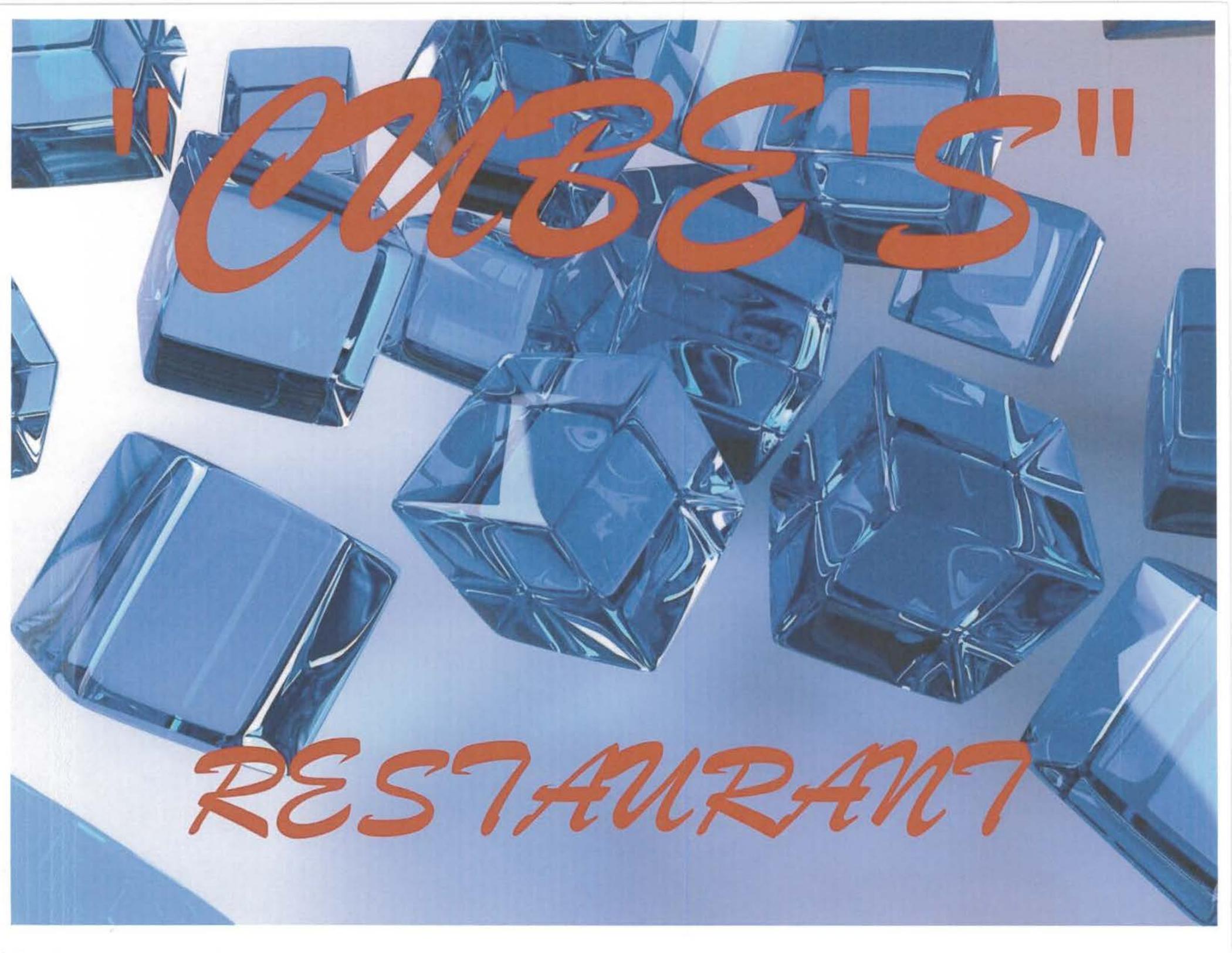
A handwritten signature in black ink, appearing to read "Jeremy Beck", written over a horizontal line.

Jeremy Beck

JB's Italian Grille

1086 Emerald Terrace

Sun Prairie, WI 53590



"COLBERTS"

RESTAURANT



EL PATRON  
EXISTING SIGN -- RE-FACE  
1-24-12



Neighborhood Services Department  
*Planning, Zoning, Code Enforcement, GIS  
and Building Inspections*

[www.whitewater-wi.gov](http://www.whitewater-wi.gov)  
Telephone: (262) 473-0540

---

To: City of Whitewater Plan and Architectural Review Commission  
From: Latisha Birkeland, Neighborhood Services Manager / City Planner  
Date: February 8th, 2012  
Re: Request a conditional use permit for construction of an 8-Unit Apartment Building located on North Tratt Street and West Florence Street.

---

### **Summary of Request**

**Requested Approvals:** The applicant, DLK, is requesting a conditional use permit for construction of an 8-Unit Apartment Building.

**Location:** 165 North Tratt Street

**Current Land Use:** Single Family homes – one has been razed

**Proposed Use:** 8-Unit (6 – 4 bedroom and 2-5 bedroom units) Apartment Building

**Current Zoning:** R-3 Multi-Family Residential

**Proposed Zoning:** (no change proposed)

**Comprehensive Plan's Future Land Use Designation:** Higher Density Residential

**Surrounding Zoning and Land Use:** North, South, East and West: R-3, Multi-Family Residential.

### **Description of Use**

The proposed 8-Unit (6 – 4 bedroom and 2-5 bedroom unit) multi-family apartment building would stretch across three separate lots located at 157 and 165 N. Tratt Street and 1039 W. Florence Street. Each of these parcels has/d a single family home and an accessory structure on the property. The single family home at 165 North Tratt Street was razed this year. The other two would be removed to accommodate the proposed 8-Unit multi-family apartment building. The combined parcels equal a total of 35,500 square feet. A Certified Survey Map has been submitted for the Plan Commission review.

### **Building Dimensions and Yard Requirements**

Lot width on North Tratt Street is 175'14", which well exceeds the requirement of 100 feet for multi-family new construction buildings. The total square footage of the lot is 35,500 square feet, which also exceeds the lot area requirement of 15,000 square feet.

The proposed apartment building will have 6- 4 bedroom units and 2- 5 bedroom units for a total of 8 units for a total of 6,085 square feet. The maximum height of the building is 40 feet and it will be two stories. The maximum height for multi-family buildings in the R-3 Zoning Districts is 45 feet or four stories. The materials used for this building will be black asphalt shingles along with red/brown brick. The floor plans are attached in the packet.

The open space requirement of 2,800 square feet (350 square feet x 8 units) has been met by the applicant providing a total of 3,580 square feet of open space along the south and southeast side of the proposed multi-family apartment building. The building meets all yard requirements in an R-3 Multi-Family Residential Zoning District.

### **Parking and Ingress / Egress**

Multi-family units that have three or more bedrooms are required to have four (4) stalls for each dwelling unit. For eight (8) dwelling units this project requires 32 parking stalls. The applicant has provided 33 total stalls/

The proposed parking lot is split into two parking lots, separated by a three (3) foot sidewalk. This was done to fit all the required parking on the parcel. The applicant has proposed two driveways to access the parking lot off Florence Street. Separating the lot into 'two' lots will not allow cross traffic, but will provide appropriate circulation of vehicles within each lot. Both driveways have a width of 24 feet to meet the standard requirements. Snow storage zones are shown to be on the north side of the parking lot

The 31 proposed parking stalls meet the Zoning Code requirement for interior parking spaces to be eight and one-half feet wide and not less than 150 square feet. The two end parking stalls designated as handicapped spaces are eight (8) feet by eighteen (18) feet equaling 144 square feet. The "Loading" zone between the handicapped stalls does provide an extended space for access.

This parking lot will be established after the single family home located at 1039 W. Florence street is razed. The razing of this home will happen after May 2012 because the property is currently being leased.

A six (6) foot wood fence would be installed just south of the parking lot to shield the south single family property from the light from headlights and noise. The proposed dumpster location is at the southeast side of the parking lot. The applicant has proposed screening of the dumpster by dog-eared fence boards.

Bike racks will be installed along the sidewalk close to the east entrance of the proposed building.

### **Sidewalks**

A five (5) foot sidewalk will be added on West Florence Street which complies with the City's Sidewalk Master Plan. Additional five (5) foot sidewalks will be added from the Tratt Street entrance to the existing sidewalk on Tratt Street, just east of the proposed building to W. Florence street and on the south side of the parking lot.

### **Landscaping**

The General Yard Area landscaping requirement and the Building Foundation landscaping requirements have been incorporated together. The minimum requirement for landscaping points is 1339. The total provided is 1800. Please see plan for more details.

The total paved area for this site is 10,190 square feet. The landscaping requirement for Paved Area is less than the required amount. Additional Building Foundation landscaping could be transferred to this area if the Plan Commission requests. Staff wants to make this area viable and not overcrowd the landscape islands. The plan that has been submitted does provide a good buffer zone for the parking lot.

The City Forester, Chuck Nass, has reviewed and approved the landscaping plan. The vision triangle prevents the full amount of trees to be installed on Florence and Tratt, but more trees are incorporated around the site to make-up for that. Mr. Nass has reviewed the species and thinks that the landscaping plan fits with the site.

Ten wall lights will be installed on the proposed building. There will be four (4) fixtures on west side and six (6) on the east side of the building. There will be no additional lighting added to the site producing minimal impact on the neighboring properties.

### **Utilities**

The applicant has submitted an erosion control / stormwater management permit application. The total site area is less than one (1) acre. At this time, the City is not requiring any upgrade or upsizing of the City's storm water system in this location by the applicant. The City will wait and see if any upgrades or upsizing will be needed in the future.

After review of the proposed plans, Dean Fischer, Public Works Director, talked to the applicant about the location/size of the water and sewer lines and changing the storm sewer connection to Tratt Street. He also wanted to see inlet protections for the catch basins on Tratt Street on both sides. Mr. Fischer stated his concerns have been addressed by the applicant and the City will require a plan submitted verifying the above items.

A new fire hydrant will be located at the northeast corner of the site. This is an approved location by the Fire Chief and Public Works Director.

### **Recommendation on Conditional Use Permit**

Staff review and general approvals have been given from Greg Noll, Building Inspector; Dean Fischer, Public Works Director; Chuck Nass, City Forester and Don Greigoire, Fire Chief. Pending comments received at the public hearing, I recommend the Plan and Architectural Review Commission approve the conditional use permit for DLK's 8-Unit (6-4 bedroom and 2 – 5 bedroom) Apartment Building subject to the following conditions:

1. The applicant shall make the building and site renovations in accordance with the plans approved by the Plan Commission on 2/13/2012, including any adjustments agreed upon with the Public Works Director for the location of water and sanitary lines.
2. Knox Box to be installed on the new building per the Fire Chief.
3. All approved landscaping shall be installed no later than six months from date of Certificate of Occupancy.
4. The applicant shall include with all leases provision related to the following:
  - a. Limits on occupancy to one (1) tenant for each bedroom and that the number of tenants in each apartment unit shall not exceed the number of bedrooms in that unit.
5. Prior to the issuance of a building permit, the applicant shall:
  - a. Provide the City with a plan indicating the routing of the storm water to Tratt Street, along with locations of Water and Sanitary Sewer lines.
6. Prior to the issuance of the Certificate of occupancy, the applicant shall:
  - a. Establish the parking lot in accordance with the submitted plans.

### Recommendation on CSM

I further recommend that the Commission approve the Certified Survey Map associated with the same 8-Unit Multi-Family Apartment Building, subject to the following conditions:

1. The CSM shall be recorded prior to the occupancy of the apartment building that is authorized through the City conditional use permit and site plan approval for the same property.

### Analysis of Proposed Project

Standard	Evaluation	Comments
<b>Conditional Use Permit Standards (see section 19.66.050 of zoning ordinance)</b>		
The establishment, maintenance, or operation of the conditional use will not create a nuisance for neighboring uses or substantially reduce the values of other property.	Yes	This project will improve the site and provide fencing and buffers from the neighboring properties.
Adequate utilities, access roads, parking, drainage, landscaping, and other necessary site improvements are being provided.	Yes	All items have been provided unless otherwise noted.
The conditional use conforms to all applicable regulations of the district in which it is located, unless otherwise specifically exempted in this ordinance [or through a variance].	Yes	Project meets all zoning ordinance requirements applicable under the R-3 Zoning District.
The conditional use conforms to the purpose and intent of the city master [comprehensive] plan.	Yes	The Comprehensive Plan identifies the site as an area for Higher Density Residential, which is what the applicant is proposing.
The conditional use and structures are consistent with sound planning and zoning principles.	Yes	Project is consistent with the purpose, character and intent of higher density residential and the R-3 Zoning District.



# 5 + # 6



Neighborhood Services Department  
*Planning, Zoning, Code Enforcement, GIS  
and Building Inspections*

www.whitewater-wi.gov  
Telephone: (262) 473-0540

NOTICE OF PUBLIC HEARING

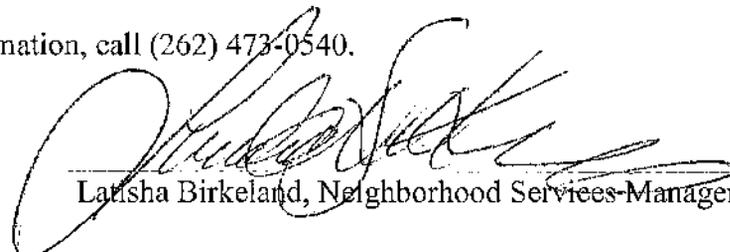
TO ALL INTERESTED PARTIES:

A meeting of the PLAN AND ARCHITECTURAL REVIEW COMMISSION of the City of Whitewater will be held at the Whitewater Municipal Building, Community Room, located at 312 W. Whitewater Street on the 13th day of February, 2012 at 6:00 p.m. to hold a public hearing for the consideration of a conditional use permit to construct a new 8 unit multi-family building (six 4-bedroom & two 5-bedroom) across three existing lots located at 157 and 165 N. Trall St. and 1039 W. Florence St. in an R-3 (Multi-family Residence) Zoning District for DLK Enterprises Inc. and review the certified survey map to combine the three lots.

The proposal is on file in the Planning and Zoning Office at 312 W. Whitewater Street and is open to public inspection during office hours Monday through Friday, 8:00 a.m. to 4:30 p.m.

This meeting is open to the public. COMMENTS FOR, OR AGAINST THE PROPOSED PROJECT MAY BE SUBMITTED IN PERSON OR IN WRITING.

For information, call (262) 473-0540.

  
\_\_\_\_\_  
Latisha Birkeland, Neighborhood Services-Manager/City Planner

/A438600001,WUP-178A  
CATCON WHITEWATER LLC  
225 E MASON ST STE 600  
MILWAUKEE WI 53202

/BH 00001  
DLK NORTH TRATT ST J EAST LLC  
PO BOX 239  
WHITEWATER WI 53190

/BH 00002  
MICHAEL J WOLLER  
149 N TRATT ST *239 S. Pleasant St.*  
WHITEWATER WI 53190

/BII 00003  
LADWIG & VOS INC  
140 LONGMEADOW DR  
BURLINGTON WI 53105-2325

/BII 00004  
SUSAN J SAASKI  
135 N. TRATT ST  
WHITEWATER WI 53190

/BII 00005,00007  
CHASE J KINCAID  
W1322 S SHORE DR  
PALMYRA WI 53156

/BH 00006  
CHARLES A NORTH  
URSULA M NORTH  
142 N. LINDSEY CT  
WHITEWATER WI 53190

/BH 00008  
GK 156 LINDSEY LLC  
W1581 ISLAND RD  
PALMYRA WI 53156

/BH 9,12 RC 2,3,6,7,WUP-166  
DLK ENTERPRISES INC  
PO BOX 239  
WHITEWATER WI 53190-1339

/BH 00010  
OTTO'S HOUSING LLC  
W1581 ISLAND RD  
PALMYRA WI 53156

/WUP 00158C  
LESLIE J HYNUM  
MARY C HYNUM  
5511 MCGANN LN #104  
MADISON WI 53711

/WUP 166C & 166D  
WHITEWATER PROFESSIONAL  
CENTER  
128 N TRATT ST  
WHITEWATER WI 53190

/WUP 00166E  
JAMES W RODGERS  
SHERRY L RODGERS  
P. O. BOX 710  
WHITEWATER WI 53190

/WUP 00166F  
DLK 214 NORTH TRATT LLC  
PO BOX 239  
WHITEWATER WI 53190

/WUP 00166G  
DLK 202 NORTH TRATT, LLC  
P. O. BOX 239  
WHITEWATER WI 53190

/WUP 00166H  
DEBRA C FOSBERG  
RANDALL E THORNTON  
168 N. TRATT ST  
WHITEWATER WI 53190

/WUP 00167  
FIRST CITIZENS STATE BANK  
OF WHITEWATER  
207 W. MAIN ST  
WHITEWATER WI 53190

/WUP 00172A  
DLK FARM SERVICE INC  
PO BOX 239  
WHITEWATER WI 53190

/WUP 00172B,C,D,175,  
175A,176,177,177A  
DLK ENTERPRISES INC  
PO BOX 239  
WHITEWATER WI 53190

/WUP 00172E  
CHASE J KINCAID  
W1322 S SHORE DR  
PALMYRA WI 53156

/WUP 00175  
FRANK K ZIEBARTH  
CYNTHIA L ZIEBARTH  
142 N. PRINCE ST  
WHITEWATER WI 53190

/WUP 00178B  
JOHN J TINCHER  
N1190 CO RD N  
WHITEWATER WI 53190

/WUP 00179, 184  
WHITEWATER DEVELOPMENT, LLC  
P. O. BOX 239  
WHITEWATER WI 53190

/WUP 00181A  
LEE L DANIELS TRUST  
ROBERT F KANTIN TRUSTEE  
3445 CEDAR DR  
PARK CITY UT 84098

/WUP 00183  
JEFFREY D THATCHER  
1050 W. FLORENCE ST  
WHITEWATER WI 53190

/WUP 00183B  
KACHEL LP 1042 WEST FLORENCE  
LLC  
PO BOX 239  
WHITEWATER WI 53190

/WUP 00183I  
WHITEWATER DEVELOPMENT, LLC  
PO BOX 239  
WHITEWATER WI 53190

/WUP 00183K  
CAROL A CARSON  
307 CHURCH ST  
MINERAL POINT WI 53565

**NOTICE:** The Plan Commission meetings are scheduled on the 2nd Monday of each month. All completed plans must be in by 9:00 a.m. four weeks prior to the scheduled meeting. If not, the item will be placed on the next available Plan Commission meeting agenda.

*CUP* CITY OF WHITEWATER  
~~PLAN REVIEW~~ APPLICATION PROCEDURE

1. File the application with the Code Enforcement Director's Office at least four weeks prior to the meeting. \$100.00 fee. Filed on 1-16-12.
2. ~~Agenda~~ *Class 1 Notice* Published in Official Newspaper on 2-2-12.
3. Notices of the public review mailed to property owners on 1-30-12.
4. Plan Commission holds the public review on 2-13-12. They will hear comments of the Petitioner and comments of property owners. Comments may be made in person or in writing.
5. At the conclusion of the public review, the Plan Commission makes a decision.

PLEASE COMPLETE THE FOLLOWING APPLICATION.

Refer to Chapter 19.63 of the City of Whitewater Municipal Code of Ordinances, entitled PLAN REVIEW, for more information on the application.

Twenty complete sets of all plans should be submitted. All plans should be drawn to a scale of not less than 50 feet to the inch; represent actual existing and proposed site conditions in detail; and indicate the name, address, and phone number of the applicant, land owner, architect, engineer, landscape designer, contractor, or others responsible for preparation. It is often possible and desirable to include two or more of the above 8 plans on one map. The Zoning Administrator or Plan and Architectural Review Commission may request more information, or may reduce the submittal requirements. If any of the above 10 plans is not submitted, the applicant should provide a written explanation of why it is not submitted.

## SITE PLAN SUBMITTAL REQUIREMENTS

This checklist must be completed before making application for a City of Whitewater Zoning/Building Permit. If not complete, the application will be returned to the owner and will not proceed until all information and forms are complete.

Drawings must be legible and drawn to scale not less than 1/4" per foot unless noted.

Address of Project 165 N. Tratt / 157 N. Tratt  
Zoning of Property R-3

1. **Site Plan**, including the location and dimensions of all buildings, parking, loading, vehicle and pedestrian circulation, signs, walls, fences, other structures, outdoor storage areas, mechanicals, and dumpsters. Adjacent streets and uses and methods for screening parking, loading, storage, mechanical, and dumpster areas should be shown. Statistics on lot area, green space percentage, and housing density should be provided. The Plan Commission encourages compliance with its adopted parking lot curbing policy.
2. **Natural Features Inventory Map**, showing the existing limits of all water bodies, wetlands, floodplains, existing trees with trunks more than 4 inches in diameter, and any other exceptional natural resource features on all or part of the site.
3. **Landscape Plan**, prepared by a professional, and showing an overhead view of all proposed landscaping and existing landscaping to remain. The species, size at time of planting, and mature size should be indicated for all plantings. Areas to be left in green space should be clearly delineated. The Plan Commission encourages compliance with its adopted landscaping guidelines, available from the Zoning Department.
4. **Grading and drainage plan**, meeting the City's stormwater management ordinance if required. The plan should show existing and proposed surface elevations on the site at two foot intervals or less, and proposed stormwater management improvements, such as detention/retention facilities where required. Stormwater calculations may be required.
5. **Utilities plan**, showing locations and sizes of existing and proposed connections to sanitary sewer, water, and storm sewer lines, along with required easements. Sampling manholes may be required for sanitary sewer. The City's noise ordinance must be met.
6. **Building elevations**, showing the dimensions, colors, and materials used on all sides of the building. The Plan Commission encourages variety and creativity in building colors and architectural styles, while respecting the character of the surrounding neighborhood.
7. **Sign plan**, meeting the City's sign ordinance, and showing the location, height, dimensions, color, materials, lighting and copy area of all signage.
8. **Lighting plan**, meeting the City's lighting ordinance, and showing the location, height, type, orientation, and power of all proposed outdoor lighting—both on poles and on buildings. Cut sheets and photometric plans may be required for larger projects.

9. **Floor plan** which shows:

- A. The size and locations of:
- 1) Rooms;
  - 2) Doors;
  - 3) Windows;
  - 4) Structural features - size, height and thickness of wood, concrete and/or masonry construction;
  - 5) Exit passageways (hallways) and stairs (including all stair dimensions - riser height, tread width, stair width, headroom and handrail heights);
  - 6) Plumbing fixtures (bathroom, kitchen, etc.) - lavatory, water closet, water heater, softener, etc.;
  - 7) Chimney(s) - include also the type of construction (masonry or factory built);
  - 8) Heating equipment;
  - 9) Cooling equipment (central air conditioning, if provided);
  - 10) Attic and crawl space access; and
  - 11) Fire separation between dwelling and garage.
  - 12) Electrical service entrance/transformer location.

10. **Elevation drawings** which show:

- A. Information on exterior appearance (wood, stone, brick, block, colors);
- B. Indicate the location, size and configuration of doors, windows, roof chimneys and exterior grade level.
- C. Indicate color of Trim \_\_\_\_\_, Siding \_\_\_\_\_, Roofing \_\_\_\_\_.
- D. Electrical service entrance/transformer location.

11. **Type of Project:**

- A. Single family;
- B. Duplex;
- C. Multifamily # units 8;  
Condominium # units \_\_\_\_\_;  
Sorority # units \_\_\_\_\_;  
Fraternity # units \_\_\_\_\_;
- D. Office/Store;
- E. Industrial;
- F. Parking lot # of stalls 33;
- G. Other;

City of Whitewater  
Application for Plan Review *CWP*

**IDENTIFICATION AND INFORMATION ON APPLICANT(S):**

Applicant's Name: DLK Enterprises, Inc.  
Applicant's Address: 144 N. Tratt Street  
Whitewater, WI 53190 Phone # (262) 473-5321

Owner of Site, according to current property tax records (as of the date of the application):

Street address of property: Multiple 157, 165 N. Tratt, 1039 Florence *converting to CSU*

Legal Description (Name of Subdivision, Block and Lot or other Legal Description):

Agent or Representative assisting in the Application (Engineer, Architect, Attorney, etc.)

Name of Individual: Bradley Werginz  
Name of Firm: Amus Young & Associates  
Office Address: 555 S. River Street  
Whitewater Janesville, WI 53548 Phone: (608) 756-2326  
Name of Contractor: DLK Remodeling

Has either the applicant or the owner had any variances issued to them, on any property? YES  NO   
If YES, please indicate the type of variance issued and indicate whether conditions have been complied with.

**EXISTING AND PROPOSED USES:**

Principal Use: Single / Two Family Current Land Use:

Accessory or Secondary Uses:

Proposed Use  
Multi-family Building conversion from Single / 2 Family  
housing across 3 lots. ~~conversion~~ The New Building will consist  
of 6-4 bedroom units and 2-5 bedroom units CSU will be  
provided for lot adjustment

No. of occupants proposed to be accommodated: 34

No. of employees: 0

Zoning District in which property is located: R-3

Section of City Zoning Ordinance that identifies the proposed land use in the Zoning District in which the property is located:

PLANS TO ACCOMPANY APPLICATION

Applications for permits shall be accompanied by drawings of the proposed work, drawn to scale, showing, when necessary, floor plans, sections, elevations, structural details, computations and stress diagrams as the building official may require.

PLOT PLAN

When required by the building official, there shall be submitted a plot plan in a form and size designated by the building official for filing permanently with the permit record, drawn to scale, with all dimension figures, showing accurately the size and exact location of all proposed new construction and the relation to other existing or proposed buildings or structures on the same lot, and other buildings or structures on adjoining property within 15 feet of the property lines. In the case of demolition, the plot plan shall show the buildings or structures to be demolished and the buildings or structures on the same lot that are to remain.

STANDARDS

STANDARD	APPLICANT'S EXPLANATION
A. The proposed structure, addition, alteration or use will meet the minimum standards of this title for the district in which it is located;	Yes
B. The proposed development will be consistent with the adopted city master plan;	Yes
C. The proposed development will be compatible with and preserve the important natural features of the site;	Yes, we will plant numerous trees in city Right of way as well
D. The proposed use will not create a nuisance for neighboring uses, or unduly reduce the values of an adjoining property;	Correct

STANDARD	APPLICANT'S EXPLANATION
<p>E. The proposed development will not create traffic circulation or parking problems;</p>	<p>The development will remove driveway off a busy thoroughfare (Tratt Street) An Allocate that entrance to a much more lightly travelled Street (Florence)</p>
<p>F. The mass, volume, architectural features, materials and/or setback of proposed structures, additions or alterations will appear to be compatible with existing buildings in the immediate area;</p>	<p>Yes</p>
<p>G. Landmark structures on the National Register of Historic Places will be recognized as products of their own time. Alterations which have no historical basis will not be permitted;</p>	<p>NA</p>
<p>H. The proposed structure, addition or alteration will not substantially reduce the availability of sunlight or solar access on adjoining properties.</p>	<p><del>No</del> Yes</p>

**CONDITIONS**

The City of Whitewater Zoning Ordinance authorizes the Plan Commission to place conditions on approved uses. Conditions can deal with the points listed below (Section 19.63.080). Be aware that there may be discussion at the Plan Commission in regard to placement of such conditions upon your property. You may wish to supply pertinent information.

"Conditions" such as landscaping, architectural design, type of construction, construction commencement and completion dates, sureties, lighting, fencing, plantation, deed restrictions, highway access restrictions, increased yards or parking requirements may be required by the Plan and Architectural Review Commission upon its finding that these are necessary to fulfill the purpose and intent of this Ordinance.

"Plan Review" may be subject to time limits or requirements for periodic reviews where such requirements relate to review standards.

Michael Kufel 1.16.12  
Applicant's Signature Date

**APPLICATION FEES:**

*Fee for Plan Review Application: \$100*

Date Application Fee Received by City 1-16-12 Receipt No. 6.00 9600

Received by J. Wagner

**TO BE COMPLETED BY CODE ENFORCEMENT/ZONING OFFICE:**

Date notice sent to owners of record of opposite & abutting properties: 1-30-12  
Date set for public review before Plan & Architectural Review Board: 2-13-12

**ACTION TAKEN:**

Plan Review: \_\_\_\_\_ Granted \_\_\_\_\_ Not Granted by Plan & Architectural Review Commission.

**CONDITIONS PLACED UPON PERMIT BY PLAN AND ARCHITECTURAL REVIEW COMMISSION:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Signature of Plan Commission Chairman Date



## **Tips for Minimizing Your Development Review Costs: A Guide for Applicants**

The City of Whitewater assigns its consultant costs associated with reviewing development proposals to the applicant requesting development approval. These costs can vary based on a number of factors. Many of these factors can at least be partially controlled by the applicant for development review. The City recognizes that we are in a time when the need to control costs is at the forefront of everyone's minds. The following guide is intended to assist applicants for City development approvals understand what they can do to manage and minimize the costs associated with review of their applications. The tips included in this guide will almost always result in a less costly and quicker review of an application.

### **Meet with Neighborhoods Services Department before submitting an application**

If you are planning on submitting an application for development review, one of the first things you should do is have a discussion with the City's Neighborhood Services Department. This can be accomplished either by dropping by the Neighborhood Services Department counter at City Hall, or by making an appointment with the Neighborhood Services Director. Before you make significant investments in your project, the Department can help you understand the feasibility of your proposal, what City plans and ordinances will apply, what type of review process will be required, and how to prepare a complete application.

### **Submit a complete and thorough application**

One of the most important things you can do to make your review process less costly to you is to submit a complete, thorough, and well-organized application in accordance with City ordinance requirements. The City has checklists to help you make sure your application is complete. To help you prepare an application that has the right level of detail and information, assume that the people reviewing the application have never seen your property before, have no prior understanding of what you are proposing, and don't necessarily understand the reasons for your request.

### **For more complex or technical types of projects, strongly consider working with an experienced professional to help prepare your plans**

Experienced professional engineers, land planners, architects, surveyors and landscape architects should be quite familiar with standard development review processes and expectations. They are also generally capable of preparing high-quality plans that will ultimately require less time (i.e., less cost for you) for the City's planning and engineering consultants to review, saving you money in the long run. Any project that includes significant site grading, stormwater management, or utility work; significant landscaping; or significant building remodeling or expansion generally requires professionals in the associated fields to help out.

### **For simpler projects, submit thorough, legible, and accurate plans**

For less complicated proposals, it is certainly acceptable to prepare plans yourself rather than paying to have them prepared by a professional. However, keep in mind that even though the project may be less complex, the City's staff and planning consultant still need to ensure that your proposal meets all City



## Tips for Minimizing Your Development Review Costs: A Guide for Applicants

requirements. Therefore, such plans must be prepared with care. Regardless of the complexity, all site, building, and floor plans should:

1. Be drawn to a recognized scale and indicate what the scale is (e.g., 1 inch = 40 feet).
2. Include titles and dates on all submitted documents in case pieces of your application get separated.
3. Include clear and legible labels that identify streets, existing and proposed buildings, parking areas, and other site improvements.
4. Indicate what the property and improvements look like today versus what is being proposed for the future.
5. Accurately represent and label the dimensions of all lot lines, setbacks, pavement/parking areas, building heights, and any other pertinent project features.
6. Indicate the colors and materials of all existing and proposed site/building improvements. Including color photos with your application is one inexpensive and accurate way to show the current condition of the site. Color catalog pages or paint chips can be included to show the appearance of proposed signs, light fixtures, fences, retaining walls, landscaping features, building materials, or other similar improvements.

### Submit your application well in advance of the Plan and Architectural Review Commission meeting

The City normally requires that a complete application be submitted four weeks in advance of the Commission meeting when it will be considered. For simple submittals not requiring a public hearing, this may be reduced to two weeks in advance. The further in advance you can submit your application, the better for you and everyone involved in reviewing the project. Additional review time may give the City's planning consultant and staff an opportunity to communicate with you about potential issues with your project or application and allow you time to efficiently address those issues before the Plan and Architectural Review Commission meeting. Be sure to provide reliable contact information on your application form and be available to respond to such questions or requests in a timely manner.

### For more complex projects, submit your project for conceptual review

A conceptual review can be accomplished in several ways depending on the nature of your project and your desired outcomes.

1. Preliminary plans may be submitted to City staff and the planning consultant for a quick, informal review. This will allow you to gauge initial reactions to your proposal and help you identify key issues;
2. You may request a sit-down meeting with the Neighborhood Services Director and/or planning consultant to review and more thoroughly discuss your proposal; and/or
3. You can ask to be placed on a Plan and Architectural Review Commission meeting agenda to present and discuss preliminary plans with the Commission and gauge its reaction before formally submitting your development review application.

Overall, conceptual reviews almost always save time, money, stress, and frustration in the long run for everyone involved. For this reason, the City will absorb up to \$200 in consultant review costs for conceptual review of each project.



## Tips for Minimizing Your Development Review Costs: A Guide for Applicants

### Hold a neighborhood meeting for larger and potentially more controversial projects

If you believe your project falls into one or both of these two categories (City staff can help you decide), one way to help the formal development review process go more smoothly is to host a meeting for the neighbors and any other interested members of the community. This would happen before any Plan and Architectural Review Commission meeting and often before you even submit a formal development review application.

A neighborhood meeting will give you an opportunity to describe your proposal, respond to questions and concerns, and generally address issues in an environment that is less formal and potentially less emotional than a Plan and Architectural Review Commission meeting. Neighborhood meetings can help you build support for your project, understand others' perspectives on your proposals, clarify misunderstandings, and modify the project and alleviate public concerns before the Plan and Architectural Review Commission meetings. Please notify the City Neighborhood Services Director of your neighborhood meeting date, time, and place; make sure all neighbors are fully aware (City staff can provide you a mailing list at no charge); and document the outcomes of the meeting to include with your application.



## Typical City Planning Consultant Development Review Costs

The City often utilizes assistance from a planning consultant to analyze requests for land development approvals against City plans and ordinances and assist the City's Plan and Architectural Review Commission and City Council on decision making. Because it is the applicant who is generating the need for the service, the City's policy is to assign most consultant costs associated with such review to the applicant, as opposed to asking general taxpayer to cover these costs.

The development review costs provided below represent the planning consultant's range of costs associated with each particular type of development review. This usually involves some initial analysis of the application well before the public meeting date, communication with the applicant at that time if there are key issues to resolve before the meeting, further analysis and preparation of a written report the week before the meeting, meeting attendance, and sometimes minor follow-up after the meeting. Costs vary depending on a wide range of factors, including the type of application, completeness and clarity of the development application, the size and complexity of the proposed development, the degree of cooperation from the applicant for further information, and the level of community interest. The City has a guide called "Tips for Minimizing Your Development Review Costs" with information on how the applicant can help control costs.

Type of Development Review Being Requested	Planning Consultant Review Cost Range
<b>Minor Site/Building Plan</b> (e.g., minor addition to building, parking lot expansion, small apartment, downtown building alterations)	
When land use is a permitted use in the zoning district, and for minor downtown building alterations	Up to \$600
When use also requires a conditional use permit, and for major downtown building alterations	\$700 to \$1,500
<b>Major Site/Building Plan</b> (e.g., new gas station/convenience store, new restaurant, supermarket, larger apartments, industrial building)	
When land use is a permitted use in the zoning district	\$700 to \$2,000
When land use also requires a conditional use permit	\$1,600 to \$12,000
<b>Conditional Use Permit with no Site Plan Review</b> (e.g., home occupation, sale of liquor request, substitution of use in existing building)	\$up to \$600
<b>Rezoning</b>	
To a standard (not PCD) zoning district	\$400 to \$2,000
To Planned Community Development zoning district, assuming complete GDP & SIP application submitted at same time	\$2,100 to \$12,000
<b>Land Division</b>	
Certified Survey Map	Up to \$300
Preliminary Subdivision Plat	\$1,500 to \$3,000
Final Plat (does not include any development agreement time)	\$500 to \$1,500
<b>Annexation</b>	\$200 to \$400
<p>Note on Potential Additional Review Costs: The City also retains a separate engineering consultant, who is typically involved in larger projects requiring stormwater management plans, major utility work, or complex parking or road access plans. Engineering costs are not included above, but will also be assigned to the development review applicant. The consultant planner and engineer closely coordinate their reviews to control costs.</p>	



# Cost Recovery Certificate and Agreement

The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, and recreation specialists) to assist in the City's review of an application for development review coming before the Plan and Architectural Review Commission, Board of Zoning Appeals, and/or Common Council. In fact, most applications require some level of review by the City's planning consultant. City of Whitewater staff shall retain sole discretion in determining when and to what extent it is necessary to involve a professional consultant in the review of an application.

The submittal of an application or petition for development review by an applicant shall be construed as an agreement to pay for such professional review services associated with the application or petition. The City may apply the charges for these services to the applicant and/or property owner in accordance with this agreement. The City may delay acceptance of an application or petition (considering it incomplete), or may delay final action or approval of the associated proposal, until the applicant pays such fees or the specified percentage thereof. Development review fees that are assigned to the applicant, but that are not actually paid, may then be imposed by the City as a special charge on the affected property.

## Section A: Background Information

----- To be filled out by the Applicant/Property Owner -----

### Applicant's Information:

Name of Applicant:

Michael Kuchel

Applicant's Mailing Address:

PO Box 239

Whitewater WI 53190

Applicant's Phone Number:

(262) 473-5321

Applicant's Email Address:

Rentals@DLKrentals.com

### Project Information:

Name/Description of Development:

Fullerton House 165 N. Tratt St.

Address of Development Site:

165 N. Tratt St.

Tax Key Number(s) of Site:

WUP 00172C, BH 00009, BH 00001

### Property Owner Information (if different from applicant):

Name of Property Owner:

DLK Enterprises, LLC.

Property Owner's Mailing Address:

PO Box 239

Whitewater, WI 53190



# Cost Recovery Certificate and Agreement

## Section B: Applicant/Property Owner Cost Obligations

----- To be filled out by the City's Neighborhood Services Director -----

Under this agreement, the applicant shall be responsible for the costs indicated below. In the event the applicant fails to pay such costs, the responsibility shall pass to the property owner, if different. Costs may exceed those agreed to herein only by mutual agreement of the applicant, property owner, and City. If and when the City believes that actual costs incurred will exceed those listed below, for reasons not anticipated at the time of application or under the control of the City administration or consultants, the Neighborhood Services Director or his agent shall notify the applicant and property owner for their approval to exceed such initially agreed costs. If the applicant and property owner do not approve such additional costs, the City may, as permitted by law, consider the application withdrawn and/or suspend or terminate further review and consideration of the development application. In such case, the applicant and property owner shall be responsible for all consultant costs incurred up until that time.

- A. Application Fee.....\$ \_\_\_\_\_
- B. Expected Planning Consultant Review Cost.....\$ \_\_\_\_\_
- C. Total Cost Expected of Applicant (A+B).....\$ \_\_\_\_\_
- D. 25% of Total Cost, Due at Time of Application.....\$ \_\_\_\_\_
- E. Project Likely to Incur Additional Engineering or Other Consultant Review Costs?  Yes  No

The balance of the applicant's costs, not due at time of application, shall be payable upon applicant receipt of one or more itemized invoices from the City. If the application fee plus actual planning and engineering consultant review costs end up being less than the 25% charged to the applicant at the time of application, the City shall refund the difference to the applicant.

## Section C: Agreement Execution

----- To be filled out by the Applicant and Property Owner -----

The undersigned applicant and property owner agree to reimburse the City for all costs directly or indirectly associated with the consideration of the applicant's proposal as indicated in this agreement, with 25% of such costs payable at the time of application and the remainder of such costs payable upon receipt of one or more invoices from the City following the execution of development review services associated with the application.

  
Signature of Applicant/Petitioner

\_\_\_\_\_  
Signature of Property Owner (if different)

Michael KACHEC  
Printed Name of Applicant/Petitioner

\_\_\_\_\_  
Printed Name of Property Owner (if different)

1.16.12  
Date of Signature

\_\_\_\_\_  
Date of Signature

Date Received: \_\_\_\_\_

**GENERAL INFORMATION**  
**CONSTRUCTION SITE EROSION CONTROL / STORMWATER MANAGEMENT PERMIT APPLICATION**

**Send Application to:**

City of Whitewater  
312 West Whitewater Street  
P.O. Box 178  
Whitewater, Wisconsin 53190

**Instructions:** Please type or print. Read all instructions before completing application.

Name of Project: DLK 8-Unit Apartment Building at 157/165 Tratt Street *1039 Florence*

Project Information:

*will remain up until  
Summer.*

Duration: 5 months Project Start Date: April 1, 2012 Project End Date: August 1, 2012

Applicant/Entity Receiving Permit

Name of Applicant: \_\_\_\_\_  
First Name of Contact: Mike Last Name: Kachel  
Street (1): 144 N. Tratt Street  
Street (2): \_\_\_\_\_  
City: Whitewater State: WI Zip Code: 53190  
Telephone Number: (262) 473-3530  
Fax Number: ( )  
E-Mail: leonk@idcnet.com

Property Owner

First Name: DLK Enterprises Last Name: \_\_\_\_\_  
Street (1): P.O. Box 239  
Street (2): \_\_\_\_\_  
City: Whitewater State: WI Zip Code: 53190  
Telephone Number: (262) 473-3530  
Parcel Identification Number(s): WUP/00172C, BH 000C9, BH 00001  
E-Mail: leonk@idcnet.com

Engineer

Name of Firm: Angus Young Associates  
First Name of Contact: Katie Last Name: Udell  
Street (1): 555 S. River Street  
Street (2): \_\_\_\_\_  
City: Janesville State: WI Zip Code: 53548  
Telephone Number: (608) 756-2326  
Fax Number: (608) 756-0464  
E-Mail: katieu@angusyoung.com

**CITY OF WHITEWATER**

**CONSTRUCTION SITE EROSION CONTROL / STORMWATER MANAGEMENT PLAN**

**APPLICATION CHECKLIST**

**Site / 1 acre >** (Less than 1 Acre site - 0.81 Acres)  
 **Site / 1 acre <**

**EC: EROSION CONTROL**  
**SWM: STORMWATER MANAGEMENT**

Permit #: \_\_\_\_\_

Date: \_\_\_\_\_

**Project Name:** DLK 8-Unit at 157 Tratt and 165 Tratt

Please check the appropriate box: I = Included; NA = Non-Applicable

(If "NA" is checked, an explanation must be entered.)

Plan Requirement	I	NA	Explanation/Location in Plan
<b>A. Submittal Requirements</b>			
1. Permit Application Form / EC & SWM	X		
2. Maintenance Agreement / SWM		X	Less than 1 acre land disturbance,
3. Financial Guarantee / SWM		X	not applicable to Chapter 16.16
4. Certification by Wisconsin Prof. Engineer / SWM		X	See above
<b>B. Predevelopment Site Conditions Mapping</b>			
1. Location Map / EC & SWM	X		
2. Soils Survey Map / EC & SWM	X		
3. Existing Land Use Mapping / EC & SWM	X		See Location Map, showing existing residential
4. Predeveloped Site Conditions / EC & SWM	X		
a. Existing Contours	X		
b. Property lines	X		
c. Existing flow paths and direction	X		
d. Outlet locations	X		
e. Drainage basin divides and subdivides		X	Not required to model existing vs. new storm
f. Existing drainage structures on and adjacent to the site.	X		
g. Nearby Watercourses		X	
h. Lakes, streams, wetlands, channels, ditches, etc.		X	No wetlands, water bodies or ditches. Curbed
i. Limits of the 100-year floodplain;		X	None adjacent to site
j. Wells/Wellhead Protection Areas / SWM		X	
<b>C. Proposed Site Grading and Erosion Control Plan / EC</b>			
1. Boundaries of the construction site	X		
2. Drainage Patterns / slopes after grading activities	X		
3. Areas of land disturbance	X		
4. Locations of structural and nonstructural controls	X		
5. Drainage basin delineations and outfall location		X	
<b>D. Post-Development Site Conditions Mapping / SWM</b>			
1. Pervious Surfaces	X		
2. Impervious Surfaces	X		
3. One Foot Topographic Contours	X		
4. Proposed Drainage System (including applicable off-site)	X		
5. Proposed Easement Locations		X	No new easements proposed
6. Proposed Flow Paths, Overland Flow Routes	X		
7. Proposed Outlets/Drainage Divides	X		
<b>E. Drawings/Details</b>			
1. Practice Location/Layout/Cross Sections / EC & SWM	X		
2. Construction Details / EC	X		
3. Outlet Structure Details / SWM	X		
4. Ditch/Storm Sewer Plan/Profile / SWM	X		
5. Other / EC & SWM			

**CITY OF WHITEWATER**  
**CONSTRUCTION SITE EROSION CONTROL / STORMWATER MANAGEMENT PLAN**  
**APPLICATION CHECKLIST**

**Site / 1 acre >** (Less than 1 Acre site - 0.81 Acres)  
 **Site / 1 acre <**

**EC: EROSION CONTROL**  
**SWM: STORMWATER MANAGEMENT**

Permit #: \_\_\_\_\_  
 Date: \_\_\_\_\_

**Project Name:** DLK 8-Unit at 157 Tratt and 165 Tratt

Please check the appropriate box: I = Included; NA = Non-Applicable

(If "NA" is checked, an explanation must be entered.)

Plan Requirement	I	NA	Explanation/Location in Plan
<b>F. Calculations, as required, including files / EC &amp; SWM</b>			
1. Hydrograph Parameter Calculations		x	Less than 1 acre disturbance / not required
2. Computer Modeling Input/Output (Pre- and Postdeveloped)		x	
3. Detention Pond Routing		x	
4. Conveyance System Design		x	
5. Other			
<b>G. Narrative / SWM</b>			
1. Methodologies and Assumptions		x	Less than 1 acre disturbance / not required
2. Results/Conclusions		x	
a. Pre-, and Post-developed parameter summary		x	
b. Pre-, and Post-developed peak discharge Summary		x	
3. Provisions to preserve natural topography/cover features		x	
4. Limitations from wellhead protection plans and ordinances.		x	
5. Results of investigations of soils and groundwater		x	
6. Practice Installation Schedule		x	
7. Maintenance Plan		x	
8. Cost Estimates		x	
9. Other Information		x	
<b>H. Narrative / EC</b>			
1. Name of receiving waters	x		
2. Site Description / Nature of construction activity	x		
3. Sequence of Construction	x		
4. Estimate of site area and disturbance area	x		
5. Pre- and postdeveloped runoff coefficients		x	Less than 1 acre disturbance / not required
6. Description of proposed controls, including	x		
a. Interim and permanent stabilization practices	x		
b. Practices to divert flow from exposed soils	x		
c. Practices to store flows or trap sediment	x		
d. Any other practices proposed to meet ordinance	x		



# DLK 8-UNIT APARTMENT BUILDING TRATT ST. & FLORENCE ST. DLK ENTERPRISES WHITEWATER, WISCONSIN

**Angus Young** Architecture  
Engineering  
Interior Design  
*Balance in Creativity*

555 South River Street, Janesville, WI 53548-4783  
Ph: 608.756.2326 Fax: 608.756.0464  
www.angusyong.com



STREET ELEVATION  
SCALE: 1/8" = NONE

## REGULATORY DATA

### PROJECT ADDRESS

165 NORTH TRATT STREET  
WHITEWATER, WISCONSIN

### BUILDING CODE

WISCONSIN ENROLLED 2006 IBC

### USE AND OCCUPANCY CLASSIFICATION

R-2  
ONE HOUR RATED UNIT SEPERATION

### GENERAL BUILDING HEIGHT AND AREA

MAXIMUM AREA = 7000 S.F.  
MAXIMUM STORIES = 2  
MAXIMUM HEIGHT = 40 FT

### TYPE OF CONSTRUCTION

5B

## SHEET INDEX

### GENERAL

G001 COVER SHEET

### CIVIL

C100 EXISTING AND DEMOLITION SITE PLAN  
C101 SITE LAYOUT PLAN  
C201 SITE GRADING PLAN  
C202 EROSION AND SEDIMENT CONTROL PLAN  
C801 SITE DETAILS  
C801 SITE LIGHTING PLAN  
L101 LANDSCAPE PLAN

### ARCHITECTURAL

A101 FIRST FLOOR PLAN AND STAIR SECTION  
A201 SECOND FLOOR PLAN AND ROOF PLAN  
A301 SCHEDULES AND BUILDING SECTION  
A401 EXTERIOR ELEVATIONS  
A701 WALL SECTIONS AND DETAILS

### STRUCTURAL

S101 FOUNDATION AND SLAB PLAN  
S201 SECOND FLOOR FRAMING PLAN  
S202 ROOF FRAMING PLAN AND TRUSS PROFILES  
S301 STRUCTURAL NOTES

### MECHANICAL

M101 FIRST FLOOR HVAC PLAN  
M102 SECOND FLOOR HVAC PLAN

## LOCATION MAP



24	20	16	12	08	04
23	19	15	11	07	03
22	18	14	10	06	02
21	17	13	09	05	01

TITLE BLOCK

DETAILS IN THIS SET ARE PLACED ON THE SHEETS AND NUMBERED WITH RESPECT TO THE GRID ABOVE. CONSEQUENTLY, DETAILS ON A GIVEN SHEET MAY OR MAY NOT BE NUMBERED CONSECUTIVELY.

REGISTRATION STAMP AND SIGNATURE

## DLK 8-UNIT APARTMENT BUIDING

165 NORTH TRATT STREET

DLK ENTERPRISES

PROJECT NO.  
47300

DRAWN BY  
BTW

REVIEWED BY  
JCT

APPROVED BY  
JLH

ISSUANCES

REVISIONS

DEPT. OF COMMERCE PLAN REVIEW - 12/15/2010  
City of Whitewater Planning Commission - 01/08/2012

D.O.C. HOLD LETTER PLAN REVISIONS - 01/17/11  
D.O.C. NEW SITE PLAN REVISIONS - 02/18/12

12/22/2012  
Copyright © 2012

12:15:14 PM  
Angus-Young Associates, All Rights Reserved

G001



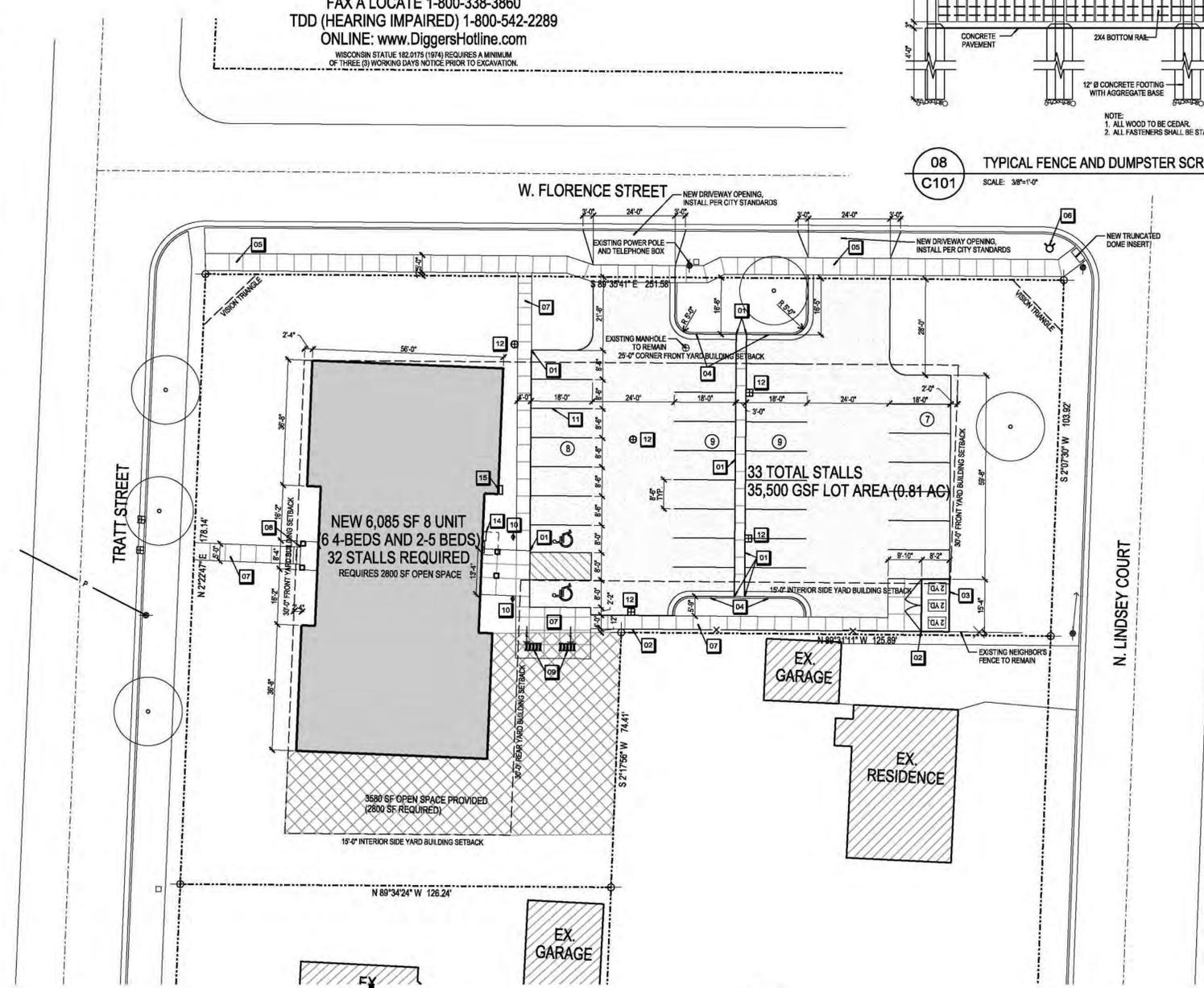
SCALE: 1"=20'-0"  
 PLOTTED BY: BSW

ORIGINAL SIZE: 24" x 36"  
 X:\120\Drawings\7000\C101.dgn

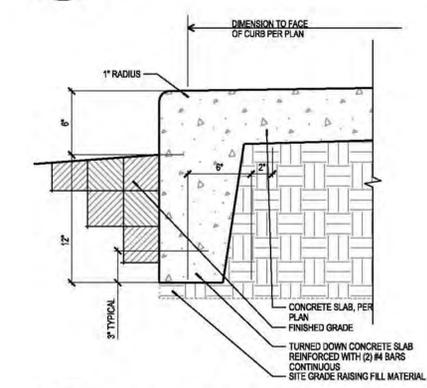
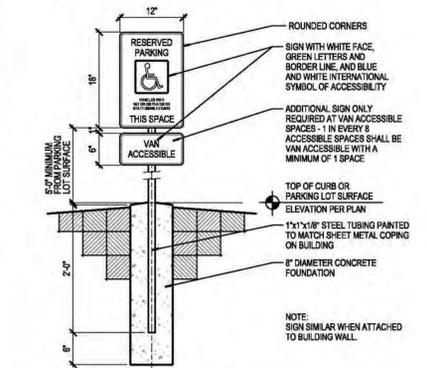
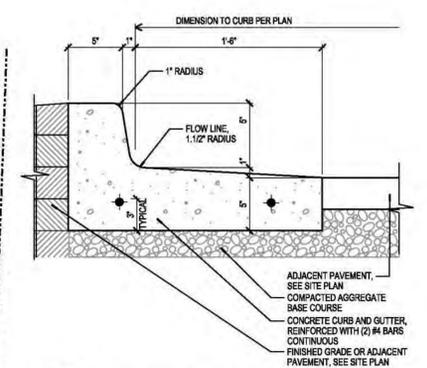
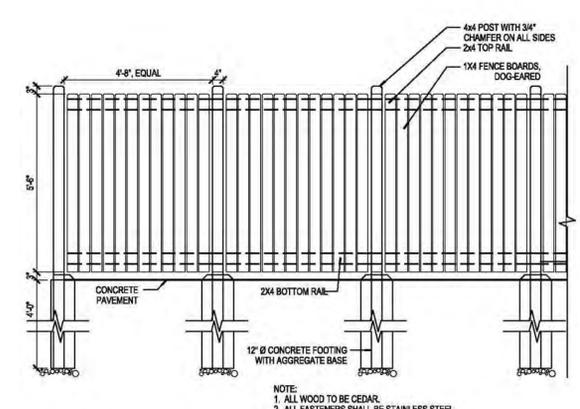


CALL TOLL FREE 1-800-242-8511  
 MILWAUKEE AREA 414-259-1181  
 FAX A LOCATE 1-800-338-3860  
 TDD (HEARING IMPAIRED) 1-800-542-2289  
 ONLINE: www.DiggersHotline.com

WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF THREE (3) WORKING DAYS NOTICE PRIOR TO EXCAVATION.



- KEYNOTES**
- 01 NEW TURN DOWN CURB, SEE DETAIL 01/C101
  - 02 NEW 8'-0" HIGH WOOD SCREEN FENCE, SEE DETAIL 08/C101
  - 03 NEW 8'-0" HIGH WOOD DUMPSTER ENCLOSURE WITH WOOD GATES
  - 04 NEW 8" REJECT CURB, SEE DETAIL 03/C101
  - 05 NEW 5'-0" WIDE SIDEWALK, 1'-0" OFF PROPERTY LINE, INSTALL PER CITY ORDINANCE 12.22.030, ADJUST LOCATION AS NECESSARY AROUND EXISTING TREES TO REMAIN.
  - 06 NEW FIRE HYDRANT
  - 07 NEW CONCRETE SIDEWALK
  - 08 NEW CONCRETE STEPS
  - 09 NEW BIKE RACKS
  - 10 NEW BARRIER-FREE PARKING STALLS SIGNS, SEE DETAIL 02/C101
  - 11 NEW 4" PAINT STRIPE, TYPICAL
  - 12 NEW STORM INLET, SEE DETAIL 14/C801
  - 13 NEW 4" PAINT STRIPE, TYPICAL
  - 14 NEW ELECTRIC METER AND DISCONNECT
  - 15 NEW GAS METER



Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

**Angus Young**  
 Architecture  
 Engineering  
 Interior Design  
 Balance in Creativity

555 South River Street, Janesville, WI 53548-4783  
 Ph: 608.756.2326 Fax: 608.756.0464  
 www.angusyoung.com

**DLK NEW APARTMENT BUILDING TRATT STREET AND FLORENCE STREET**  
**DLK ENTERPRISES WHITEWATER, WI**

PROJECT NUMBER: 47300  
 APPROVED BY: J.H.  
 REVIEWED BY: B.T.W.  
 DRAWN BY: K.A.U.  
 1/23/2012 12:08:59 PM

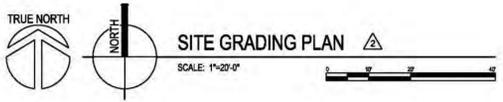
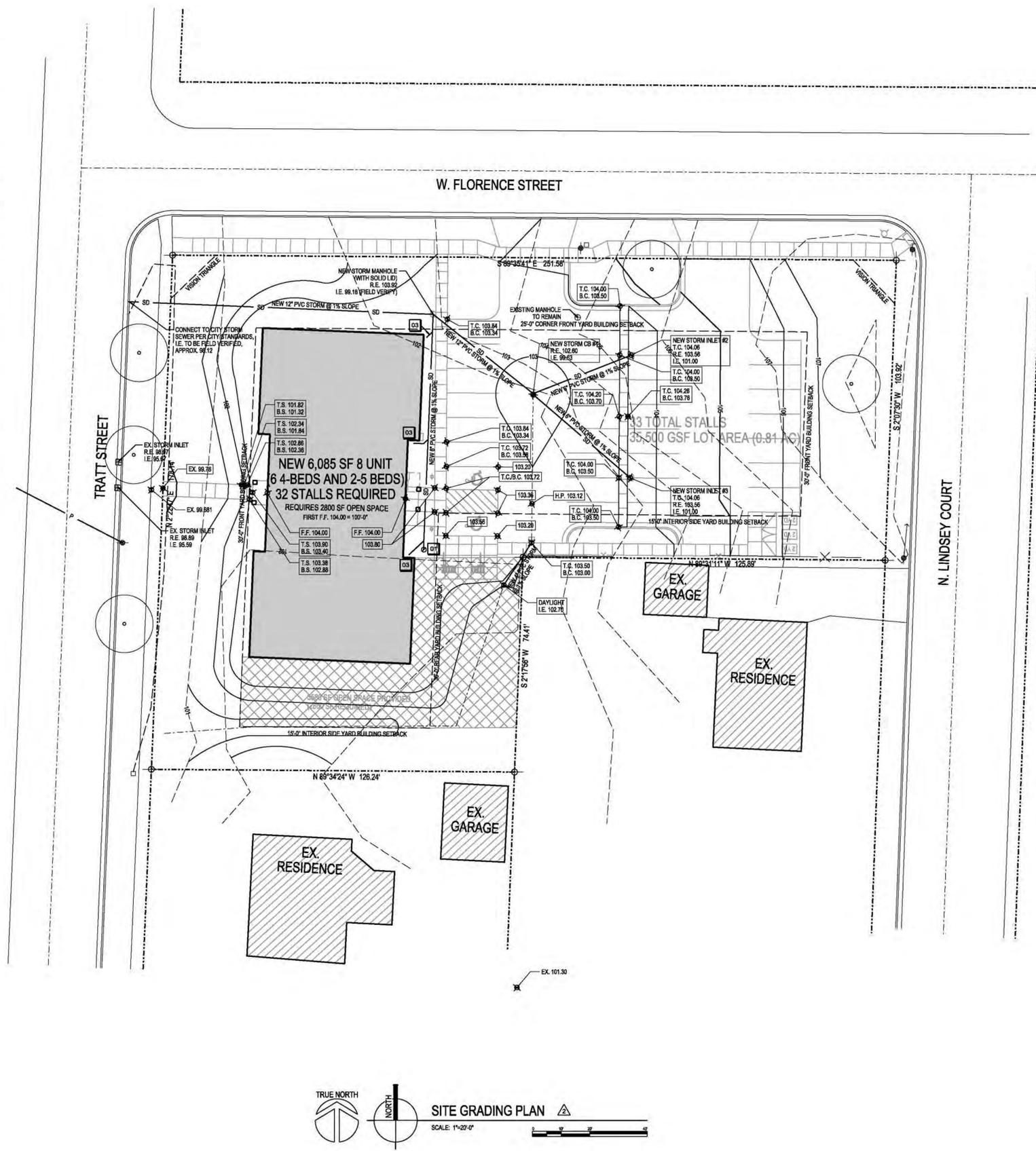
ISSUANCES  
 City of Whitewater Planning Commission - 01/09/2012  
 REVISIONS  
 REVISED DWGS - NEW SITE SUBMITTAL - 01/18/2012

Copyright © 2012 Angus-Young Associates, Inc. All Rights Reserved

**C101**

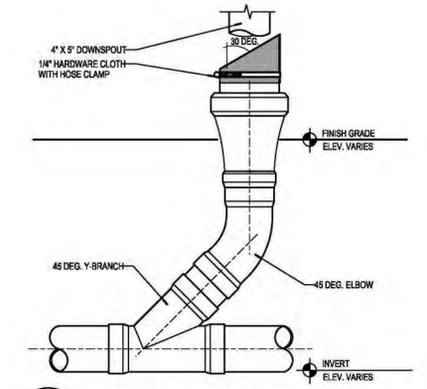
SCALE: 1"=20'-0"  
 PLOTTED BY: BWH

ORIGINAL SIZE = 24" x 36"  
 X:\120\Draws\47000\C201.dgn

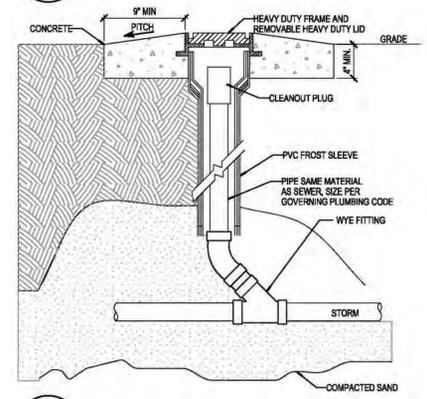


**DIGGERS HOTLINE**

CALL TOLL FREE 1-800-242-8511  
 MILWAUKEE AREA 414-259-1181  
 FAX A LOCATE 1-800-338-3860  
 TDD (HEARING IMPAIRED) 1-800-542-2289  
 ONLINE: www.DiggersHotline.com  
WISCONSIN STATUTE 103.07(5) (1974) REQUIRES A MINIMUM OF THREE (3) WORKING DAYS NOTICE PRIOR TO EXCAVATION.



**03 OPEN RECEPTACLE DETAIL**  
 SCALE: NOT TO SCALE



**02 YARD CLEANOUT - STORM**  
 SCALE: NONE

- KEYNOTES**
- 01 NEW 6" STORM YARD CLEANOUT, SEE DETAIL 02/C201
  - 02 NEW STORM CATCH BASIN/MANHOLE WITH MIN. 36" INSIDE DIAMETER.
  - 03 ALL DOWNSPOUT CONNECTIONS SHALL BE MADE ABOVE FINISH GRADE, SEE DETAIL 03/C201, TYPICAL

- GENERAL NOTES**
1. TRACER WIRE SHALL BE INSTALLED ABOVE ALL SANITARY, STORM, AND WATER LINES THAT CONNECT TO A PUBLIC UTILITY. TRACER WIRE SHALL BE A MINIMUM OF 12 GAUGE, PLASTIC-COATED COPPER WIRE DIRECTLY ATTACHED TO PIPE WITH CLAMPS OR STRAPS. THE FOUNDATION END OF THE WIRE SHALL BE PLACED AT LEAST 4" ABOVE GROUND AT THE FOUNDATION OR 4" INSIDE THE FOUNDATION WALL FOR ACCESS. IF PLACED ABOVE GROUND, THE WIRE SHALL BE ATTACHED BY CLAMP OR ZIP TIE TO A 3/8" DIAMETER ROD. THE MAIN CONNECTION POINT SHALL BE ATTACHED TO THE MAIN SEWER PIPE. PROTECT THE WIRE AT THE ACCESS POINTS. THE COLOR OF TRACER WIRE SHALL BE AS FOLLOWS:
    - GREEN FOR SANITARY SEWER
    - BROWN FOR STORM SEWER
    - BLUE FOR POTABLE WATER

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

PROJECT NUMBER: 47300  
 APPROVED BY: J.H.  
 REVIEWED BY: B.T.W.  
 DRAWN BY: K.A.U.  
 1/23/2012 12:38:44 PM

ISSUANCES  
 City of Milwaukee Planning Commission - 01/09/2012

REVISIONS  
 REVISED DWGS - NEW SITE SUBMITTAL - 01/18/2012

Copyright © 2012 Angus-Young Associates, Inc. All Rights Reserved

Angus-Young Associates, Inc.  
 Architecture  
 Engineering  
 Interior Design  
**Angus Young**  
 Balance in Creativity  
 555 South River Street, Janesville, WI 53548-4783  
 Ph: 608.756.2326 Fax: 608.756.0464  
 www.angusyoung.com

DLK NEW APARTMENT BUILDING  
 TRATT STREET AND FLORENCE STREET  
 DLK ENTERPRISES  
 WHITEWATER, WI

SITE GRADING PLAN

**C201**

**CONSTRUCTION SITE EROSION CONTROL REGULATIONS**

NR 151.105 Construction Site Performance Standards for Non-Permitted Areas

The following are requirements for less than one acre of land disturbance. This project will disturb approximately 0.81 Acres (size of property).

Provide erosion and sediment control practices to prevent or reduce all of the following:

- The deposition of soil from being tracked onto streets by vehicles.
- The discharge of sediment from disturbed areas into on-site storm water inlets.
- The discharge of sediment from disturbed areas into adjacent waters of the state.
- The discharge of sediment from drainage ways that flow off the site.
- The discharge of sediment by dewatering activities.
- The discharge of sediment eroding from soil stockpiles existing for more than 7 days.
- The transport by runoff into waters of the state of chemicals, cement and other building compounds and materials on the construction site during the construction period.

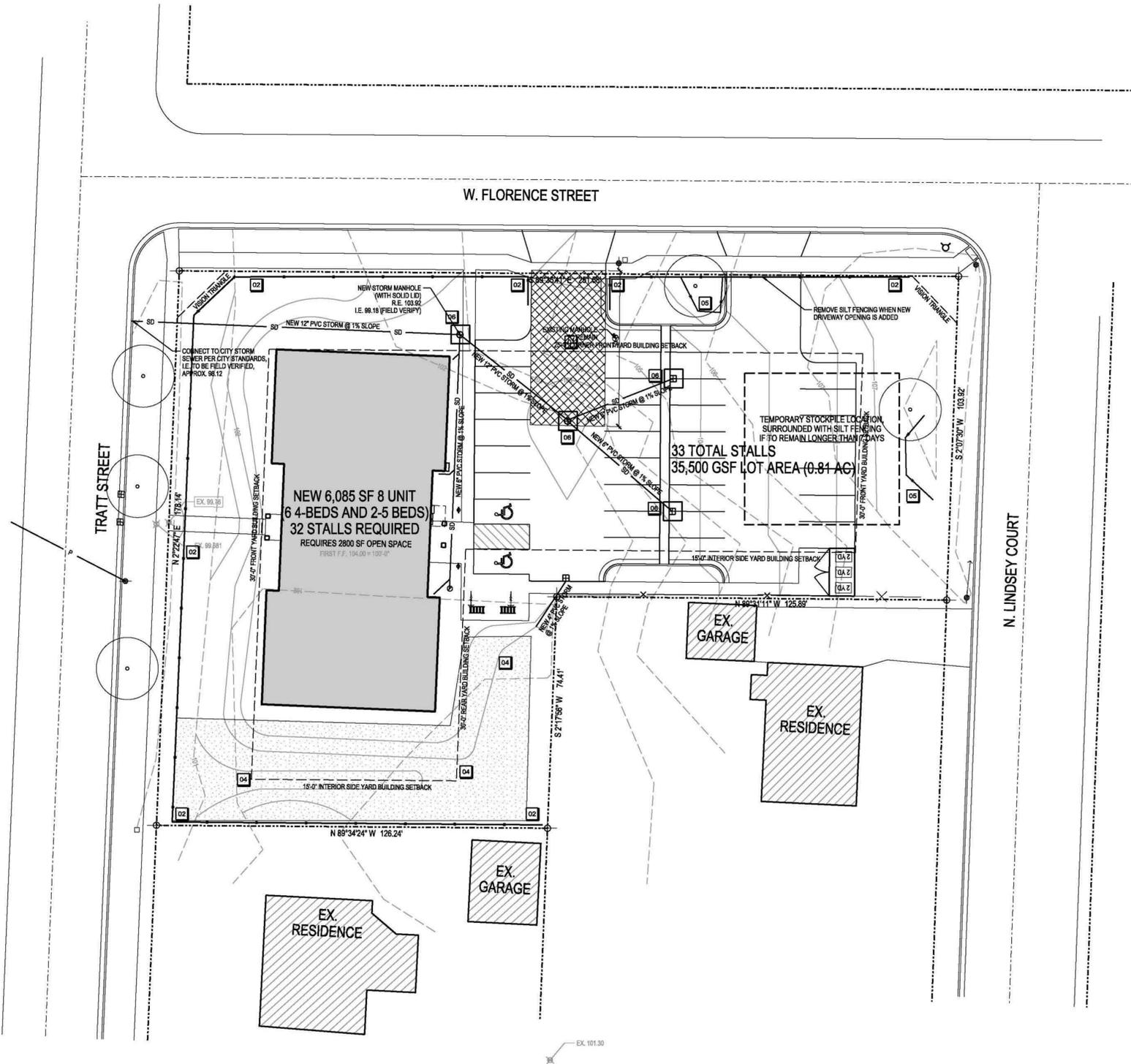
Erosion and sediment control practices shall be constructed or installed before land disturbing activities begin. These practices shall be maintained until final stabilization. BMP's that are no longer necessary shall be removed by contractor.

The following BMP's shall be incorporated into this Erosion and Sediment Control Plan:

- \* Channel Erosion Mat, per Wisconsin DNR Conservation Practice Standard No. 1053
- \* De-watering, per Wisconsin DNR Conservation Practice Standard No. 1061
- \* Ditch Checks, per Wisconsin DNR Conservation Practice Standard No. 1062
- \* Non-Channel Erosion Mat, per Wisconsin DNR Conservation Practice Standard No. 1052
- \* Seeding, per Wisconsin DNR Conservation Practice Standard No. 1059
- \* Silt Fence, per Wisconsin DNR Conservation Practice Standard No. 1056
- \* Stone Tracking Pad and Tire Washing, per Wisconsin DNR Conservation Practice Standard No. 1057
- \* Storm Drain Inlet Protection for Construction Sites, per Wisconsin DNR Conservation Practice Standard No. 1060
- \* Stockpile protection

SCALE: 1"=20'-0"  
PLOTTED BY: BHW

ORIGINAL SIZE = 24" x 36"  
X:\1750\Drawn\175006202.dwg



TRUE NORTH  
EROSION AND SEDIMENT CONTROL PLAN  
SCALE: 1"=20'-0"



CALL TOLL FREE 1-800-242-8511  
MILWAUKEE AREA 414-259-1181  
FAX A LOCATE 1-800-338-3860  
TDD (HEARING IMPAIRED) 1-800-542-2289  
ONLINE: www.DiggersHotline.com  
WISCONSIN STATUTE 192.2175 (1974) REQUIRES A MINIMUM OF THREE (3) WORKING DAYS NOTICE PRIOR TO EXCAVATION.

- KEYNOTES**
- STONE TRACKING PAD, BY OTHERS, SEE DETAIL 13C801
  - NEW SILT FENCING, SEE DETAIL 09C801
  - PROVIDE INLET PROTECTION, SEE DETAIL 11C801
  - INSTALL VEGETATED SWALE WITH DOUBLE NETTED LIGHT DUTY (WOOD CLASS 1 TYPE B) EROSION MAT
  - PROTECT EXISTING TREES WITH CONSTRUCTION FENCING AROUND EXISTING DRIP LINE TO THE MAXIMUM EXTENT PRACTICABLE

- GENERAL CONSTRUCTION SCHEDULE**
- INSTALL SILT FENCING AND STONE TRACKING PAD.
  - EXCAVATE FOR STRUCTURES AND PERFORM MASS GRADING. SURROUND STOCKPILES WITH SILT FENCING.
  - PREVENT DISTURBANCE OF AREAS THAT WILL NOT BE DISTURBED DURING CONSTRUCTION: MULCH AND/OR TEMPORARILY SEED AREAS TO PREVENT EROSION OVER AREAS THAT WILL BE DISTURBED FOR THE REMAINDER OF THE CONSTRUCTION SCHEDULE.
  - INSTALL SUBSURFACE PIPING AND UTILITIES.
  - FINISH GRADE AND SEED AND EROSION MAT SITE.
  - REMOVE SILT FENCE AND INLET PROTECTION WHEN SITE HAS A MINIMUM OF 70% VEGETATIVE COVER.
- GENERAL NOTES**
- THE CONTRACTOR SHALL ADHERE TO WISCONSIN DNR CONSERVATION PRACTICE STANDARDS FOR ALL EROSION AND SEDIMENT CONTROL MEASURES.
  - CONTRACTOR SHALL PROVIDE SINGLE-NET EROSION MAT ON SLOPES 4:1 OR STEEPER.
  - AREA OF DISTURBANCE: APPROXIMATELY 0.81 ACRES.
  - RECEIVING WATER BODY: WHITWATER CREEK TO WEST.

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

**Angus Young**  
Architecture  
Engineering  
Interior Design  
Balance in Creativity  
555 South River Street, Janesville, WI 53548-4783  
Ph: 608.756.2326 Fax: 608.756.0464  
www.angusyoung.com

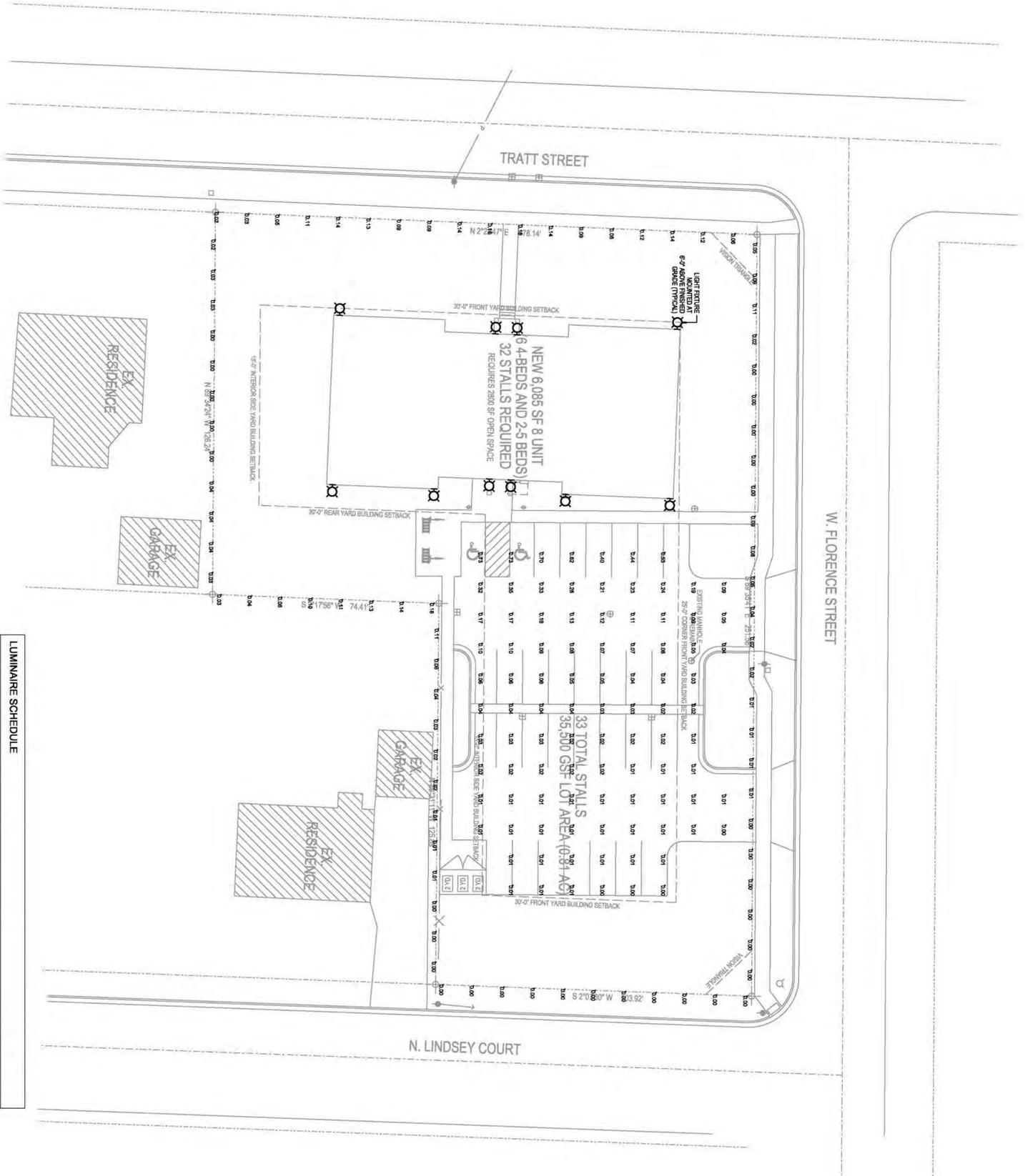
PROJECT NUMBER: 47300  
APPROVED BY: J.H.  
REVIEWED BY: B.W.  
DRAWN BY: K.A.U.  
1/23/2012 12:38:48 PM

EROSION AND SEDIMENT CONTROL PLAN

**C202**

ISSUANCES	REVISIONS
City of Whitewater Planning Commission - 01/09/2012	REVISED DWGS - NEW SITE SUBMITTAL - 01/18/2012

Copyright © 2012 Angus-Young Associates, Inc. All Rights Reserved



**LUMINAIRE SCHEDULE**

Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens	LF	Watts
○	CA	10	HPWM-35	WALL LITE	35 WATT HPS CLEAR ED-17 BU	2250	0.95	35

**STATISTICS**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING LOT	+	0.10 fc	0.73 fc	0.00 fc	N/A	N/A
PROPERTY LINE	+	0.05 fc	0.18 fc	0.00 fc	N/A	N/A

**DIGGER'S HOTLINE**  
 CALL TOLL FREE 1-800-242-8511  
 MILWAUKEE AREA 414-259-1181  
 FAX A LOCATE 1-800-338-3860  
 TDD (HEARING IMPAIRED) 1-800-542-2289  
 ONLINE: www.DiggersHotline.com  
WE ARE AN EQUAL OPPORTUNITY EMPLOYER. ALL SERVICES ARE PROVIDED WITHOUT DISCRIMINATION ON THE BASIS OF RACE, SEX, RELIGION, NATIONAL ORIGIN, ANCESTRY, COLOR, OR AGE.

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

PROJECT NUMBER  
47300  
 APPROVED BY  
JLH  
 REVIEWED BY  
BTW  
 DRAWN BY  
DLO  
 1/23/2012 12:06:01 PM

**DLK NEW APARTMENT BUILDING**  
 TRATT STREET AND FLORENCE STREET  
 DLK ENTERPRISES  
 WHITEWATER, WI

**Angus Young**  
 Architecture  
 Engineering  
 Interior Design  
 Balance in Creativity  
 555 South River Street, Janesville, WI 53548-4783  
 Ph: 608.756.2326 Fax: 608.756.0464  
 www.angusyong.com

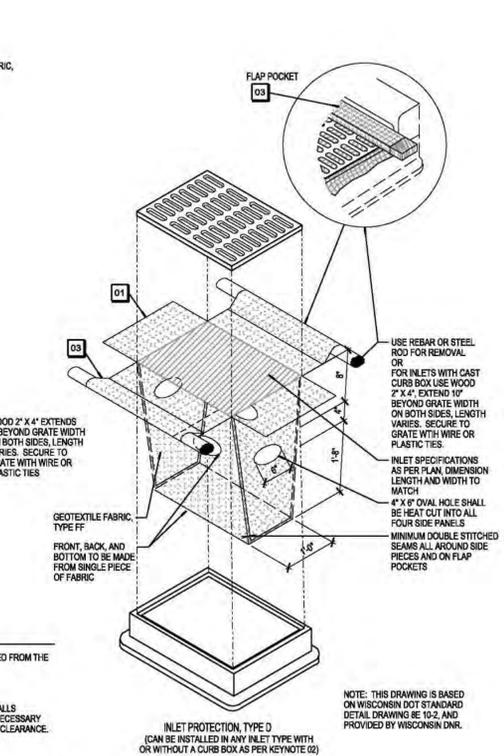
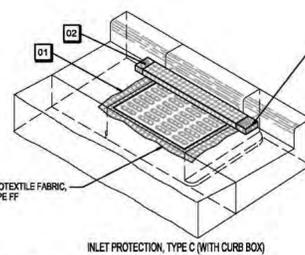
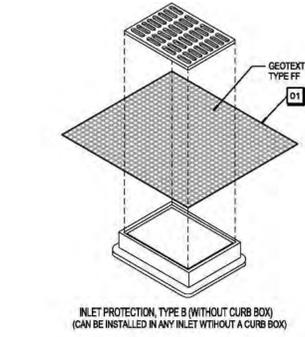
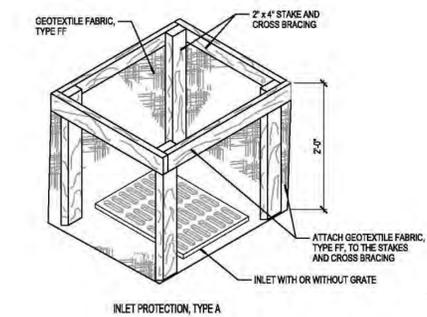
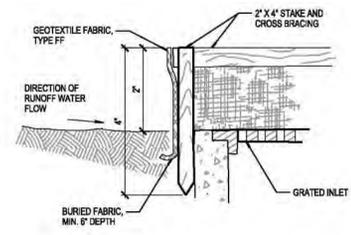
ISSUANCES	REVISIONS
City of Whitewater Planning Commission - 01/09/2012	REVISED DWGS - NEW SITE SUBMITTAL - 01/18/2012

Copyright © 2012 Angus-Young Associates, Inc., All Rights Reserved

C601

SCALE: 1/8"=1'-0"  
 PLOTTED BY: BSW

ORIGINAL SIZE: 24" x 36"  
 X:\170\Drawings\7000\081.dgn



**KEYNOTES**

- 01** FINISHED SIZE, INCLUDED FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- 02** FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- 03** FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

**GENERAL NOTES**

1. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
2. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

**INSTALLATION NOTES - TYPE D:**

- DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CLIMB THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

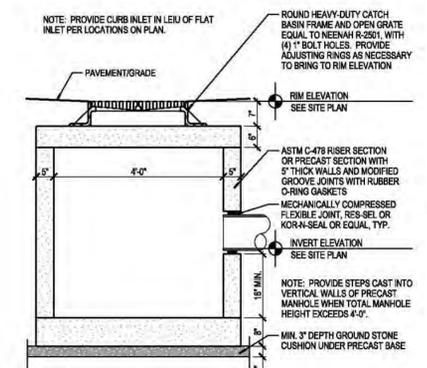
**INSTALLATION NOTES - TYPE B & C:**

- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS, OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

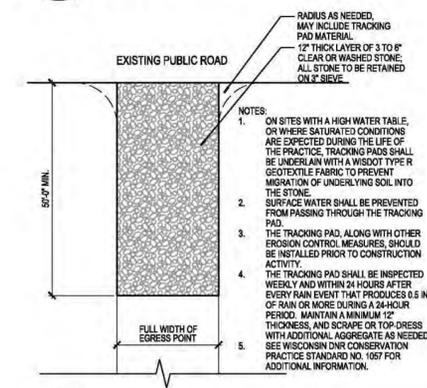
NOTE: THIS DRAWING IS BASED ON WISCONSIN DOT STANDARD DETAIL DRAWING BE 10-2 AND PROVIDED BY WISCONSIN DNR.

**11 STORM DRAIN INLET PROTECTION**

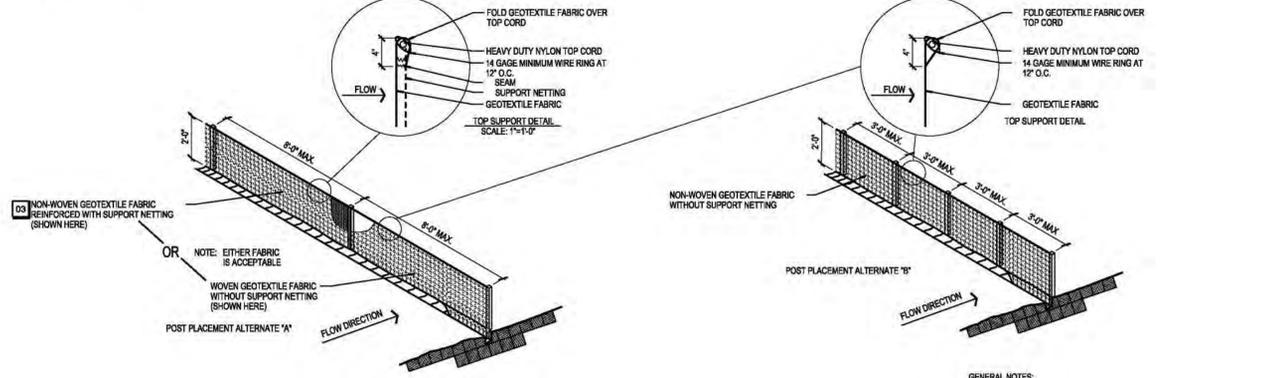
C801 SCALE: 1/2"=1'-0"



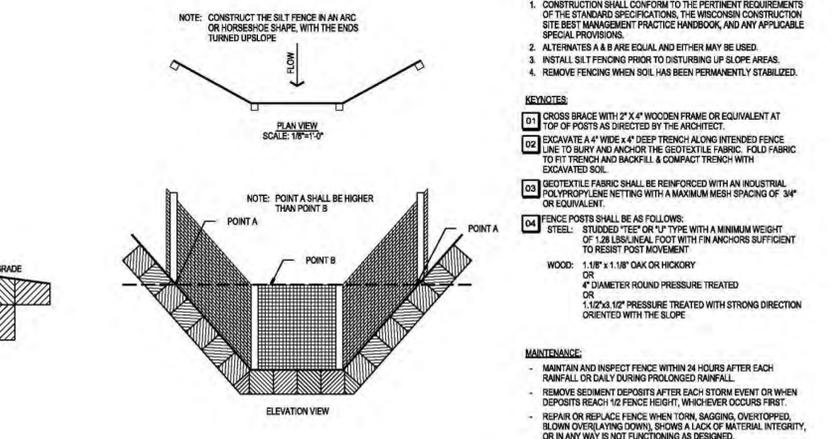
**14 STORM CATCH BASIN / MANHOLE DETAIL**  
 C801 SCALE: 1/2"=1'-0"



**13 STONE TRACKING PAD DETAIL**  
 C801 SCALE: 1"=20'-0"



**09 OVERLAND FLOW SILT FENCE DETAILS**  
 C801 SCALE: NOT TO SCALE



**GENERAL NOTES:**

1. CONSTRUCTION SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS, THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK, AND ANY APPLICABLE SPECIAL PROVISIONS.
2. ALTERNATES A & B ARE EQUAL AND EITHER MAY BE USED.
3. INSTALL SILT FENCING PRIOR TO DISTURBING UP-SLOPE AREAS.
4. REMOVE FENCING WHEN SOIL HAS BEEN PERMANENTLY STABILIZED.

**KEYNOTES:**

- 01** CROSS BRACE WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS AS DIRECTED BY THE ARCHITECT.
- 02** EXCAVATE A 4" WIDE X 4" DEEP TRENCH ALONG INTENDED FENCE LINE TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD FABRIC TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- 03** GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUIVALENT.
- 04** FENCE POSTS SHALL BE AS FOLLOWS:  
 STEEL: STUDDED "12" OR "14" TYPE WITH A MINIMUM WEIGHT OF 1.28 LBS/LINEAL FOOT WITH FIN ANCHORS SUFFICIENT TO RESIST POST MOVEMENT.  
 WOOD: 5 1/8" x 1 1/8" OAK OR HICKORY  
 OR  
 4" DIAMETER ROUND PRESSURE TREATED OR 1 1/2" x 1 1/2" PRESSURE TREATED WITH STRONG DIRECTION ORIENTED WITH THE SLOPE.

**MAINTENANCE:**

- MAINTAIN AND INSPECT FENCE WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING PROLONGED RAINFALL.
- REMOVE SEDIMENT DEPOSITS AFTER EACH STORAGE EVENT OR WHEN DEPOSITS REACH 1/2 FENCE HEIGHT, WHICHEVER OCCURS FIRST.
- REPAIR OR REPLACE FENCE WHEN TORN, SAGGING, OVERTOPPED, BLOWN OVER/LAYING DOWN, SHOWS A LACK OF MATERIAL INTEGRITY, OR IN ANY WAY IS NOT FUNCTIONING AS DESIGNED.

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

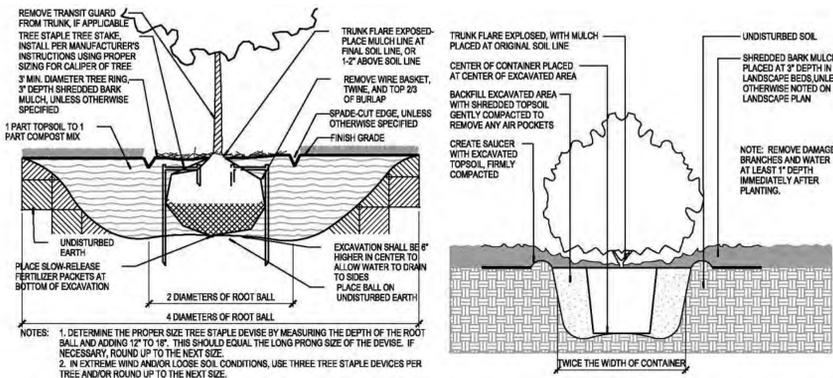
ISSUANCES	REVISIONS
City of Whitewater Planning Commission - 01/09/2012	REVISED DWGS - NEW SITE SUBMITTAL - 01/18/2012

**Angus Young**  
 Architecture  
 Engineering  
 Interior Design  
 Balance in Creativity  
 555 South River Street, Janesville, WI 53548-4783  
 Ph: 608.756.2326 Fax: 608.756.0464  
 www.angusyong.com

**DLK NEW APARTMENT BUILDING**  
 TRATT STREET AND FLORENCE STREET  
**DLK ENTERPRISES**  
 WHITEWATER, WI

PROJECT NUMBER: 47300  
 APPROVED BY: J.H.  
 REVIEWED BY: B.W.  
 DRAWN BY: K.A.U.  
 1/23/2012 12:08:07 PM  
 SITE DETAILS

**C801**



**24 B.B. SHRUB AND TREE PLANTING DETAIL** SCALE: NONE  
**20 CONTAINER PLANTING IN LANDSCAPE BED** SCALE: 1"=1'-0"

**LANDSCAPE PLANT LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	INSTALLED SIZE	ROOT	MATURE SIZE	QTY
<b>TREES:</b>						
AF	<i>Acer x freemanii 'Sienna'</i>	Sienna Glen Freeman Maple	2" Cal	B.B.	50' H x 35' W	3
AG	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	Autumn Brilliance Apple Serviceberry	6" High Multistem	B.B.	15' H x 15' W	4
GB	<i>Ginkgo biloba 'Autumn Gold'</i>	Autumn Gold Ginkgo	2" Cal	B.B.	50' H x 30' W	5
GT	<i>Gleditsia triacanthos var. inermis 'Skyline'</i>	Skyline Honeylocust	2" Cal	B.B.	50' H x 30' W	2
<b>SHRUBS:</b>						
DL	<i>Diervilla sessilifolia 'Butterfly'</i>	Butterfly Bush Honeysuckle	18-24" H	2-4 Gallon	4' H x 4' W	12
HA	<i>Hydrangea arborescens 'Annabelle'</i>	Annabelle Hydrangea	4-5 Gallon	Container	4' H x 5' W	10
JC	<i>Juniperus chinensis 'Kallay's Compact'</i>	Kallay's Compact Juniper	24" High	Cont.	3-4' H x 4' W	14
JS	<i>Juniperus sabina 'Buffalo'</i>	Buffalo Savin Juniper	12-18" High	Cont.	18" H x 5' W	9
RA	<i>Rhus aromatica 'Gro Low'</i>	Gro Low Fragrant Sumac	18-24" H	2-4 Gallon	2-3' H x 5-6' W	6
SJ	<i>Spiraea japonica 'Magic Carpet'</i>	Magic Carpet Spirea	16-18" H	2-3 Gallon	2' H x 3' W	6
TM	<i>Taxus x media 'Tauntonii'</i>	Tauntun Spreading Yew	18-24" High	Cont.	3' H x 4' W	6
VC	<i>Viburnum carlesii</i>	Koreanspice Viburnum	4-5 Gallon	Container	6' H x 6' W	4
WF	<i>Weigela florida 'Minuet'</i>	Minuet Flowering Weigela	2-3 Gallon	Container	3' H x 3' W	6
<b>PERENNIALS:</b>						
CA	<i>Calamagrostis acutiflora 'Karl Foerster'</i>	Karl Foerster Feather Reed Grass	Gallon		5' H x 2' W	21
HS	<i>Hemerocallis 'Stella d'Oro'</i>	Stella d'Oro Daylily	1 Gallon		18" H x 2' W	13
IS	<i>Iris siberica 'Ruffled Velvet'</i>	Ruffled Velvet Siberian Iris	4.5" Pot		22" H x 15" W	6
NF	<i>Nepeta faassenii 'Blue Wonder'</i>	Blue Wonder Catmint	4.5" Pot		15" H x 15" W	22
RF	<i>Rudbeckia fulgida 'Indian Summer'</i>	Indian Summer Black-eyed Susan	1 Gallon		30" H x 24" W	24



CALL TOLL FREE 1-800-242-8511  
 MILWAUKEE AREA 414-259-1181  
 FAX A LOCATE 1-800-338-3860  
 TDD (HEARING IMPAIRED) 1-800-542-2289  
 ONLINE: www.DiggersHotline.com  
WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF THREE (3) WORKING DAYS NOTICE PRIOR TO EXCAVATION.

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

ISSUANCES  
 City of Whitewater Planning Commission - 01/09/2012

REVISIONS  
 REVISED DWGS - NEW SITE SUBMITTAL - 01/18/2012

PROJECT NUMBER  
 41300

APPROVED BY  
 J.H.

REVIEWED BY  
 B.T.W.

DRAWN BY  
 K.A.U.

1/23/2012 12:08:20 PM

LANDSCAPE PLAN

Copyright © 2012 Angus Young Associates, Inc. All Rights Reserved

**WHITEWATER LANDSCAPE GUIDELINES**

The following landscape guidelines are provided as a guide for this site. All requirements are noted as **MUST**, all recommendations are noted as **SHOULD**.

**STREET FRONTAGE:**  
 One deciduous tree **MUST** be planted for each 35' along a street right of way. Street trees shall be planted midway between the street curb and the sidewalk, or within 15' of the property line adjoining the street, but only if space is not available between the sidewalk and curb.

Linear Frontage	251 LF Along W. Florence Street	7 Trees Required (1 tree per 35 LF frontage) Note: 5 New Provided
	178 LF Along Tratt Street	5 Trees Required (1 tree per 35 LF frontage) Note: 3 Existing, with 1 New Provided
	103 LF Along Lindsey Court	3 Trees Required (1 tree per 35 LF frontage) Note: 1 Existing, with 2 New Provided

**PAVED AREAS:**  
 One large deciduous tree and 60 points of additional landscaping **SHOULD** be planted for each 1500 square feet of paved area. Plants should be installed in landscape islands or peninsulas within 15' of the paved area or within 15' of the edges of the paved area. Landscaped islands or peninsulas **MUST** be provided at the end of every parking row, and interior islands **SHOULD** be provided for every 20 parking stalls in nonindustrial projects.

Total Paved Area:	10,190 sf
	6.79 divided by 1,500
	407.6 landscape points required

The following plants have been incorporated into the landscape plan:

Qty.	Type of Plant	Points per plant	Total Points
2	Large Deciduous Tree	150	300
1	Existing Deciduous Tree	150	150

Qty.	Type of Plant	Points per plant	Total Points
15	Shrubs	20	300
subtotal points:			300

\*\*Note: Additional building foundation plantings have been provided that could transfer to this area.

Note: Interior landscape islands provided between parking zones.

**BUILDING FOUNDATION:**  
 160 points of landscaping **SHOULD** be planted for each 100 LF of exterior building wall that is visible from public right of way and adjoining sites. Plantings should be installed within 15' of the building foundation.

LF Building Perimeter visible	Ratio	Total Landscape Points Required
356	3:6	570

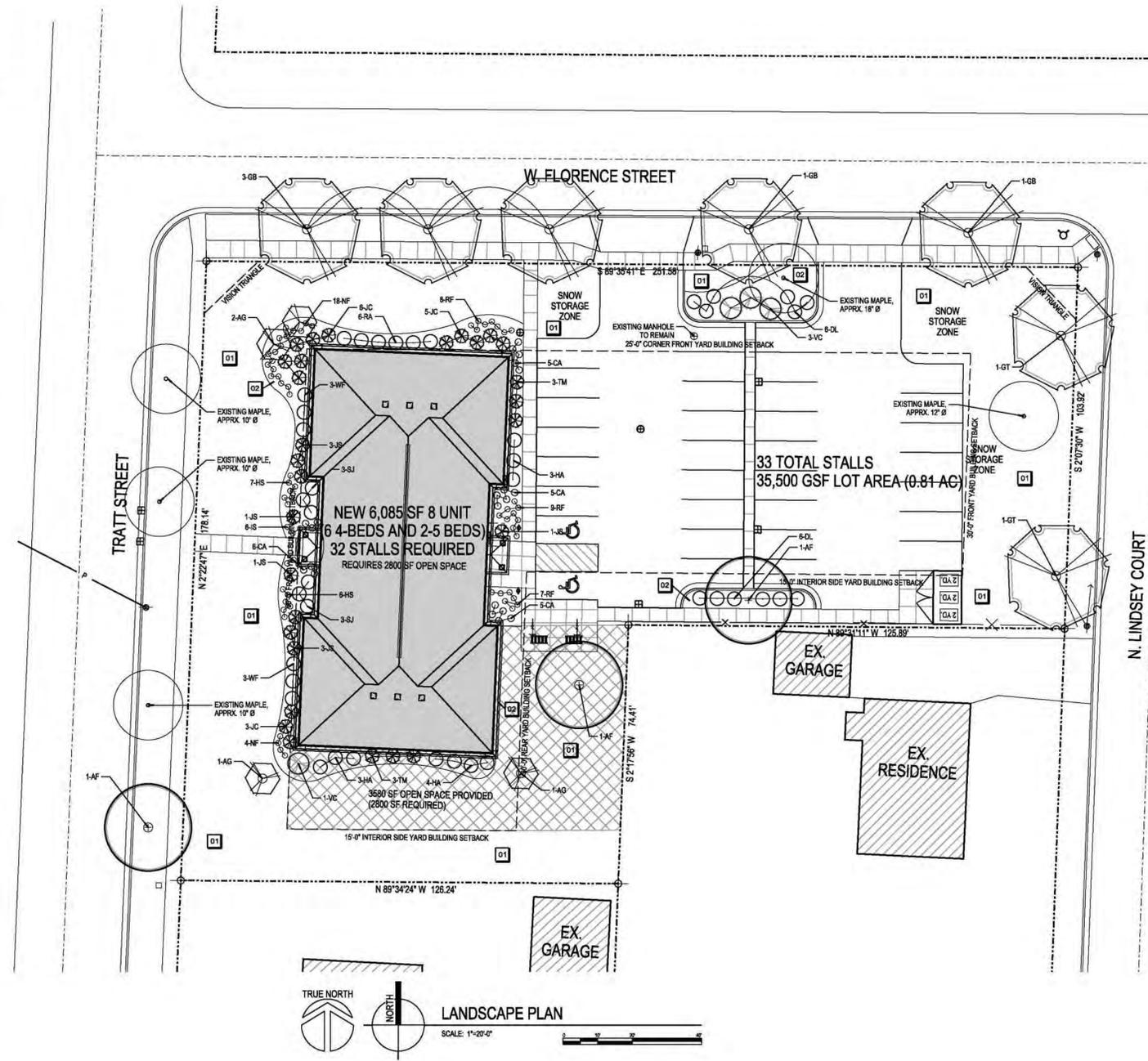
The following plants have been incorporated into the landscape plan.

Qty.	Type of Plant	Points per plant	Total Points
4	Small Deciduous Tree	60	240
59	Shrubs	20	1180
19	Sf. Planting Bed	20	380
subtotal points:			1800

**GENERAL YARD AREAS:**  
 In other parts of the site, 200 additional points of landscaping **SHOULD** be planted for each 5,000 square feet of total site area. Most general yard area landscaping should be located in street-facing yards.

Remainder of Site Area, sf	Divide by 5,000	Total Landscape Points Required
19,225	3.8	769

The plants for the general yard area have been incorporated into the foundation plantings.



**KEYNOTES**

01 LAWN RESTORATION

02 PLANTING BED WITH DECORATIVE STONE MULCH AND EDGING, TYP.

**GENERAL NOTES**

- SEE EROSION CONTROL PLAN FOR EROSION MAT LOCATIONS.
- ALL PLANTING BEDS SHALL BE DECORATIVE STONE MULCH WITH WEED BARRIER FABRIC AND EDGING.
- ALL INDIVIDUAL TREES SHALL RECEIVE 3'-0" DIAMETER, 4" THICK SHREDDED BARK MULCH TREE RING WITH MULCH PULLED AWAY FROM TRUNK OF TREE TO PREVENT ROTTING.
- SEE DETAILS 200.101 AND 240.101 FOR PLANTING DETAILS.

**DLK NEW APARTMENT BUILDING**  
**TRATT STREET AND FLORENCE STREET**  
**DLK ENTERPRISES**  
**WHITEWATER, WI**

**Angus Young**  
 Architecture  
 Engineering  
 Interior Design  
 Balance in Creativity  
 555 South River Street, Janesville, WI 53548-4783  
 Ph: 608.756.2326 Fax: 608.756.0464  
 www.angusyoung.com

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

PROJECT NUMBER  
 41300

APPROVED BY  
 J.H.

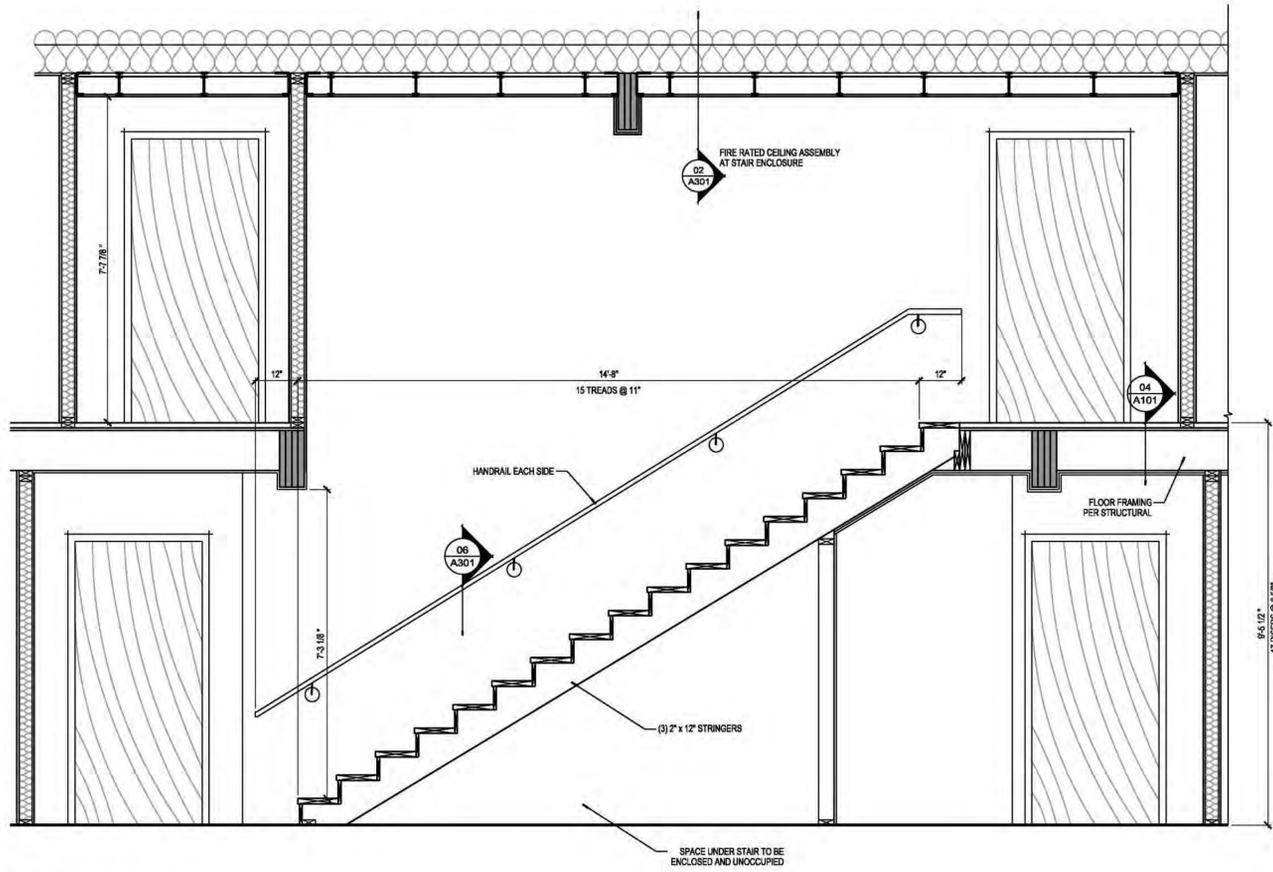
REVIEWED BY  
 B.T.W.

DRAWN BY  
 K.A.U.

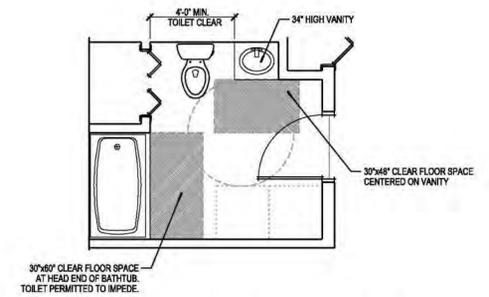
1/23/2012 12:08:20 PM

LANDSCAPE PLAN

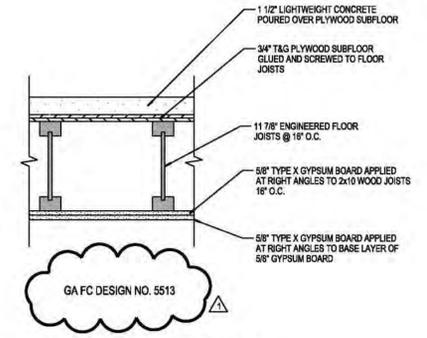
Copyright © 2012 Angus Young Associates, Inc. All Rights Reserved



**23** STAIR SECTION  
**A101** SCALE: 1/2"=1'-0"



**08** TYPICAL APARTMENT BATHROOM PLANS  
**A101** SCALE: 1/4"=1'-0" TYPE 'B' UNITS

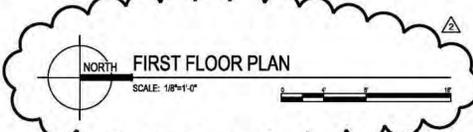
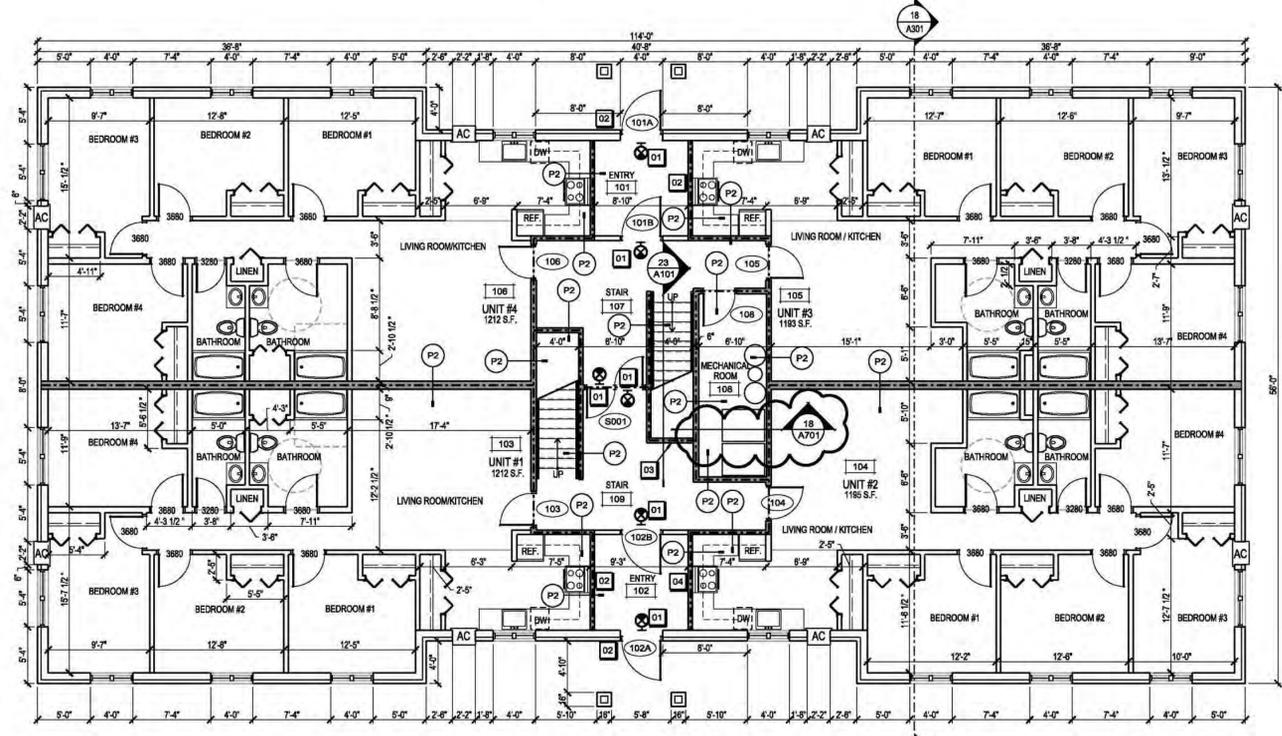


**04** ONE HOUR FIRE RATED CEILING FLOOR ASSEMBLY  
**A101** SCALE: 1"=1'-0"

**WINDOW VENTILATION SCHEDULE**

ROOM NAME	RM. AREA	NATURAL LIGHT AREA (8% MIN.)	VENTILATION AREA (4% MIN.)
UNIT #1 - LIVING ROOM/KITCHEN	335 S.F.	13.333 S.F. (4%)	13.333 S.F. (4%)
UNIT #1 - BEDROOM #1	120 S.F.	16 S.F. (13%)	16 S.F. (13%)
UNIT #1 - BEDROOM #2	123 S.F.	16 S.F. (13%)	16 S.F. (13%)
UNIT #1 - BEDROOM #3	128 S.F.	37.33 S.F. (29%)	37.33 S.F. (29%)
UNIT #1 - BEDROOM #4	131 S.F.	21.33 S.F. (16%)	21.33 S.F. (16%)
UNIT #2 - LIVING ROOM/KITCHEN	324 S.F.	13.33 S.F. (4.1%)	13.33 S.F. (4.1%)
UNIT #2 - BEDROOM #1	120 S.F.	16 S.F. (13%)	16 S.F. (13%)
UNIT #2 - BEDROOM #2	123 S.F.	16 S.F. (13%)	16 S.F. (13%)
UNIT #2 - BEDROOM #3	128 S.F.	37.33 S.F. (29%)	37.33 S.F. (29%)
UNIT #2 - BEDROOM #4	131 S.F.	21.33 S.F. (16%)	21.33 S.F. (16%)
UNIT #3 - LIVING ROOM/KITCHEN	324 S.F.	13.33 S.F. (4.1%)	13.33 S.F. (4.1%)
UNIT #3 - BEDROOM #1	120 S.F.	16 S.F. (13%)	16 S.F. (13%)
UNIT #3 - BEDROOM #2	123 S.F.	16 S.F. (13%)	16 S.F. (13%)
UNIT #3 - BEDROOM #3	128 S.F.	37.33 S.F. (29%)	37.33 S.F. (29%)
UNIT #3 - BEDROOM #4	131 S.F.	21.33 S.F. (16%)	21.33 S.F. (16%)
UNIT #4 - LIVING ROOM/KITCHEN	335 S.F.	13.33 S.F. (4%)	13.33 S.F. (4%)
UNIT #4 - BEDROOM #1	120 S.F.	16 S.F. (13%)	16 S.F. (13%)
UNIT #4 - BEDROOM #2	123 S.F.	16 S.F. (13%)	16 S.F. (13%)
UNIT #4 - BEDROOM #3	128 S.F.	37.33 S.F. (29%)	37.33 S.F. (29%)
UNIT #4 - BEDROOM #4	131 S.F.	21.33 S.F. (16%)	21.33 S.F. (16%)

NOTE: ARTIFICIAL LIGHTING SHALL BE PROVIDED IN ROOMS NOT MEETING THE MINIMUM 8% NATURAL LIGHTING REQUIREMENT. ARTIFICIAL LIGHTING SHALL BE APPROPRIATE TO PROVIDE 10 FOOT CANDLES OF LIGHT OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE FLOOR LEVEL.



**FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"

SCALE: 1/8"=1'-0"  
PLOTTED BY: BHW

ORIGINAL SIZE = 24" x 36"  
X:\1700\Drawings\7000a\107.dgn

ISSUANCES	REVISIONS
City of Whitewater Planning Commission - 01/09/2012	REVISED DWGS - NEW SITE SUBMITTAL - 01/18/2012

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

**Angus Young**  
Architecture  
Engineering  
Interior Design  
Balance in Creativity

555 South River Street, Janesville, WI 53548-4783  
Ph: 608.756.2326 Fax: 608.756.0644  
www.angusyoung.com

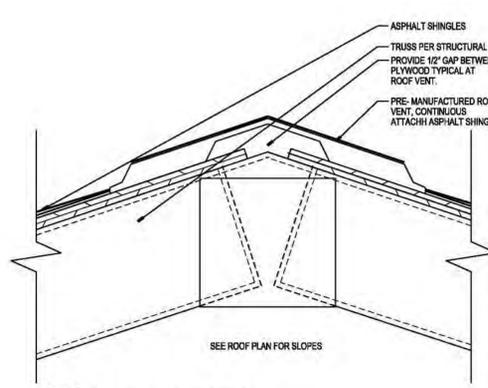
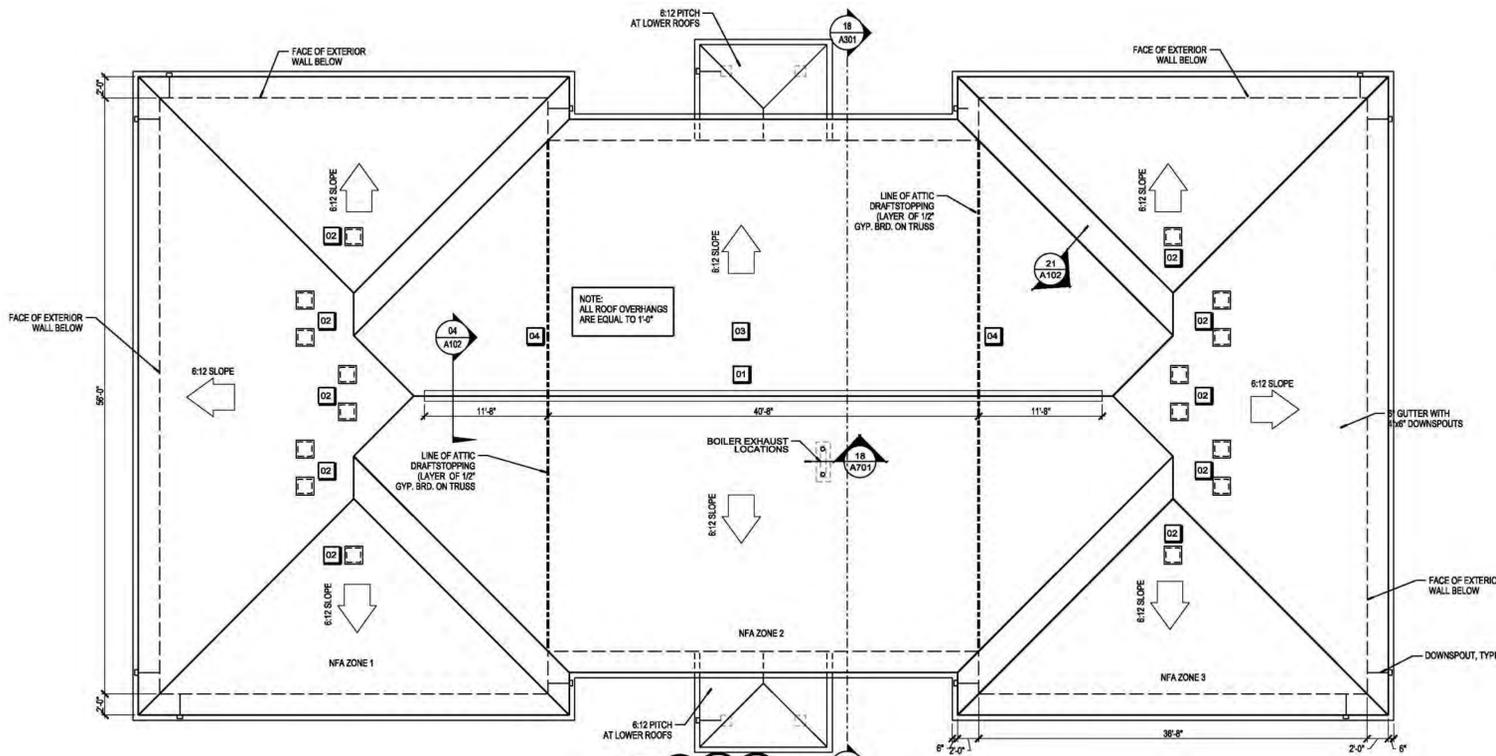
**DLK NEW APARTMENT BUILDING**  
TRATT STREET AND FLORENCE STREET  
**DLK ENTERPRISES**  
WHITEWATER, WI

PROJECT NUMBER: 47300  
APPROVED BY: J.H.  
REVIEWED BY: B.W.  
DRAWN BY: B.W.  
1/23/2012 12:07:57 PM

FIRST FLOOR PLAN  
STAIR SECTION

ORIGINAL SIZE: 24" x 36"  
 X:\720\Drawn\720004102.dgn

SCALE: 1/8"=1'-0"  
 PLOTTED BY: BWW



**04 RIDGE VENT DETAIL**  
 A102 SCALE: 3/4"=1'-0"

**ROOF VENTILATION NOTES:**  
 6056 S.F. OF ROOF AREA. 6056/300 = 20.2 S.F. OF NFA REQUIRED OR 2809 SQUARE INCHES.  
 HALF OF VENTILATION REQUIREMENT TO BE SERVED BY CONTINUOUS ATTIC VENTILATION SOFFIT PANEL.  
 1454 SQUARE INCHES TO BE SERVED BY RIDGE VENT AND ROOF VENTS.

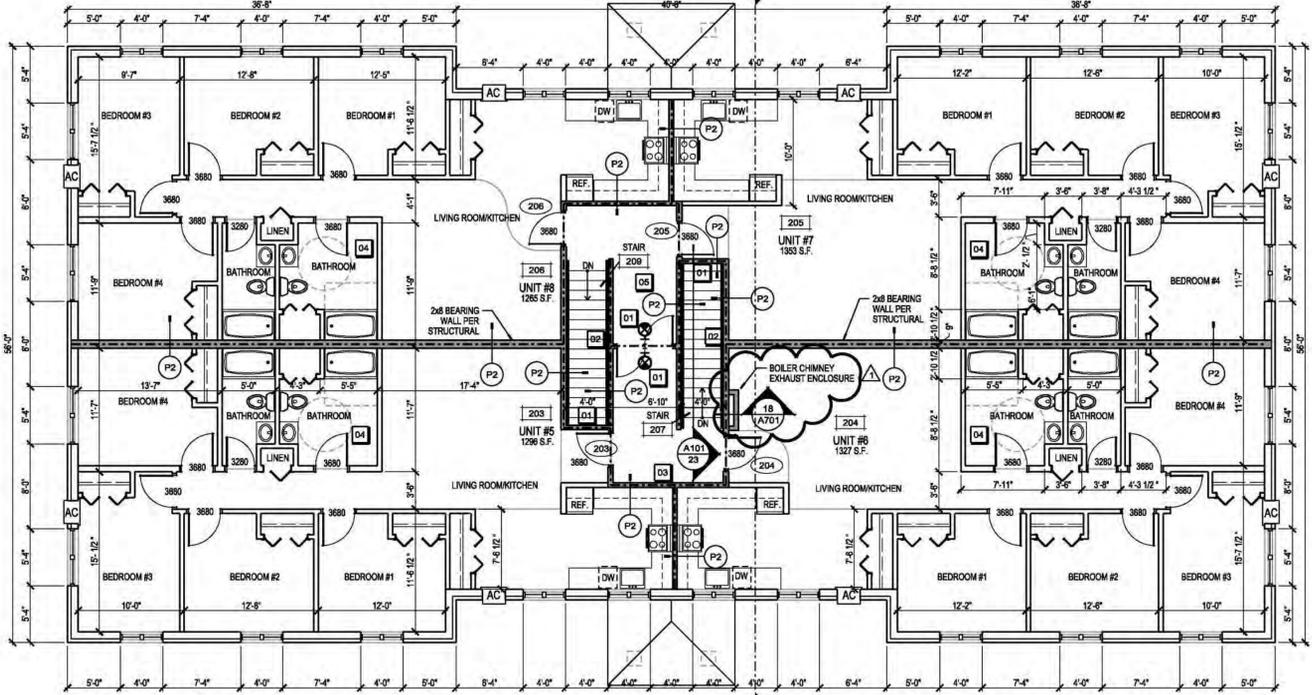
**ZONE 1:** 2053 S.F. / 300 = 6.84 S.F. NFA REQUIRED  
 6.84 S.F. = 985 SQUARE INCHES / 2 = 493 SQUARE INCHES OF ROOF VENTILATION REQUIRED. 528 SQUARE INCHES PROVIDED.

**ZONE 2:** 1952 S.F. / 300 = 6.5 S.F. NFA REQUIRED  
 6.5 S.F. = 907 SQUARE INCHES / 2 = 454 SQUARE INCHES OF ROOF VENTILATION REQUIRED. 480 SQUARE INCHES PROVIDED.

**ZONE 3:** 2053 S.F. / 300 = 6.84 S.F. NFA REQUIRED  
 6.84 S.F. = 985 SQUARE INCHES / 2 = 493 SQUARE INCHES OF ROOF VENTILATION REQUIRED. 528 SQUARE INCHES PROVIDED.

- ROOF PLAN KEYNOTES**
- 01** CONTINUOUS RIDGE VENT. 12 SQUARE INCHES OF NFA PER FOOT.
  - 02** ROOF BOX VENT. 2'-0" x 2'-0" (3'-0" x 3'-0") ROOF VENT AS MANUFACTURED BY AIR VENT INC. 48 SQUARE INCHES OF NFA EACH.
  - 03** PROVIDE ONE HOUR RATED ATTIC AREA ACCESS DOOR. COORDINATE WITH ROOF TRUSS LAYOUT. DOOR TO BE MINIMUM OF 20 INCHES BY 30 INCHES WITH AT LEAST 30 INCHES OF HEADROOM ABOVE ACCESS OPENING.
  - 04** PROVIDE ACCESS DOOR AT DRAFTSTOPPING LOCATION TO ADJACENT ATTIC SPACE. SEE DETAIL 24/A102.

- ROOF PLAN GENERAL NOTES**
1. PROVIDE 4" GUTTER AND DOWNSPOUT AT ALL EAVE LOCATIONS.
  2. ALL EAVES AND VALLEYS TO RECEIVE ICE AND WATER SHIELD. REMAINDER OF ROOF TO RECEIVE 30# ROOFING PAPER.
  3. PROVIDE 35 YEAR ARCHITECTURAL ASPHALT SHINGLES.



**WINDOW VENTILATION SCHEDULE**

ROOM NAME	RM. AREA	NATURAL LIGHT AREA (8% MIN.)	VENTILATION AREA (4% MIN.)
UNIT #5 - LIVING ROOM/KITCHEN	408 S.F.	28.66 S.F. (8.5%)	28.66 S.F. (8.5%)
UNIT #5 - BEDROOM #1	120 S.F.	16 S.F. (13%)	16 S.F. (13%)
UNIT #5 - BEDROOM #2	123 S.F.	16 S.F. (13%)	16 S.F. (13%)
UNIT #5 - BEDROOM #3	128 S.F.	37.33 S.F. (29%)	37.33 S.F. (29%)
UNIT #5 - BEDROOM #4	131 S.F.	21.33 S.F. (16%)	21.33 S.F. (16%)
UNIT #6 - LIVING ROOM/KITCHEN	441 S.F.	28.66 S.F. (6%)	28.66 S.F. (6%)
UNIT #6 - BEDROOM #1	120 S.F.	16 S.F. (13%)	16 S.F. (13%)
UNIT #6 - BEDROOM #2	123 S.F.	16 S.F. (13%)	16 S.F. (13%)
UNIT #6 - BEDROOM #3	128 S.F.	37.33 S.F. (29%)	37.33 S.F. (29%)
UNIT #6 - BEDROOM #4	131 S.F.	21.33 S.F. (16%)	21.33 S.F. (16%)
UNIT #7 - LIVING ROOM/KITCHEN	489 S.F.	28.66 S.F. (5.7%)	28.66 S.F. (5.7%)
UNIT #7 - BEDROOM #1	120 S.F.	16 S.F. (13%)	16 S.F. (13%)
UNIT #7 - BEDROOM #2	123 S.F.	16 S.F. (13%)	16 S.F. (13%)
UNIT #7 - BEDROOM #3	128 S.F.	37.33 S.F. (29%)	37.33 S.F. (29%)
UNIT #7 - BEDROOM #4	131 S.F.	21.33 S.F. (16%)	21.33 S.F. (16%)
UNIT #8 - LIVING ROOM/KITCHEN	380 S.F.	28.66 S.F. (7%)	28.66 S.F. (7%)
UNIT #8 - BEDROOM #1	120 S.F.	16 S.F. (13%)	16 S.F. (13%)
UNIT #8 - BEDROOM #2	123 S.F.	16 S.F. (13%)	16 S.F. (13%)
UNIT #8 - BEDROOM #3	128 S.F.	37.33 S.F. (29%)	37.33 S.F. (29%)
UNIT #8 - BEDROOM #4	131 S.F.	21.33 S.F. (16%)	21.33 S.F. (16%)

**NOTE:** ARTIFICIAL LIGHTING SHALL BE PROVIDED IN ROOMS NOT MEETING THE MINIMUM % NATURAL LIGHTING REQUIREMENT. ARTIFICIAL LIGHTING SHALL BE ADEQUATE TO PROVIDE 10 FOOT CANDLES OF LIGHT OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE FLOOR LEVEL.

**FIRE WALL LEGEND**  
 --- DENOTES ONE HOUR RATED WALL ASSEMBLY

**NOTE:** ALL CEILING/FLOOR ASSEMBLIES BETWEEN FIRST AND SECOND FLOORS TO RECEIVE ONE HOUR FIRE RATED ASSEMBLY PER DETAIL 04/A101.

- FLOOR PLAN KEYNOTES**
- 01** EXIT SIGNAGE W/ BATTERY BACKUP.
  - 02** EMERGENCY LIGHTING W/ BATTERY BACKUP.
  - 03** FIRE EXTINGUISHER AND CABINET.
  - 04** SIDE BY SIDE WASHER AND DRYER.
  - 05** PROVIDE ONE HOUR RATED ATTIC AREA ACCESS DOOR. COORDINATE WITH ROOF TRUSS LAYOUT. DOOR TO BE MINIMUM OF 20 INCHES BY 30 INCHES WITH AT LEAST 30 INCHES OF HEADROOM ABOVE ACCESS OPENING.

- FLOOR PLAN GENERAL NOTES**
1. HATCHED INTERIOR WALLS DENOTE FIRE RATED P2 WALL TYPE EGRESS CORRIDOR AND TENANT SEPARATION.
  2. ALL WALLS ARE TYPE P1 UNLESS NOTED OTHERWISE.
  3. ALL INTERIOR APARTMENT DOORS TO BE PREHUNG WOOD DOORS.
  4. ALL DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PUNCHING, OR TWISTING OF THE WRIST TO OPERATE PER ADA STANDARDS.
  5. ALL APARTMENTS ARE DESIGNED TO MEET ANS I 117.1-2003 REQUIREMENTS FOR TYPE 'B' DWELLING UNITS.

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

ISSUANCES	REVISIONS
City of Whitewater Planning Commission - 01/09/2012	REVISED DWGS - NEW SITE SUBMITTAL - 01/18/2012

**Angus Young**  
 Architecture  
 Engineering  
 Interior Design  
 Balance in Creativity

555 South River Street, Janesville, WI 53548-4783  
 Ph: 608.756.2326 Fax: 608.756.0464  
 www.angusyoung.com

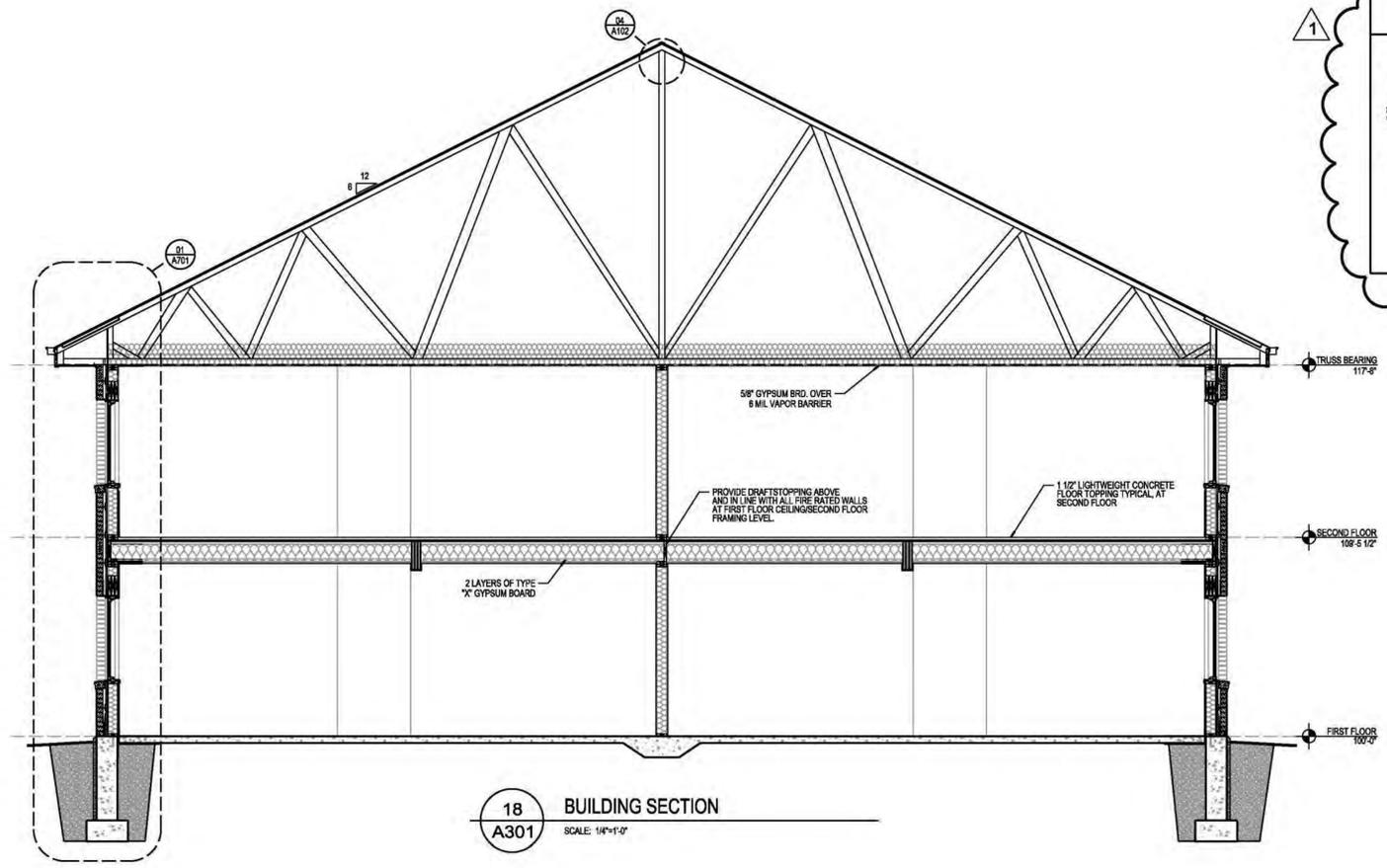
**DLK NEW APARTMENT BUILDING**  
 TRATT STREET AND FLORENCE STREET  
 DLK ENTERPRISES  
 WHITEWATER, WI

PROJECT NUMBER: 47200  
 APPROVED BY: J.H.  
 REVIEWED BY: B.W.  
 DRAWN BY: B.W.  
 1/23/2012 12:08:08 PM

SECOND FLOOR PLAN AND ROOF PLAN  
**A102**

SCALE: 1/8"=1'-0"  
 PLOTTED BY: BAW

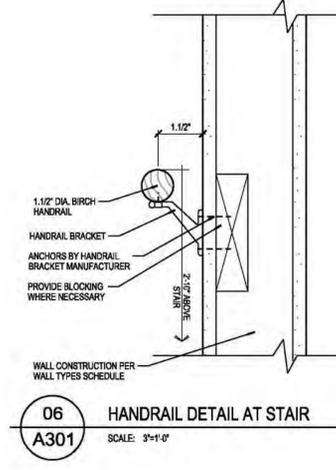
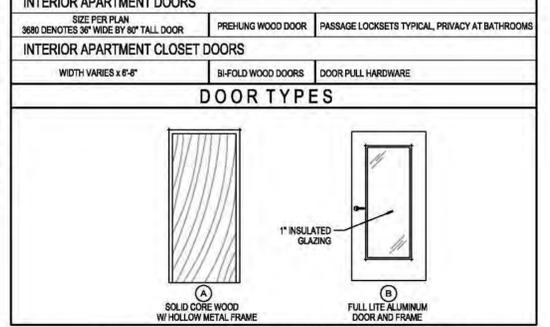
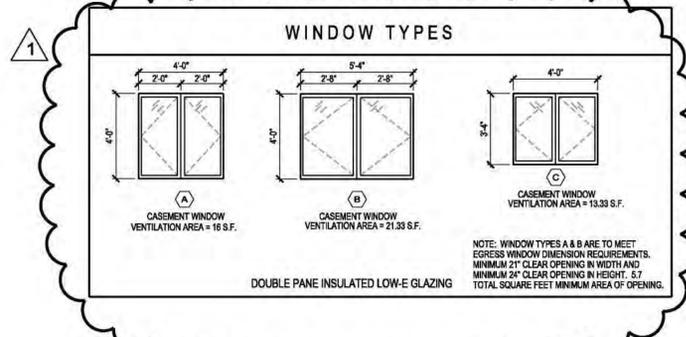
ORIGINAL SIZE = 24" x 36"  
 X:\170\Drawings\170000\170.dgn



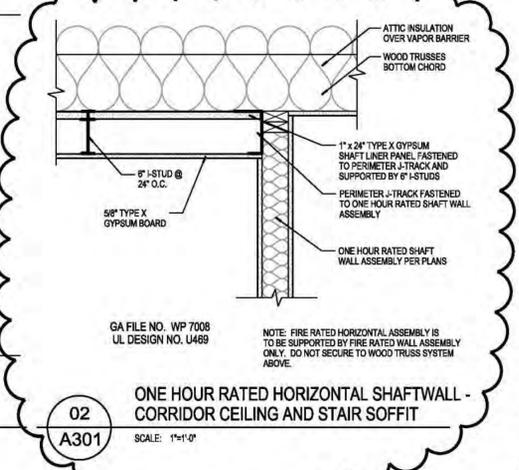
**18 BUILDING SECTION**  
 A301 SCALE: 1/4"=1'-0"

ROOM FINISH SCHEDULE						
ROOM NAME	FLOORING	BASE	WALLS	CEILING	GENERAL NOTES	
ENTRY CLOSET						TYPICAL APARTMENT
KITCHEN						TYPICAL APARTMENT
LIVING / DINING ROOM						TYPICAL APARTMENT
HALLWAY						TYPICAL APARTMENT
BEDROOM						TYPICAL APARTMENT
BATHROOM						TYPICAL APARTMENT
CORRIDORS						
STAIRWAYS						
MECHANICAL ROOM						
LAUNDRY						

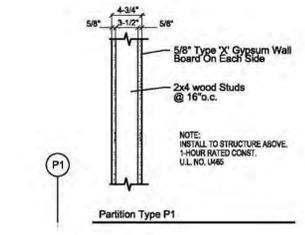
DOOR AND FRAME SCHEDULE					
SIZE (WIDTH X HEIGHT)	DOOR TYPE	LABEL (MINUTES) DOOR AND FRAME	DETAILS		REMARKS
101A 3'-0" x 7'-0"	B				ENTRY LOCKSET AND CLOSER, 4" FRAME HEAD
101B 3'-0" x 8'-0"	B				ENTRY LOCKSET AND CLOSER, 2" FRAME HEAD
102A 3'-0" x 7'-0"	B				ENTRY LOCKSET AND CLOSER, 4" FRAME HEAD
102B 3'-0" x 8'-0"	B				ENTRY LOCKSET AND CLOSER, 2" FRAME HEAD
103 3'-0" x 8'-0"	A 60				ENTRY LOCKSET, CLOSER, AND PEEP HOLE
104 3'-0" x 8'-0"	A 60				ENTRY LOCKSET, CLOSER, AND PEEP HOLE
105 3'-0" x 8'-0"	A 60				ENTRY LOCKSET, CLOSER, AND PEEP HOLE
106 3'-0" x 8'-0"	A 60				ENTRY LOCKSET, CLOSER, AND PEEP HOLE
109 2'-0" x 6'-0"	A 60				STORAGE LOCKSET AND CLOSER
201	NOT USED				
202	NOT USED				
203 3'-0" x 8'-0"	A 60				ENTRY LOCKSET, CLOSER, AND PEEP HOLE
204 3'-0" x 8'-0"	A 60				ENTRY LOCKSET, CLOSER, AND PEEP HOLE
205 3'-0" x 8'-0"	A 60				ENTRY LOCKSET, CLOSER, AND PEEP HOLE
206 3'-0" x 8'-0"	A 60				ENTRY LOCKSET, CLOSER, AND PEEP HOLE
S001 (2) 2'-0" x 8'-0"	A 60				PASSAGE LOCKSET, CLOSER, AND HOLD OPENS
S002 (2) 2'-0" x 8'-0"	A 60				PASSAGE LOCKSET, CLOSER, AND HOLD OPENS



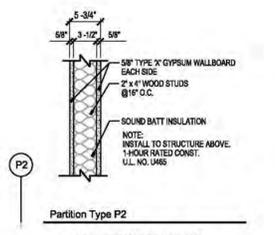
**06 HANDRAIL DETAIL AT STAIR**  
 A301 SCALE: 3/4"=1'-0"



**02 ONE HOUR RATED HORIZONTAL SHAFTWALL - CORRIDOR CEILING AND STAIR SOFFIT**  
 A301 SCALE: 1/2"=1'-0"



**09 PARTITION TYPES**  
 A301 SCALE: 3/4"=1'-0"



**PARTITION TYPE P2 ONE HOUR RATING**  
 U.L. DESIGN NO. U305 USG - 860802

- Wood Studs — Nominal 2x4 Studs spaced 16" O.C.
- Batts and Blankets\* — Min 3 in. thick insulation batts, friction-fitted between studs.
- Gypsum Board\* — 5/8 in. thick, with square or tapered edges, applied vertically or horizontally with vertical joints centered over studs. Horizontal joints need not be backed by framing. Fastened with Type S-12 screws. 1-Hr System - For vertical application, fastened to studs and runners with 1 in. long screws spaced max 8 in. OC at vertical edges and spaced max 12 in. OC in the field. For horizontal application, fastened to studs and runners with 1 in. long screws spaced max 8 in. OC. Vertical joints staggered on stud cavity from cement board vertical joints on opposite side of studs. Horizontal edge joints and horizontal butt joints on opposite sides of studs need not be staggered.

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

**Angus Young**  
 Architecture  
 Engineering  
 Interior Design  
 Balance in Creativity  
 555 South River Street, Janesville, WI 53548-4783  
 Ph: 608.756.2326 Fax: 608.756.0464  
 www.angusyoung.com

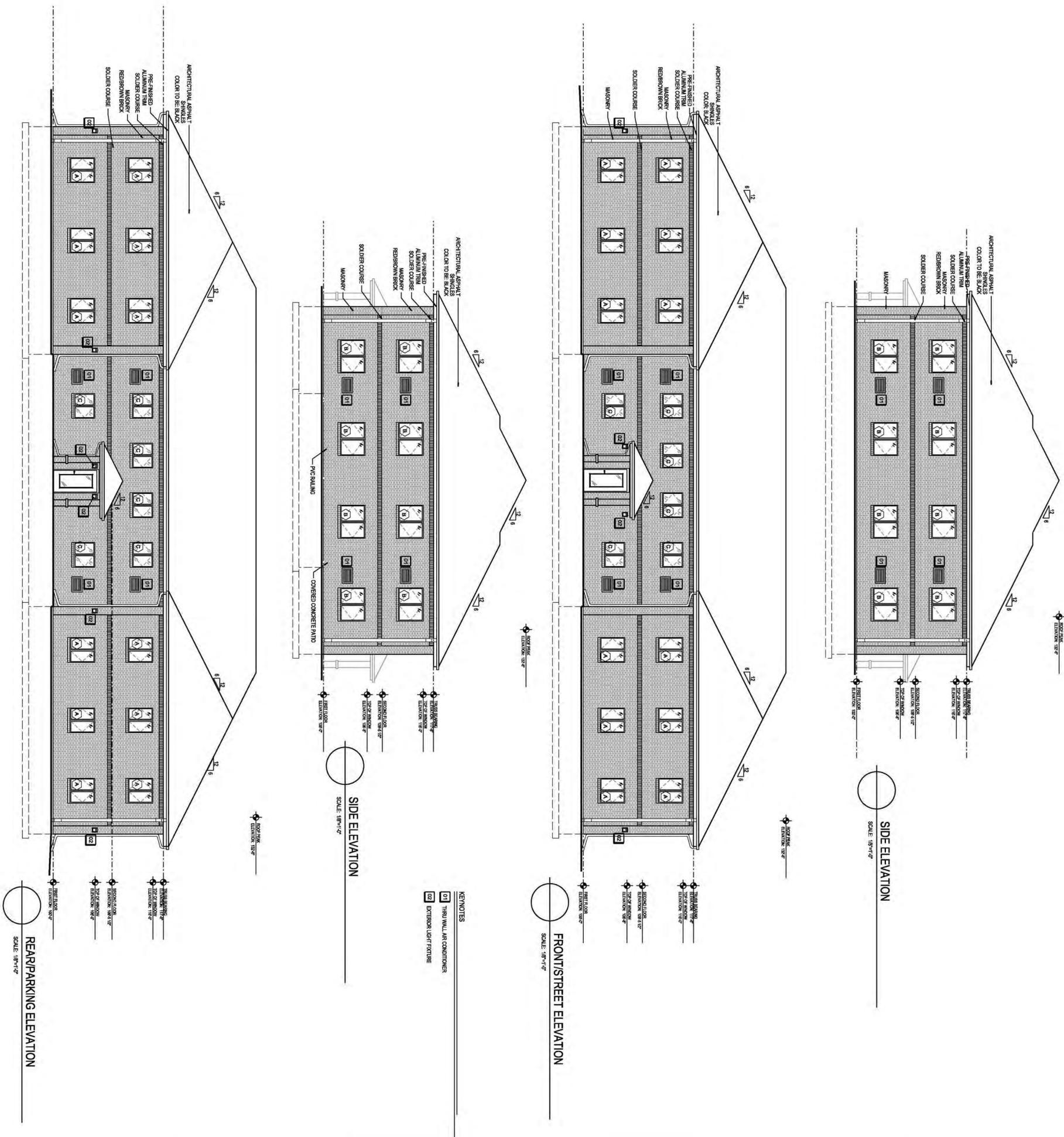
DLK NEW APARTMENT BUILDING  
 TRATT STREET AND FLORENCE STREET  
 DLK ENTERPRISES  
 WHITEWATER, WI

PROJECT NUMBER: 47300  
 APPROVED BY: J.H.  
 REVIEWED BY: B.T.W.  
 DRAWN BY: B.T.W.  
 1/23/2012 12:08:44 PM

ISSUANCES  
 City of Whitewater Planning Commission - 01/09/2012  
 REVISIONS  
 REVISED DWGS - NEW SITE SUBMITTAL - 01/18/2012

Copyright © 2012 Angus-Young Associates, Inc. All Rights Reserved

**A301**  
 SCHEDULES, DETAILS AND BUILDING SECTION



Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

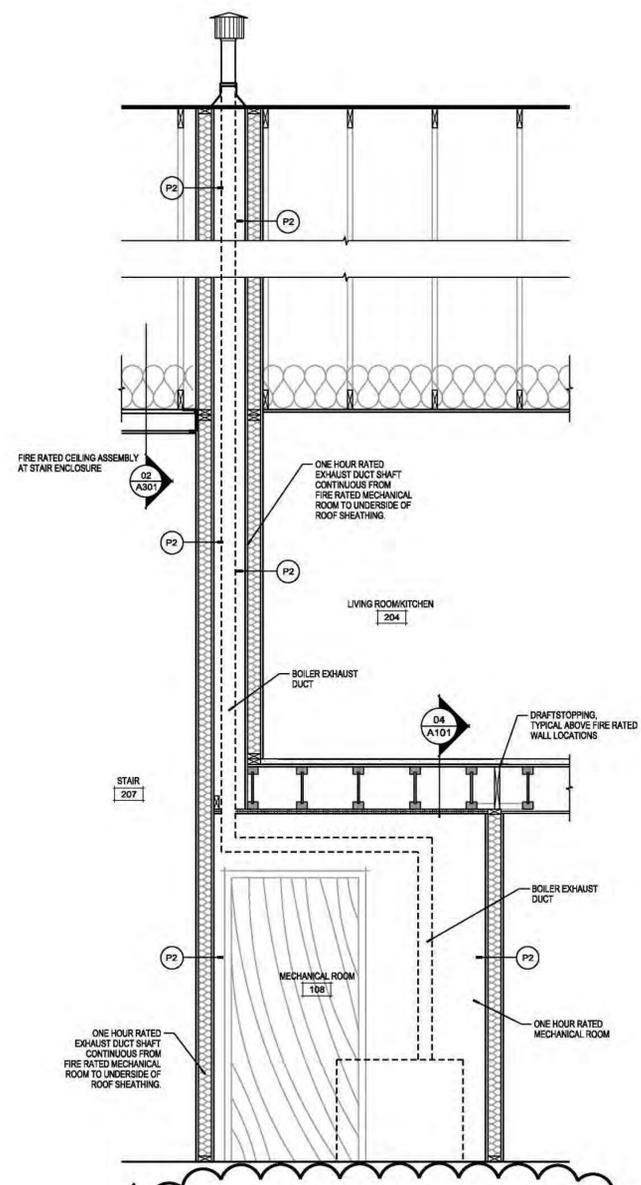
PROJECT NUMBER  
 47300  
 APPROVED BY  
 JH  
 REVIEWED BY  
 BTW  
 DRAWN BY  
 BTW  
 1/23/2012 12:08:20 PM

DLK NEW APARTMENT BUILDING  
 TRATT STREET AND FLORENCE STREET  
 DLK ENTERPRISES  
 WHITEWATER, WI

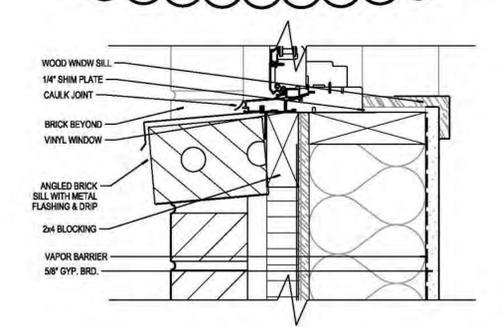
**Angus Young**  
 Architecture  
 Engineering  
 Interior Design  
 Balance in Creativity  
 555 South River Street Janesville, WI 53548-4783  
 Ph: 608.756.2326 Fx: 608.756.0464  
 www.angusyong.com

ISSUANCES	REVISIONS
City of Whitewater Planning Commission - 01/09/2012	REVISED DWGS - NEW SITE SUBMITTAL - 01/18/2012

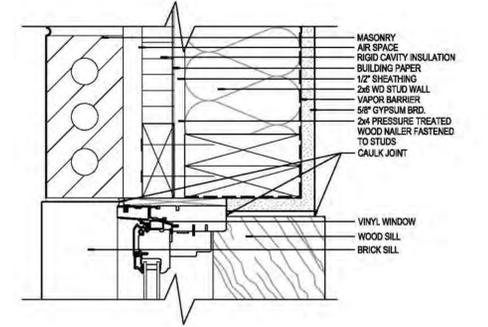
SCALE: 1/8"=1'-0"  
 PLOTTED BY: BWW  
 ORIGINAL SIZE: 24" x 36"  
 X:\1700\Drawings\7000A701.dgn



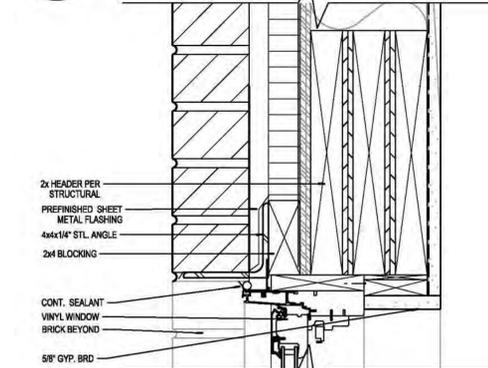
**18** BOILER EXHAUST CHIMNEY SHAFT SECTION  
 A701 SCALE: 1/2"=1'-0"



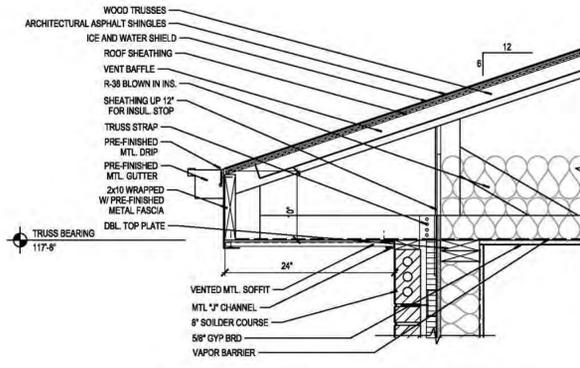
**17** WINDOW SILL DETAIL  
 A701 SCALE: 3/4"=1'-0"



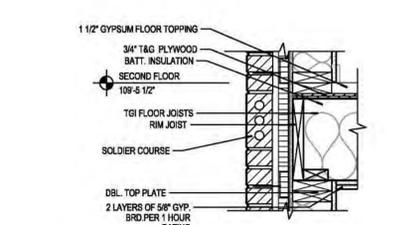
**14** WINDOW JAMB DETAIL  
 A701 SCALE: 3/4"=1'-0"



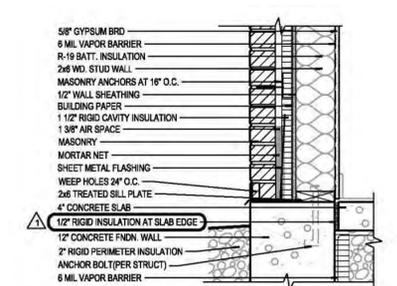
**13** WINDOW HEAD DETAIL  
 A701 SCALE: 3/4"=1'-0"



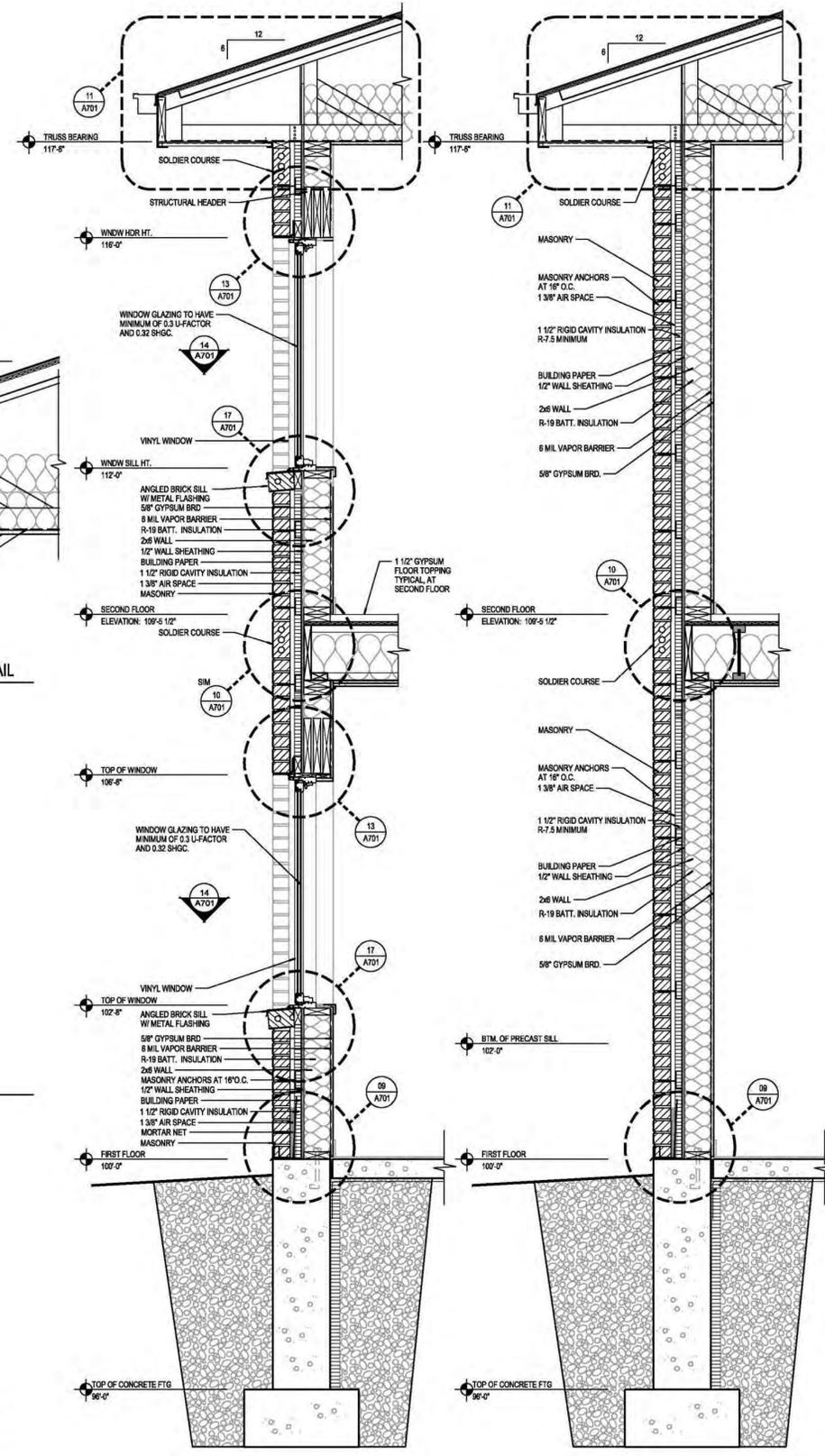
**11** ENLARGED TYPICAL ROOF EAVE DETAIL  
 A701 SCALE: 1"=1'-0"



**10** ENLARGED FLOOR SECTION  
 A701 SCALE: 1"=1'-0"



**09** ENLARGED BASE OF WALL DETAIL  
 A701 SCALE: 1"=1'-0"



**05** TYPICAL WALL SECTION AT GLAZING  
 A701 SCALE: 3/4"=1'-0"

**01** TYPICAL WALL SECTION  
 A701 SCALE: 3/4"=1'-0"

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

ISSUANCES	REVISIONS
City of Whitewater Planning Commission - 01/09/2012	REVISED DWGS - NEW SITE SUBMITTAL - 01/18/2012

Angus Young  
 Architecture  
 Engineering  
 Interior Design  
*Balance in Creativity*  
 555 South River Street, Janesville, WI 53548-4783  
 Ph: 608.756.2326 Fax: 608.756.0464  
 www.angusyoung.com

DLK NEW APARTMENT BUILDING  
 TRATT STREET AND FLORENCE STREET  
 DLK ENTERPRISES  
 WHITEWATER, WI

PROJECT NUMBER: 47300  
 APPROVED BY: J.H.  
 REVIEWED BY: B.W.  
 DRAWN BY: B.W.  
 1/23/2012 12:08:28 PM

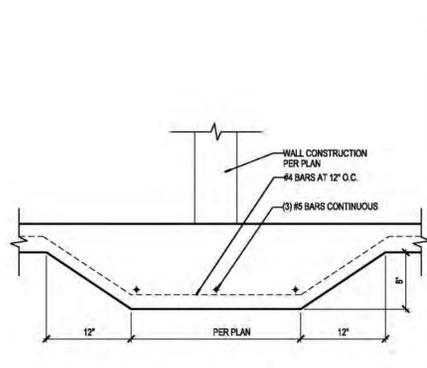
WALL SECTIONS  
 ENLARGED DETAILS

**A701**

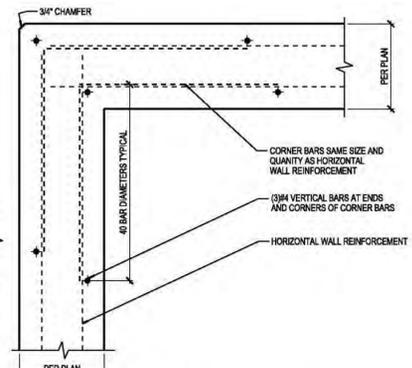
Copyright © 2012 Angus Young Associates, Inc. All Rights Reserved

SCALE: 1/8"=1'-0"  
 PLOTTED BY: Bmwf

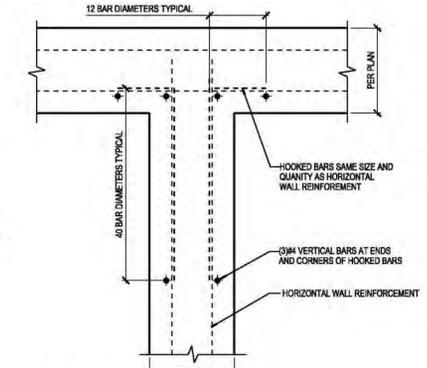
ORIGINAL SIZE = 24" x 36"  
 X:\720\Drawn\720068101.dgn



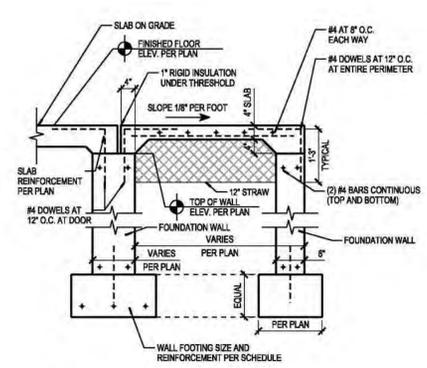
**24**  
**S101** TYPICAL THICKENED SLAB DETAIL AT INTERIOR BEARING WALL  
 SCALE: 1/4"=1'-0"



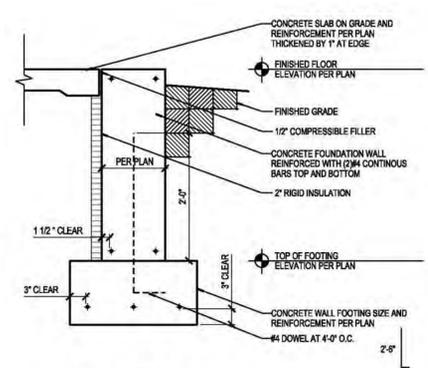
**20**  
**S101** CONCRETE FOUNDATION CORNER PLAN  
 SCALE: 1/4"=1'-0"



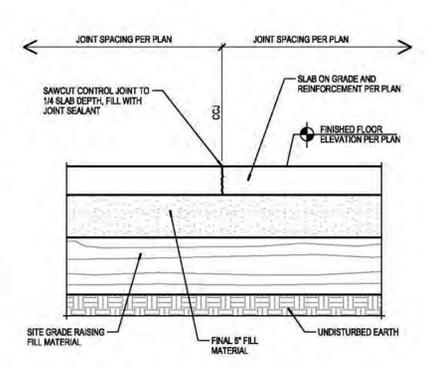
**16**  
**S101** CONCRETE FOUNDATION INTERSECTION PLAN  
 SCALE: 1/4"=1'-0"



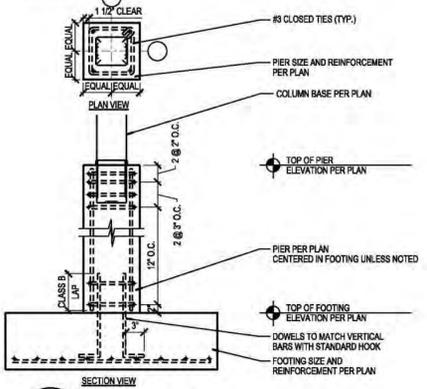
**12**  
**S101** CONCRETE STOOP SECTION DETAIL  
 SCALE: 1/2"=1'-0"



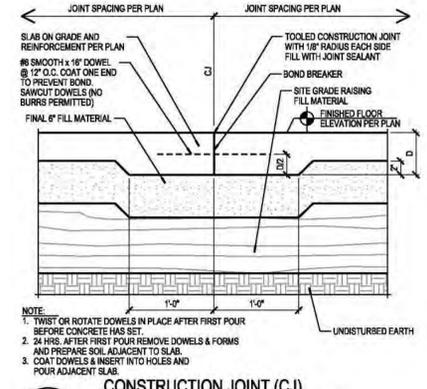
**08**  
**S101** TYPICAL EXTERIOR FOUNDATION WALL AND FOOTING  
 SCALE: 3/4"=1'-0"



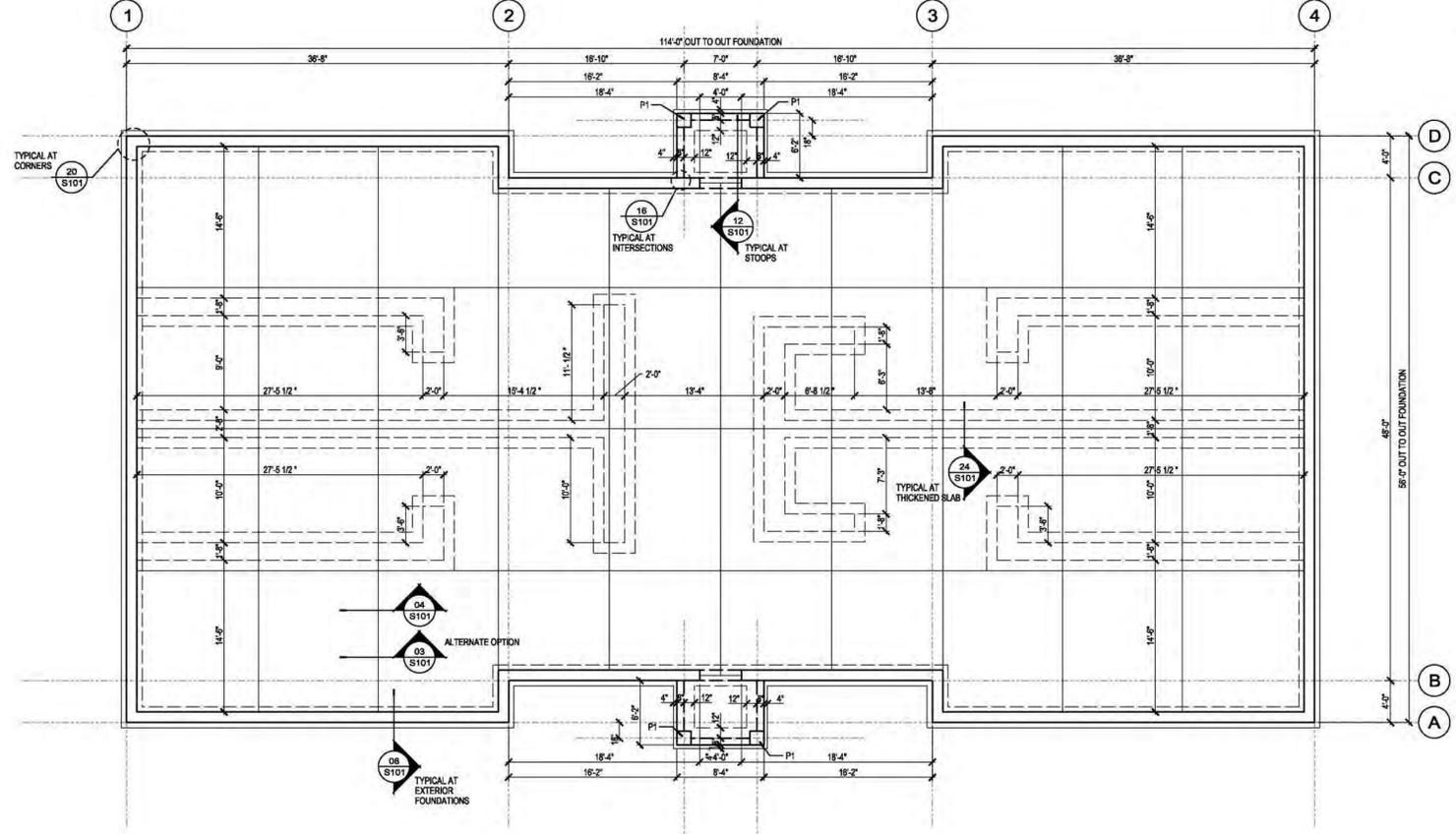
**04**  
**S101** CRACK CONTROL JOINT (CCJ) IN CONCRETE SLAB ON GRADE  
 SCALE: 1/4"=1'-0"



**23**  
**S101** TYPICAL PIER  
 SCALE: 3/4"=1'-0"



**03**  
**S101** CONSTRUCTION JOINT (CJ) IN CONCRETE SLAB ON GRADE  
 SCALE: 1/4"=1'-0"



**FOUNDATION AND SLAB PLAN**  
 SCALE: 1/8"=1'-0"

- FOUNDATION AND SLAB PLAN NOTES**
1. TYPICAL FLOOR = 4" SLAB ON GRADE REINFORCED WITH NOVOMESH 850 REINFORCEMENT UNLESS NOTED OTHERWISE
  2. FINISHED FLOOR ELEVATION = 100'-0" UNLESS NOTED OTHERWISE
  3. TOP OF FOUNDATION WALL ELEVATION = 100'-0" UNLESS NOTED OTHERWISE
  4. TOP OF PIER ELEVATION = 100'-0" UNLESS NOTED OTHERWISE
  5. FOUNDATIONS WALLS SHALL BE 1'-0" THICK UNLESS NOTED OTHERWISE
  6. TOP OF EXTERIOR FOOTING ELEVATION = 3" BELOW FINISHED FLOOR UNLESS NOTED OTHERWISE
  7. WALL FOOTINGS FOR 1'-0" THICK FOUNDATION WALLS SHALL BE 2'-0" x 1'-0" x CONTINUOUS STRIPS REINFORCED WITH (3) #8 BARS UNLESS NOTED OTHERWISE
  8. FOUNDATION WALLS SHALL BE INSULATED WITH 2" RIGID INSULATION AGAINST INTERIOR FACE OF WALL UNLESS NOTED OTHERWISE
  9. SLAB JOINTS SHALL BE CRACK CONTROL JOINTS UNLESS NOTED OTHERWISE
  10. DOUBLE DASHED LINE IN SLAB DENOTES THICKENED SLAB

- GENERAL NOTES**
1. P1 PIER SHALL BE 16"x16" PIER REINFORCED WITH (4) #6 VERTICAL BARS AND (3) TIES. SEE DETAIL 23/S101

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

**Angus Young**  
 Architecture  
 Engineering  
 Interior Design  
*Balance in Creativity*  
 555 South River Street, Janesville, WI 53548-4783  
 Ph: 608.756.2326 Fax: 608.756.0464  
 www.angusyoung.com

PROJECT NUMBER: 47200  
 APPROVED BY: J.H.  
 REVIEWED BY: BTW  
 DRAWN BY: GMS  
 1/23/2012 12:08:51 PM

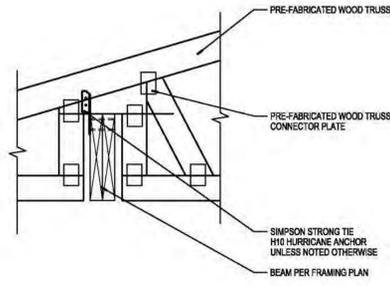
**DLK NEW APARTMENT BUILDING**  
**TRATT STREET AND FLORENCE STREET**  
**DLK ENTERPRISES**  
**WHITEWATER, WI**

FOUNDATION AND SLAB PLAN  
 STRUCTURAL DETAILS

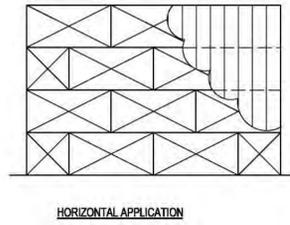
**S101**

REVISIONS	ISSUANCES
REVISED DWGS - NEW SITE SUBMITTAL - 01/18/2012	City of Whitewater Planning Commission - 01/09/2012

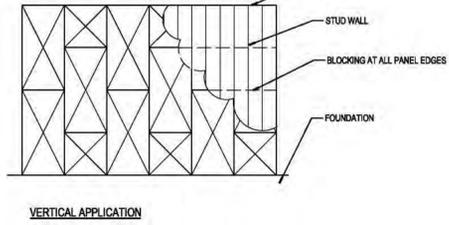
Copyright © 2012 Angus Young Associates, Inc. All Rights Reserved



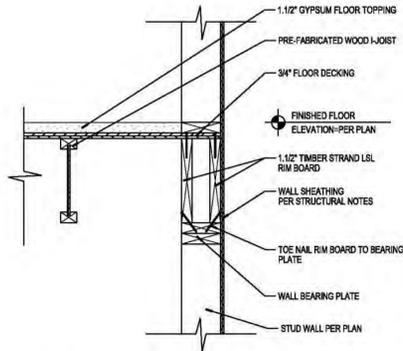
**24**  
**S201** TRUSS POCKET AT BEAM SUPPORT DETAIL  
SCALE: 1"=1'-0"



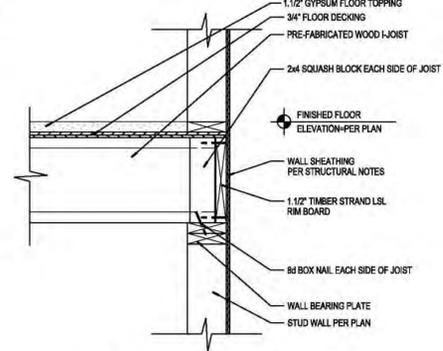
**20**  
**S201** SHEAR WALL SHEATHING APPLICATION DIAGRAM  
SCALE: 1/8"=1'-0"



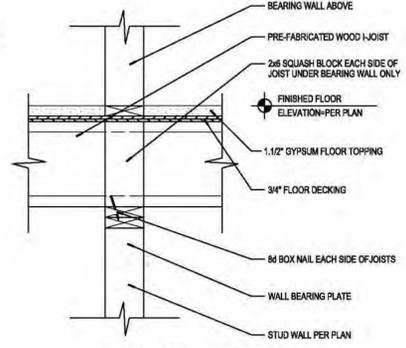
NOTE: NAIL SHEATHING PER A.P.A. FASTENER RECOMMENDATIONS FOR SPECIFIED LOADING AND THE FOLLOWING MAXIMUM SPACING:  
A) 8d AT 1' ON CENTER AT ALL SUPPORTED EDGES  
B) 8d AT 12" ON CENTER AT INTERMEDIATE SUPPORTS



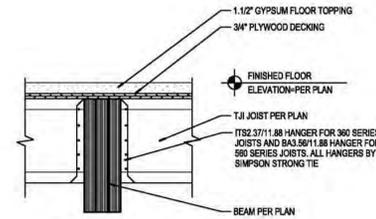
**12**  
**S201** SIDE EXTERIOR BEARING WALL DETAIL  
SCALE: 1"=1'-0"



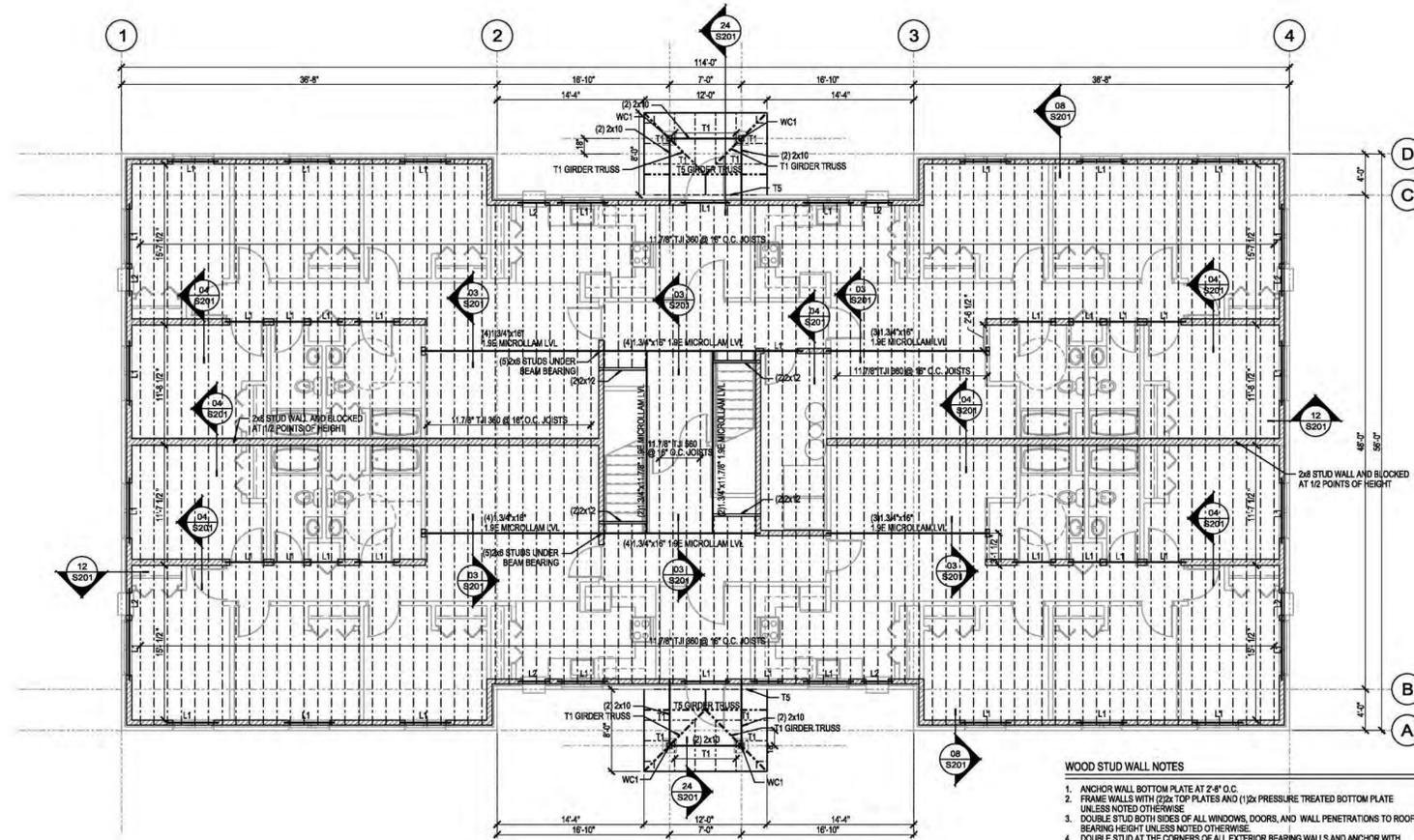
**08**  
**S201** JOIST CONNECTION AT EXTERIOR BEARING WALL  
SCALE: 1"=1'-0"



**04**  
**S201** JOIST CONNECTION AT INTERIOR BEARING WALL  
SCALE: 1"=1'-0"



**03**  
**S201** JOIST BEARING DETAIL  
SCALE: 1"=1'-0"

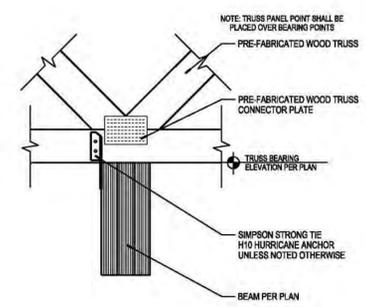
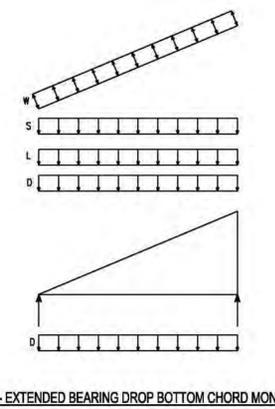
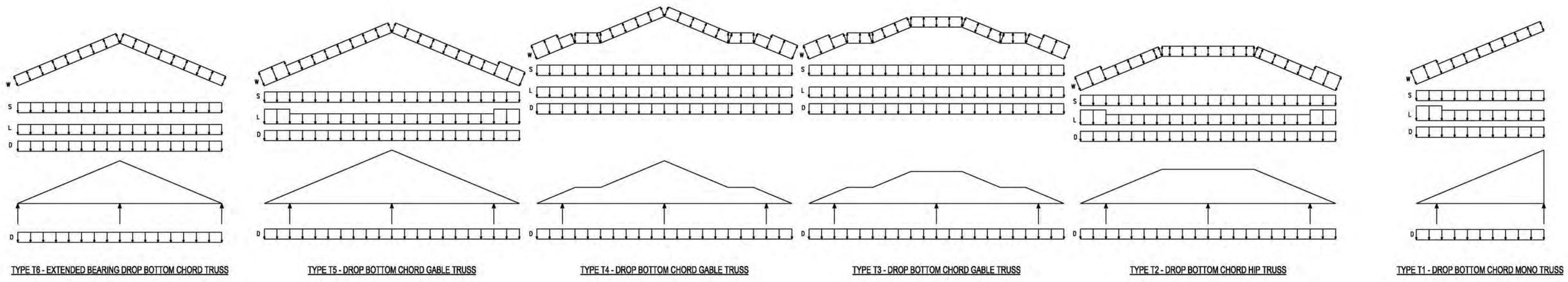


**SECOND FLOOR FRAMING PLAN**  
SCALE: 1/8"=1'-0"

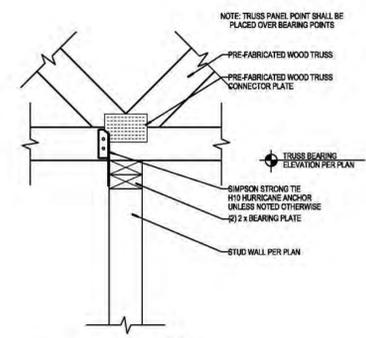
- WOOD STUD WALL NOTES**
- ANCHOR WALL BOTTOM PLATE AT 2'-0" O.C.
  - FRAME WALLS WITH (2) 2x4 TOP PLATES AND (1) 2x PRESSURE TREATED BOTTOM PLATE UNLESS NOTED OTHERWISE.
  - DOUBLE STUD BOTH SIDES OF ALL WINDOWS, DOORS, AND WALL PENETRATIONS TO ROOF BEARING HEIGHT UNLESS NOTED OTHERWISE.
  - DOUBLE STUD AT THE CORNERS OF ALL EXTERIOR BEARING WALLS AND ANCHOR WITH CONCRETE EMBEDMENT HOLDDOWN ANCHORS.
  - TRIPLE 2x6 STUDS AT ALL BEAMS BEARING LOCATIONS UNLESS NOTED OTHERWISE.
  - L1 UNITS SHALL BE (3) 2x6s WITH (2) LAYERS OF 1/2" PLYWOOD BETWEEN UNLESS NOTED OTHERWISE.
  - L2 UNITS SHALL BE (3) 2x6s WITH (2) LAYERS OF 1/2" PLYWOOD BETWEEN UNLESS NOTED OTHERWISE.
  - EXTERIOR WALLS SHALL BE 2x6s AT 16" O.C. UNLESS NOTED OTHERWISE.
  - INTERIOR BEARING WALLS SHALL BE 2x6s AT 16" O.C. AND BLOCKED AT 1/2 POINTS OF HEIGHT UNLESS NOTED OTHERWISE.

- GENERAL NOTES**
- TOP OF FINISH FLOOR ELEVATION = 109'-5.1/2"
  - WC1 COLUMN SHALL BE 6x8 POST SP2 82 OR BETTER WITH LCE4 POST CAPS AT CORNERS BEAM-COLUMN CONNECTION.
  - PROVIDE C9066-SDS COLUMN BASE. ALL CONNECTOR BY SIMPSON STRONG TIE.
  - PROVIDE L4x4x1/4 STEEL ANGLE FOR BRICK SUPPORT AT WINDOWS AND DOOR OPENINGS.
  - FOR TRUSS PROFILES SEE SHEET S202.
  - SHADED WALLS INDICATE BEARING WALLS.

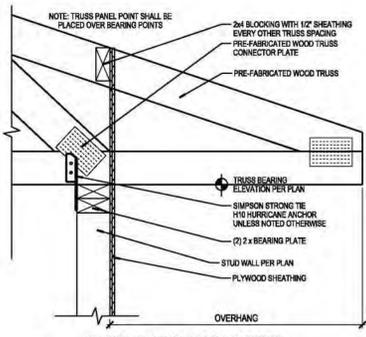
ORIGINAL SIZE = 24" x 36"  
X:\1730\Drawings\73005\201.dgn



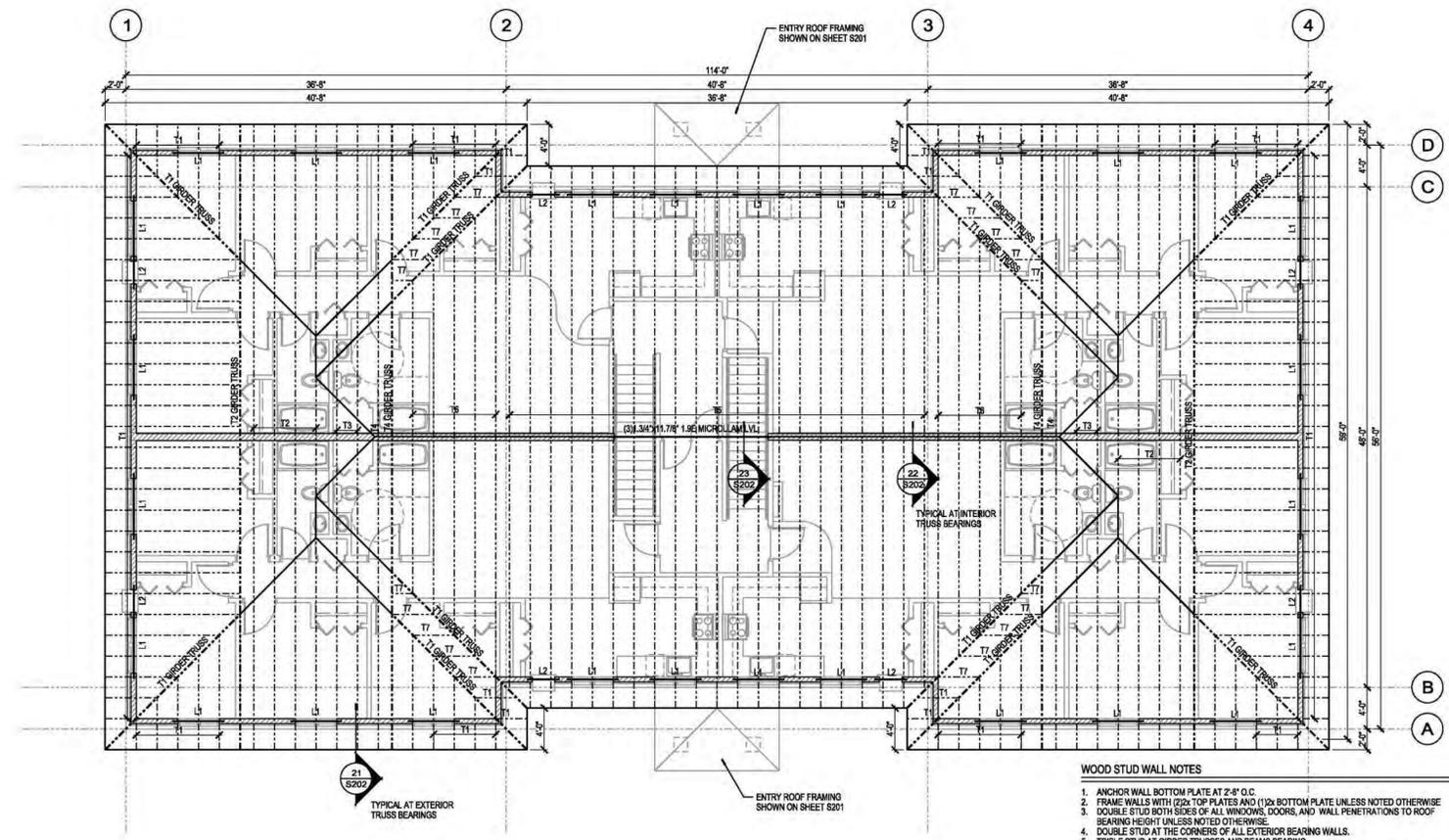
23 TRUSS BEARING CONNECTION AT BEAM  
SCALE: 1,1/2"=1'-0"



22 TRUSS BEARING CONNECTION AT INTERIOR WALL  
SCALE: 1,1/2"=1'-0"



21 TRUSS BEARING CONNECTION WITH DROPPED CHORD SOFFIT  
SCALE: 1,1/2"=1'-0"



ROOF FRAMING PLAN  
SCALE: 1/8"=1'-0"

- WOOD TRUSS ROOF FRAMING NOTES**
1. SHADDED WALLS INDICATE BEARING WALLS
  2. WOOD TRUSSES SHALL BE SPACED 2'-0" O.C. UNLESS NOTED OTHERWISE
  3. TRUSS BEARING HEIGHT SHALL BE 11'-8" UNLESS NOTED OTHERWISE
  4. TRUSS OVERHANG SHALL BE 24" TO OUTSIDE FACE OF FASCIA UNLESS NOTED OTHERWISE
  5. PROVIDE 2x FASCIA MATCHING TRUSS DEPTH AT END UNLESS NOTED OTHERWISE

- WOOD STUD WALL NOTES**
1. ANCHOR WALL BOTTOM PLATE AT 2'-0" O.C.
  2. FRAME WALLS WITH (2)2x TOP PLATES AND (1)2x BOTTOM PLATE UNLESS NOTED OTHERWISE
  3. DOUBLE STUD BOTH SIDES OF ALL WINDOWS, DOORS, AND WALL PENETRATIONS TO ROOF BEARING HEIGHT UNLESS NOTED OTHERWISE.
  4. DOUBLE STUD AT THE CORNERS OF ALL EXTERIOR BEARING WALLS.
  5. TRIPLE STUD AT GIRDER TRUSSES AND BEAMS BEARING
  6. L1 LINTELS SHALL BE (3)2x4s WITH (2) LAYERS OF 1/2" PLYWOOD BETWEEN UNLESS NOTED OTHERWISE
  7. L2 LINTELS SHALL BE (3)2x4s WITH (2) LAYERS OF 1/2" PLYWOOD BETWEEN UNLESS NOTED OTHERWISE
  8. EXTERIOR WALLS SHALL BE 2x6s AT 16" O.C. UNLESS NOTED OTHERWISE
  9. INTERIOR BEARING WALLS SHALL BE 2x6s AT 16" O.C. AND BLOCKED AT 1/2 OF HEIGHT UNLESS NOTED OTHERWISE



LOUVER SCHEDULE				
TAG	SIZE	TYPE	CONSTRUCTION	MANUFACTURER & MODEL
L-1	24" X 16"	STATIONARY	EXTRUDED	GREENHECK ESC-603
L-2	24" X 16"	STATIONARY	EXTRUDED	GREENHECK ESC-603

AIR SEPARATOR						
TAG	DESIGN GPM	STRAINER	% OF MAX FLOW	AIR ELIM EFF.	P.D.	MANUFACTURER & MODEL NUMBER
AS-1	45	YES	80	95	0.61	BELL & GOSSETT ROLAIR R-3N

POT FEEDER SCHEDULE					
TANK NO.	TANK TYPE	TANK VOLUME (GALLONS)	TANK LENGTH	TANK DIA.	MANUFACTURER & MODEL NUMBER
FF-1	FEEDER	5	33	10	GRS SWOLD FILTRATION CBF-5GE
FF-2	FEEDER	5	33	10	GRS SWOLD FILTRATION CBF-5GE

NOTE 1: INCLUDE STRAINER BASKET SB-SS AND FILTERS.

STORAGE TANK SCHEDULE							
TANK NO.	TANK TYPE	AVERAGE WATER TEMP.	% GLYCOL	VOLUME (GALLONS)	TANK HEIGHT	TANK DIA.	MANUFACTURER & MODEL NUMBER
ST-1	VERTICAL	170	0	34	64	20	AMTROL EC80

BOILER SCHEDULE								
TAG	HEATING MEDIUM	INPUT MBH	OUTPUT MBH	FUEL	GPM	BURNER	VOLTAGE	MANUFACTURER & MODEL
B-1	WATER	250	210	NATURAL GAS	23	ATMOSPHERIC	115/60/1	WEL-MCLAIR EG-65
B-2	WATER	250	210	NATURAL GAS	23	ATMOSPHERIC	115/60/1	WEL-MCLAIR EG-65

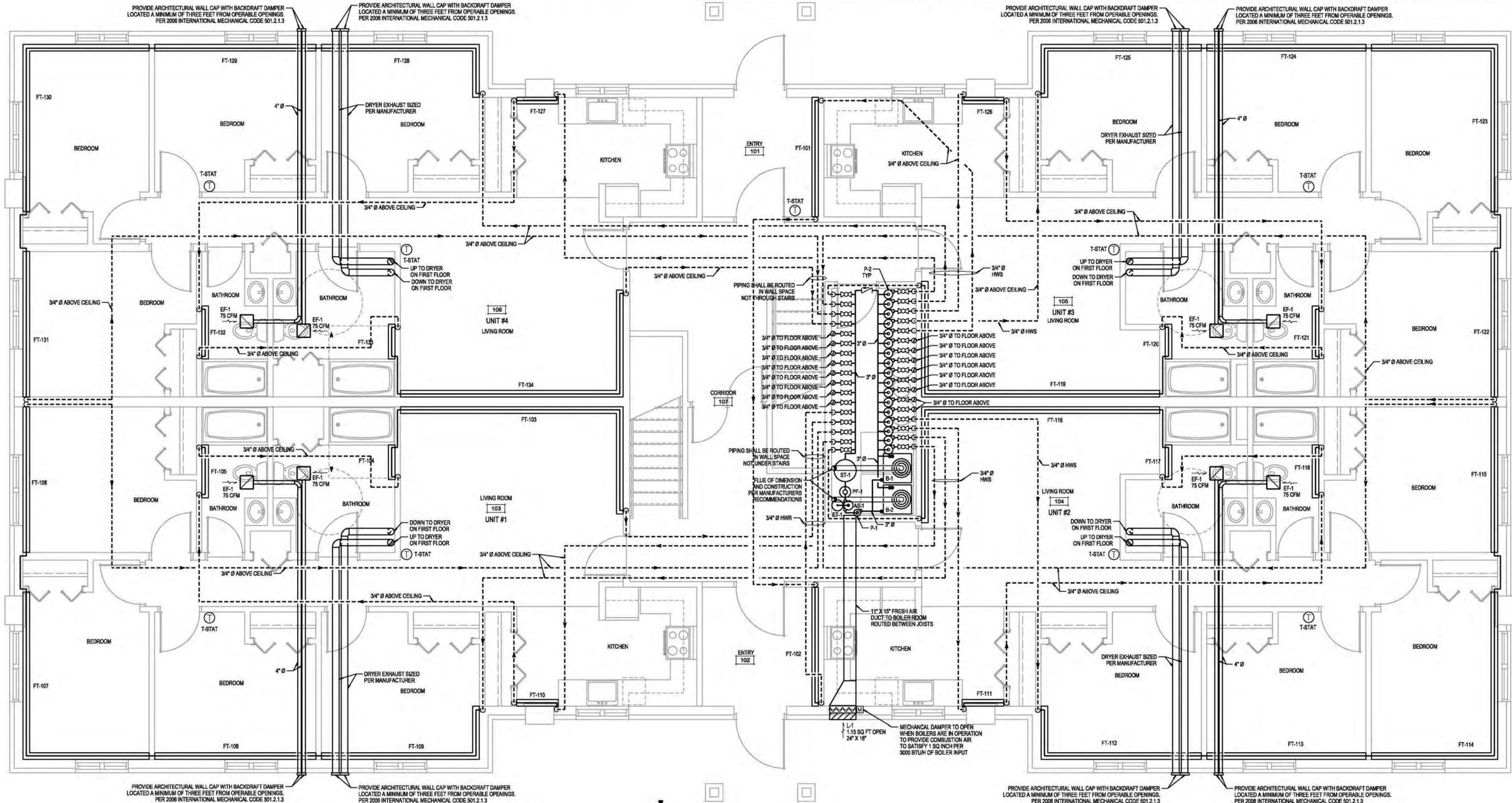
CIRCULATING PUMP SCHEDULE								
TAG	SERVICE	TYPE	GPM	HEAD	MOTOR	MOTOR	VOLTAGE	MANUFACTURER
P-1	BOILER PUMP	IN-LINE	46	20	3/4	1725	115/60/1	BELL & GOSSETT 90 2AA
P-3	ZONE PUMP	IN-LINE	4	20	2/25	2650	115/60/1	BELL & GOSSETT PL-30

EXHAUST FAN SCHEDULE											
TAG	ROOM LOCATION	SYSTEM	CFM	SP	DUCT	AMPS	VOLTAGE	DRIVE	FAN TYPE	MANUFACTURER & MODEL NUMBER	CONTROL
EF-1	BATHROOM	EXHAUST	100	0.125	4"	1.30	115/60/1	DIRECT	CENTRIFUGAL	BROAN MODEL 676	OPERATED WHEN SPACE IS OCCUPIED

EXPANSION TANK SCHEDULE - DIAPHRAGM TYPE										
TANK NO.	TANK TYPE	AVERAGE WATER	MIN PRECHARGE PRESSURE (PSIG)	MAX PRECHARGE PRESSURE (PSIG)	GLYCOL	EXPANSION VOLUME (GALLONS)	MIN TANK VOLUME (GALLONS)	TANK HEIGHT	TANK DIA.	MANUFACTURER & MODEL NUMBER
ET-1	VERTICAL	170	10	14	0	34	44	36	22	AMTROL SX-90

FIN TUBE SCHEDULE												
TAG	LENGTH (FT)	BTU/HFT	TIERS	ELEMENT				COVER				
				TUBE	TMBH	AWT (F)	GPM	TYPE	HEIGHT	DEPTH	LENGTH (FT)	MANUFACTURER
FT-101	8	625	1	3/4" COPPER	5.0	170	0.5	SLOPE TOP	16"	5.25"	10	Trane
FT-102	8	625	1	3/4" COPPER	5.0	170	0.5	SLOPE TOP	16"	5.25"	10	Trane
FT-103	19	625	1	3/4" COPPER	11.9	170	1.2	SLOPE TOP	16"	5.25"	21	Trane
FT-104	2	625	1	3/4" COPPER	1.3	170	0.1	SLOPE TOP	16"	5.25"	4	Trane
FT-105	3	625	1	3/4" COPPER	1.9	170	0.2	SLOPE TOP	16"	5.25"	5	Trane
FT-106	10	625	1	3/4" COPPER	6.3	170	0.6	SLOPE TOP	16"	5.25"	12	Trane
FT-107	20	625	1	3/4" COPPER	12.5	170	1.3	SLOPE TOP	16"	5.25"	22	Trane
FT-108	10	625	1	3/4" COPPER	6.3	170	0.6	SLOPE TOP	16"	5.25"	12	Trane
FT-109	14	625	1	3/4" COPPER	8.8	170	0.9	SLOPE TOP	16"	5.25"	16	Trane
FT-110	3	625	1	3/4" COPPER	1.9	170	0.2	SLOPE TOP	16"	5.25"	5	Trane
FT-111	3	625	1	3/4" COPPER	1.9	170	0.2	SLOPE TOP	16"	5.25"	5	Trane
FT-112	14	625	1	3/4" COPPER	8.8	170	0.9	SLOPE TOP	16"	5.25"	16	Trane
FT-113	10	625	1	3/4" COPPER	6.3	170	0.6	SLOPE TOP	16"	5.25"	12	Trane
FT-114	20	625	1	3/4" COPPER	12.5	170	1.3	SLOPE TOP	16"	5.25"	22	Trane
FT-115	10	625	1	3/4" COPPER	6.3	170	0.6	SLOPE TOP	16"	5.25"	12	Trane
FT-116	3	625	1	3/4" COPPER	1.9	170	0.2	SLOPE TOP	16"	5.25"	5	Trane
FT-117	2	625	1	3/4" COPPER	1.3	170	0.1	SLOPE TOP	16"	5.25"	4	Trane
FT-118	19	625	1	3/4" COPPER	11.9	170	1.2	SLOPE TOP	16"	5.25"	21	Trane
FT-119	19	625	1	3/4" COPPER	11.9	170	1.2	SLOPE TOP	16"	5.25"	21	Trane
FT-120	2	625	1	3/4" COPPER	1.3	170	0.1	SLOPE TOP	16"	5.25"	4	Trane
FT-121	3	625	1	3/4" COPPER	1.9	170	0.2	SLOPE TOP	16"	5.25"	5	Trane
FT-122	10	625	1	3/4" COPPER	6.3	170	0.6	SLOPE TOP	16"	5.25"	12	Trane
FT-123	20	625	1	3/4" COPPER	12.5	170	1.3	SLOPE TOP	16"	5.25"	22	Trane
FT-124	10	625	1	3/4" COPPER	6.3	170	0.6	SLOPE TOP	16"	5.25"	12	Trane
FT-125	14	625	1	3/4" COPPER	8.8	170	0.9	SLOPE TOP	16"	5.25"	16	Trane
FT-126	3	625	1	3/4" COPPER	1.9	170	0.2	SLOPE TOP	16"	5.25"	5	Trane
FT-127	3	625	1	3/4" COPPER	1.9	170	0.2	SLOPE TOP	16"	5.25"	5	Trane
FT-128	14	625	1	3/4" COPPER	8.8	170	0.9	SLOPE TOP	16"	5.25"	16	Trane
FT-129	10	625	1	3/4" COPPER	6.3	170	0.6	SLOPE TOP	16"	5.25"	12	Trane
FT-130	20	625	1	3/4" COPPER	12.5	170	1.3	SLOPE TOP	16"	5.25"	22	Trane
FT-131	10	625	1	3/4" COPPER	6.3	170	0.6	SLOPE TOP	16"	5.25"	12	Trane

FIN TUBE SCHEDULE												
TAG	LENGTH (FT)	BTU/HFT	TIERS	ELEMENT				COVER				
				TUBE	TMBH	AWT (F)	GPM	TYPE	HEIGHT	DEPTH	LENGTH (FT)	MANUFACTURER
FT-132	3	625	1	3/4" COPPER	1.9	170	0.2	SLOPE TOP	16"	5.25"	5	Trane
FT-133	2	625	1	3/4" COPPER	1.3	170	0.1	SLOPE TOP	16"	5.25"	4	Trane
FT-134	19	625	1	3/4" COPPER	11.9	170	1.2	SLOPE TOP	16"	5.25"	21	Trane
FT-201	7	625	1	3/4" COPPER	4.4	170	0.4	SLOPE TOP	16"	5.25"	9	Trane
FT-202	14	625	1	3/4" COPPER	8.8	170	0.9	SLOPE TOP	16"	5.25"	16	Trane
FT-203	10	625	1	3/4" COPPER	6.3	170	0.6	SLOPE TOP	16"	5.25"	12	Trane
FT-204	19	625	1	3/4" COPPER	11.9	170	1.2	SLOPE TOP	16"	5.25"	21	Trane
FT-205	10	625	1	3/4" COPPER	6.3	170	0.6	SLOPE TOP	16"	5.25"	12	Trane
FT-206	3	625	1	3/4" COPPER	1.9	170	0.2	SLOPE TOP	16"	5.25"	5	Trane
FT-207	2	625	1	3/4" COPPER	1.3	170	0.1	SLOPE TOP	16"	5.25"	4	Trane
FT-208	2	625	1	3/4" COPPER	1.3	170	0.1	SLOPE TOP	16"	5.25"	4	Trane
FT-209	3	625	1	3/4" COPPER	1.9	170	0.2	SLOPE TOP	16"	5.25"	5	Trane
FT-210	10	625	1	3/4" COPPER	6.3	170	0.6	SLOPE TOP	16"	5.25"	12	Trane
FT-211	19	625	1	3/4" COPPER	11.9	170	1.2	SLOPE TOP	16"	5.25"	21	Trane
FT-212	10	625	1	3/4" COPPER	6.3	170	0.6	SLOPE TOP	16"	5.25"	12	Trane
FT-213	14	625	1	3/4" COPPER	8.8	170	0.9	SLOPE TOP	16"	5.25"	16	Trane
FT-214	7	625	1	3/4" COPPER	4.4	170	0.4	SLOPE TOP	16"	5.25"	9	Trane
FT-215	7	625	1	3/4" COPPER	4.4	170	0.4	SLOPE TOP	16"	5.25"	9	Trane
FT-216	14	625	1	3/4" COPPER	8.8	170	0.9	SLOPE TOP	16"	5.25"	16	Trane
FT-217	10	625	1	3/4" COPPER	6.3	170	0.6	SLOPE TOP	16"	5.25"	12	Trane
FT-218	19	625	1	3/4" COPPER	11.9	170	1.2	SLOPE TOP	16"	5.25"	21	Trane
FT-219	10	625	1	3/4" COPPER	6.3	170	0.6	SLOPE TOP	16"	5.25"	12	Trane
FT-220	3	625	1	3/4" COPPER	1.9	170	0.2	SLOPE TOP	16"	5.25"	5	Trane
FT-221	2	625	1	3/4" COPPER	1.3	170	0.1	SLOPE TOP	16"	5.25"	4	Trane
FT-222	2	625	1	3/4" COPPER	1.3	170	0.1	SLOPE TOP	16"	5.25"	4	Trane
FT-223	3	625	1	3/4" COPPER	1.9	170	0.2	SLOPE TOP	16"	5.25"	5	Trane
FT-224	10	625	1	3/4" COPPER	6.3	170	0.6	SLOPE TOP	16"	5.25"	12	Trane
FT-225	19	625	1	3/4" COPPER	11.9	170	1.2	SLOPE TOP	16"	5.25"	21	Trane
FT-226	10	625	1	3/4" COPPER	6.3	170	0.6	SLOPE TOP	16"	5.25"	12	Trane
FT-227	14	625	1	3/4" COPPER	8.8	170	0.9	SLOPE TOP	16"	5.25"	16	Trane
FT-228	7	625	1	3/4" COPPER	4.4	170	0.4	SLOPE TOP	16"	5.25"	9	Trane



**FIRST FLOOR HVAC PLAN**  
SCALE: 1/4"=1'-0"

SCALE: 1/4"=1'-0"  
PLOTTED BY: BSW  
ORIGINAL SIZE: 24" X 36"  
X:\2010\dwg\720004101.dwg

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

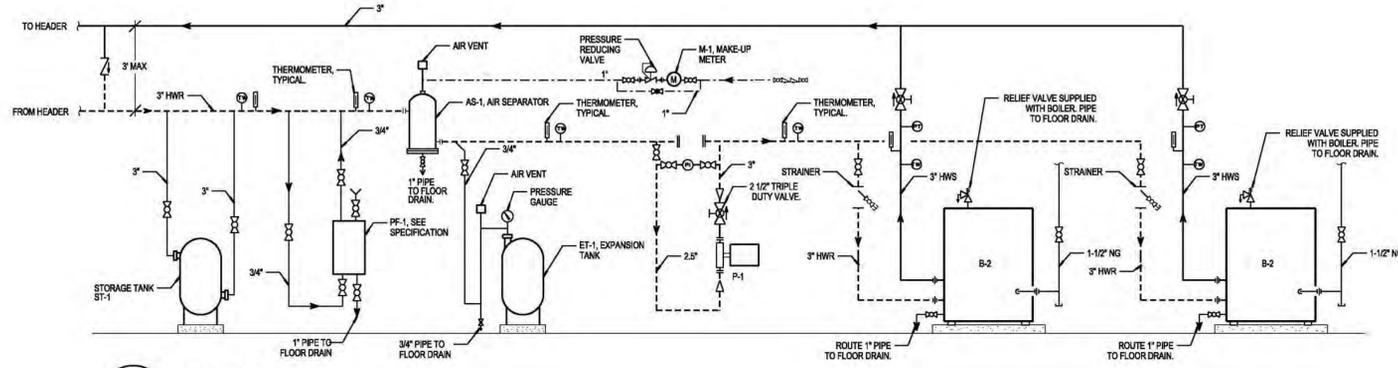
REVISIONS	ISSUANCES
REVISED DWGS - NEW SITE SUBMITTAL - 01/18/2012	City of Whitewater Planning Commission - 01/08/2012

**Angus Young**  
Architecture  
Engineering  
Interior Design  
Balance in Creativity  
555 South River Street, Janesville, WI 53548-0783  
Ph: 608.756.2326 Fax: 608.756.0464  
www.angusyoung.com

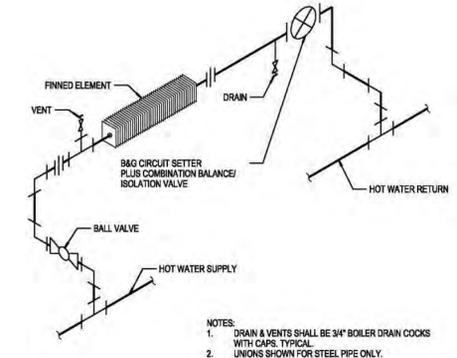
**DLK NEW APARTMENT BUILDING**  
TRATT STREET AND FLORENCE STREET  
DLK ENTERPRISES  
WHITEWATER, WI

PROJECT NUMBER: 47300  
APPROVED BY: J.H.  
REVIEWED BY: B.W.  
DRAWN BY: E.P.L.  
1/23/2012 12:08:51 PM  
FIRST FLOOR HVAC

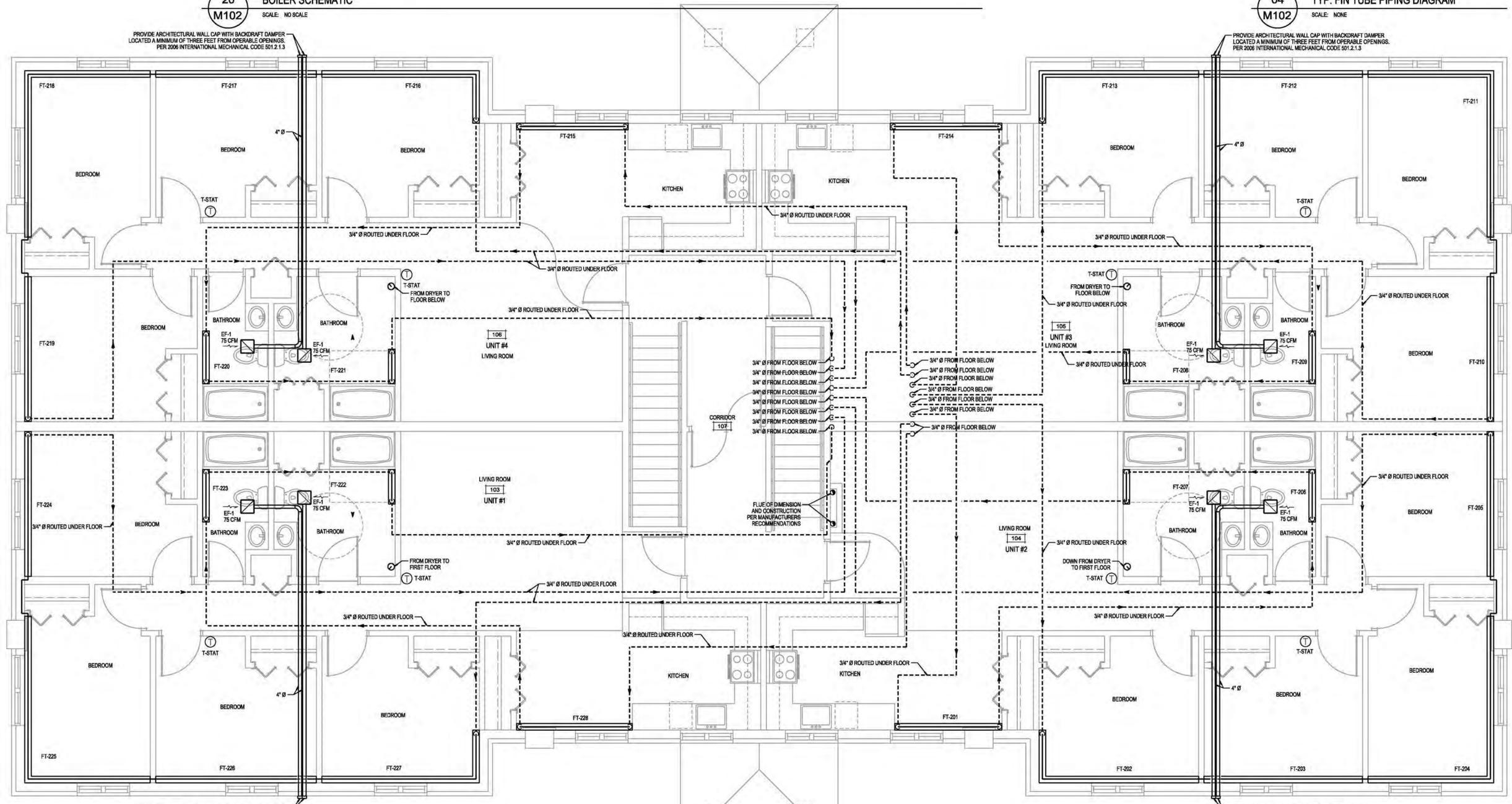
**M101**



**20** BOILER SCHEMATIC  
**M102** SCALE: NO SCALE



**04** TYP. FIN TUBE PIPING DIAGRAM  
**M102** SCALE: NONE



**SECOND FLOOR HVAC PLAN**  
 SCALE: 1/4"=1'-0"

SCALE: 1/4"=1'-0"  
 PLOTTED BY: BHW

ORIGINAL SIZE = 24" x 36"  
 X:\120\Draws\47000\M102.dgn

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

REVISIONS	ISSUANCES
REVISED DWGS - NEW SITE SUBMITTAL - 01/18/2012	City of Whitewater Planning Commission - 01/18/2012

**Angus Young**  
 Architecture  
 Engineering  
 Interior Design  
 Balance in Creativity  
 555 South River Street, Janesville, WI 53548-4783  
 Ph: 608.756.2326 Fax: 608.756.0464  
 www.angusyoung.com

**DLK NEW APARTMENT BUILDING**  
 TRATT STREET AND FLORENCE STREET  
 DLK ENTERPRISES  
 WHITEWATER, WI

PROJECT NUMBER: 47300  
 APPROVED BY: J.H.  
 REVIEWED BY: B.W.  
 DRAWN BY: E.P.L.  
 1/23/2012 12:08:43 PM  
 SECOND FLOOR HVAC PLAN

**M102**



# CERTIFIED SURVEY MAP

Lot 1 and Lot 9, BELL- AIRE HEIGHTS and other lands in the SE ¼ of the NW ¼  
of Section 5, T4N, R15E, City of Whitewater, Walworth County, WI

## NOTES:

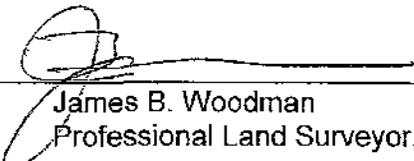
- Assumed North is referenced to the south line of the NW ¼ of Section 5-4-15, Bearing N84°33'40"E.
- This lot may be subject to any and all easements or agreements either recorded or unrecorded.

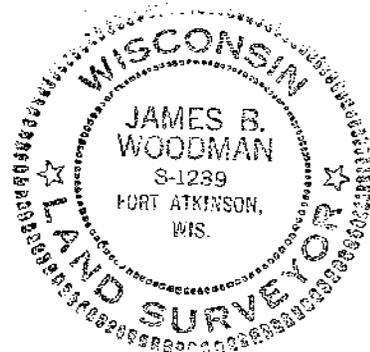
## SURVEYOR'S CERTIFICATE

I, James B. Woodman, Professional Land Surveyor, hereby certify that in full compliance with Chapter 236.34, Wisconsin Statutes and the subdivision regulations of the City of Whitewater and by the direction of Michael S. Kachel, this land has been surveyed, divided and mapped under my responsible direction and supervision; that such survey correctly represents all exterior boundaries and the division of the land surveyed; and that this land is Lot 1 and Lot 9, BELL- AIRE HEIGHTS and other lands in the SE ¼ of the NW ¼ of Section 5, T4N, R15E, City of Whitewater, Walworth County, Wisconsin to-wit:

Commencing at the W¼ corner of said Section 5; thence N84°33'40"E, along the south line of said NW ¼, 1972.30 feet; thence N3°29'45"W, along the east line of Tratt Street and its extension, 550.90 feet to the SW corner of said Lot 1 and the point of beginning; thence continue N3°29'45"W, along said east line, 74.59 feet to the NW corner of said Lot 1; thence S84°33'00"W, along the extension of the north line of said Lot 1, 33.01 feet to the centerline of said Tratt Street; thence N3°29'45"W, along said centerline, 134.02; thence N84°36'00"E, along the centerline of Florence Street, 175.20 feet; thence S3°31'00"E, along the extension of the west line of said Lot 9, 30.01 feet to the NW corner of said Lot 9; thence N84°36'00"E, along the south line of said Florence Street, 109.43 feet to the NE corner of said Lot 9; thence S3°45'00"E, along the west line of Lindsey Court, 104.00 feet to the SE corner of said Lot 9; thence S84°36'00"W, along the south line of said Lot 9 and the north line of Lot 8 said BELL- AIRE HEIGHTS, 126.08 feet to the NE corner of said Lot 1; thence S3°37'20"E, along the east line of said Lot 1, 74.48 feet to the SE corner thereof; thence S84°33'00"W, along the south line of said Lot 1, 126.21 feet to the point of beginning, containing 1.106 acres and subject to road rights of way as shown.

Date 12-29-11

  
James B. Woodman  
Professional Land Surveyor, S-1239



# CERTIFIED SURVEY MAP

## CORPORATE OWNER'S CERTIFICATE

DLK Enterprises, Inc., a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on the map. It also certifies that this map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

City of Whitewater

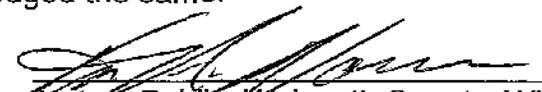
IN WITNESS WHEREOF, DLK Enterprises, Inc., has caused these presents to be signed by Michael S. Kachel, President of the above named corporation at Whitewater, Wisconsin this 27th day of January, 2012.

  
Michael S. Kachel, President

STATE OF WISCONSIN )  
WALWORTH COUNTY ) SS

Personally came before me this 27 day of JANUARY, 2012, the above named, Michael S. Kachel, President of the above named corporation, to me known to be the person who executed the foregoing instrument and acknowledged the same.

My Commission Expires: 9/13/2015

  
Notary Public, Walworth County, WI

## CITY OF WHITewater APPROVAL

I certify that this Certified Survey Map, DLK Enterprises, Inc., owner, has been approved by the City of Whitewater.

Date \_\_\_\_\_

\_\_\_\_\_  
Michele Smith, City Clerk

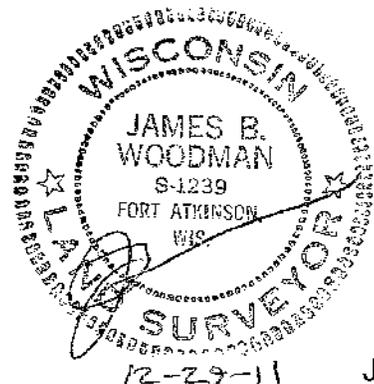
Received for recording this \_\_\_\_\_ day of \_\_\_\_\_, 201  , at \_\_\_\_\_ o'clock  
\_\_\_\_.M. and recorded in Volume \_\_\_\_\_ of Certified Surveys of Walworth County at pages  
\_\_\_\_\_.

Document No. \_\_\_\_\_

\_\_\_\_\_  
Walworth County Register of Deeds

Certified Survey Map No. \_\_\_\_\_

Sheet 3 of 3



12-29-11

JN 10-32

Site Assessment Checklist for Subdivisions (Plats and Certain CSMS)		
ITEM OF INFORMATION	YES	NO
I. Land Resources. Does the project site involve:		
A. Changes in relief and drainage patterns (Attach a topographical map showing, at a minimum, 2-foot contour intervals)	X	
B. A landform or topographical feature including perennial streams		X
C. A floodplain (If "yes," attach 2 copies of the 100-year floodplain limits and the floodway limits)		X
D. An area of soil instability--greater than 18 percent slope and/or organic soils, peats, or mucks at or near the surface as depicted in the applicable "County Soils Atlas"		X
E. An area of bedrock within 6 ft. of the soil surface as depicted in the applicable "County Soils Atlas" or a more detailed source		X
F. An area with groundwater table within 10 feet of the soil surface as described in the applicable "County Soils Atlas" or a more detailed source		X
G. An area with fractured bedrock within 10 feet of the soil surface as depicted in the applicable "County Soils Atlas"		X
H. Prevention of future gravel extraction	<del>X</del>	X
I. A drainageway with a tributary area of 5 or more acres		X
J. Lot coverage of more than 50 percent impermeable surfaces		X
K. Prime agricultural land as depicted in the applicable "County Soils Atlas" or adopted farm land reservation plans		X
L. Wetlands as depicted on DNR wetland inventory maps or more detailed sources		X
M. Environmental corridors, as mapped by SEWRPC or more detailed sources		X
II. Water Resources. Does the project involve:		
A. Location in an area traversed by a navigable stream, intermittent stream, or dry run		X
B. Impact on the capacity of a stormwater storage system or flow of a waterway within 1 mile		X

Site Assessment Checklist for Subdivisions (Plats and Certain CSMS) (Continued)		
ITEM OF INFORMATION	YES	NO
C. The use of septic tank(s) for on-site waste disposal		X
D. Lowering of water table by pumping or drainage		X
E. Raising of water table by altered drainage		X
F. Lake or river frontage		X
III. Biological Resources. Does the project involve:		
A. Critical habitat for plants and animals of community interest per DNR or SEWRPC inventory		X
B. Endangered, unusual or rare animal or plant species per DNR or SEWRPC inventory		X
C. Trees with a diameter of 6 or more inches at breast height	X	
D. Removal of over 30 percent of the present trees on the site		X
IV. Human and Scientific Interest per State Historical Society Inventory. Does this project site involve:		
A. An area of archeological interest		X
B. An area of historical interest, including historic buildings or monuments		X
V. Energy, Transportation and Communications.		
A. Would the development increase traffic flow on any arterial or collector street by more than 10 percent based upon the most recent traffic counts and trip generation rates provided by the Institute of Transportation Engineers (ITE)		X
B. Is the land traversed by an existing or planned roadway corridor, as shown on the city's official map or comprehensive plan		X
C. Is the land within a highway noise impacted area		X
D. Is the land traversed by an existing or planned utility corridor (gas, electrical, water, sewer, storm, communications)		X
VI. Population.		

<u>Site Assessment Checklist for Subdivisions</u>		
(Plats and Certain CSMs)		
ITEM OF INFORMATION	YES	NO
A. Which public school service areas (elementary, middle and high) are affected by the proposed development, and what is their current available capacity?	E: Cap: M: Cap: H: Cap:	X
VII. Comments on any of the above which may have significant impact.		
VIII. Appendices and Supporting Material. (NOTE: All "yes" answers must be explained in detail by attaching maps and supportive documentation describing the impacts of the proposed development.)		

(NOTE: The plan commission may waive the filing of a site assessment checklist for subdivisions of less than 5 acres total area.)



Neighborhood Services Department  
*Planning, Zoning, Code Enforcement, GIS  
and Building Inspections*

[www.whitewater-wi.gov](http://www.whitewater-wi.gov)  
Telephone: (262) 473-0540

---

To: City of Whitewater Plan and Architectural Review Commission  
From: Latisha Birkeland, Neighborhood Services Manager / City Planner  
Date: February 8th, 2012  
Re: Review the proposed construction of a roofed smoking area inside the existing beer garden.

---

### **Summary of Request**

**Requested Approvals:** The applicant, Greg Condos / Mitchell's Bar, is requesting plan review approval to allow the construction of a roofed addition to the beer garden for a smoking area.

**Location:** 158 W. Whitewater Street

**Current Land Use:** Restaurant that serves beer and liquor by the bottle or glass with an approved beer garden.

**Proposed Use:** Same.

**Current Zoning:** B-2 Central Business

**Proposed Zoning:** (no change proposed)

**Comprehensive Plan's Future Land Use Designation:** Central Business

**Surrounding Zoning and Land Use:** All surrounding parcels are in the B-2 Central Business Zoning District.

### **Brief History of Project:**

Last year Mitchell's Bar put up a roofed structure outside in the approved beer garden without Plan Commission approval. This structure provided a weather barrier from inclement weather and a shelter for smokers. This structure was required to be removed and an application needed to be submitted to the City for approval of the roofed addition.

### **Description of Use**

That applicant submitted plans to the City in December 2011 proposing a two-sided roofed structure to be added to the existing outside beer garden. The City determined that the plans were missing multiple items and sent a letter on 12/29/2011 and on 1/17/2012 regarding additional items needed.

The new plans were submitted on 2/8/2012, which were included in this packet. The proposed roofed structure will not have any walls, permanent or temporary, and will be detached from the building. There will be no additional lighting or heating added to the structure. There will be no changes to the interior of the building, exit from beer garden, trash receptacles, hours, menu, etc. The only change will be the structure itself. There is no signage proposed to be placed on the structure.

The proposed structure will be placed three (3) inches from the west and east exterior walls of the existing building and six (6) inches from the south exterior wall. The structure will be 18'6" wide and 13'2" deep. The structure height will be 8'6" at the bottom of the roof canopy.

As of 4:30 p.m. on 2/7/2012, staff did not receive any public comments regarding this application.

**Recommendation for Approval:**

I recommend the Plan and Architectural Review Commission approve the accessory use of a roofed structure to be placed in the existing beer garden at Mitchell's bar, subject to the following conditions:

1. All required permits must meet the required code standards. If the Building Inspector (State or Local) determines that changes need to be made to the proposed structure, i.e. location, width of posts, etc. all conditions must be complied with. The Plan Commission may or may not require to review any changes to the building permit plans as they see fit.
  - a. The Building inspector wrote a memo regarding items the building permit will need to address, if approved by the Plan Commission. If the State of Wisconsin determines this structure to be an addition because of the State Building Code requirements, items that may be needed, but not limited to, include having the plans drawn by a State Licensed Architect, identify occupant load of roofed area, identify fire ratings of proposed materials, etc. At this time, we do not know what will be determined by the State Building Code.
2. There shall be no walls, permanent or temporary, added to this structure without first seeking approval of the Plan Commission.
3. No signage shall be allowed on the roof of this structure.

STANDARD	APPLICANT'S EXPLANATION
A. The proposed structure, addition, alteration or use will meet the minimum standards of this title for the district in which it is located; B.	Yes. B-2 District does not have minimum required ordinance designs and dimensional standards or setbacks.
C. The proposed development will be consistent with the adopted city master plan;	Yes.
D. The proposed development will be compatible with and preserve the important natural features of the site;	Yes. The site will not be altered.
E. The proposed use will not create a nuisance for neighboring uses, or unduly reduce the values of an adjoining property;	The beer garden was already approved. Any nuisance that the neighbors currently have may be mitigated by this roofed structure.



Neighborhood Services Department  
*Planning, Zoning, Code Enforcement, GIS  
and Building Inspections*

www.whitewater-wi.gov  
Telephone: (262) 473-0540

---

NOTICE OF REVIEW

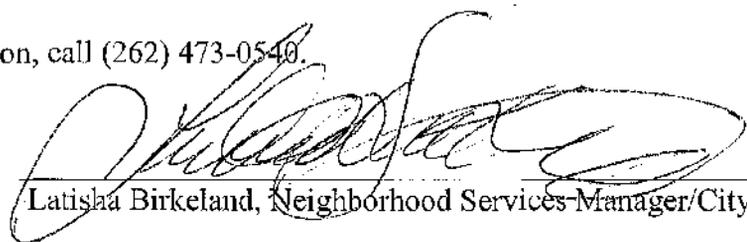
TO ALL INTERESTED PARTIES:

A meeting of the PLAN AND ARCHITECTURAL REVIEW COMMISSION of the City of Whitewater will be held at the Whitewater Municipal Building, Community Room, located at 312 W. Whitewater Street on the 13th day of February, 2012 at 6:00 p.m. to review the proposed construction of a smoking area inside the existing beer garden at 158 W. Whitewater Street in a B-2 (Central Business) Zoning District for Greg Condos/Mitchell's Bar.

The proposal is on file in the Planning and Zoning Office at 312 W. Whitewater Street and is open to public inspection during office hours Monday through Friday, 8:00 a.m. to 4:30 p.m.

This meeting is open to the public. COMMENTS FOR, OR AGAINST THE PROPOSED PROJECT MAY BE SUBMITTED IN PERSON OR IN WRITING.

For information, call (262) 473-0540.

  
\_\_\_\_\_  
Latisha Birkeland, Neighborhood Services-Manager/City Planner

/OT 00053,53A,54,55,55A,56,61  
FIRST CITIZENS STATE BANK  
207 W. MAIN ST  
WHITEWATER WI 531900000

/OT 00068  
FIRE STATION 1 LLC  
138 W CENTER ST  
WHITEWATER WI 531900000

/OT 00072  
LUIS, LATIN KING OF  
WHITEWATER  
132 MAIN ST  
WHITEWATER WI 531900000

/OT 00075  
DLK ENTERPRISES INC  
P. O. BOX 239  
WHITEWATER WI 53190

/OT 00084  
BULLDOG INVESTMENTS LLC  
N6927 GREENLEAF COURT  
ELKHORN WI 53121

/OT 00131,132,133,173,173B  
RODRIGUEZ PROPERTIES II LLC  
N9707 N MCCORD RD  
WHITEWATER WI 53190

/OT 00136  
EDWARD W HAMILTON  
ROXANNE A HAMILTON  
PO BOX 736  
WHITEWATER WI 53190

/OT 00140  
CITY OF WHITEWATER  
CITY HALL  
WHITEWATER WI 53190

/OT 00144  
WARHAWK COUNTRY, LLC  
8820 HOLLY BUSH LN  
VERONA WI 53593

/OT 00169  
WATERTOWN SAVINGS & LOAN  
C/O ASSOCIATED BANK IS RE DIV  
206 N WISCONSIN ST MS#7857  
DEPERE WI 54115

/OT 00062  
DONALD E LIGGETT TRUST  
P. O. BOX 223061  
PRINCEVILLE HI 967220000

/OT 00069  
CHERYL A BRESNAHAN  
MICHAEL J BRESNAHAN, JR  
117 S. SECOND ST  
WHITEWATER WI 531900000

/OT 00073  
JOHN M BASILE  
MARGARET M BASILE  
W5211 MEADOW LN  
ELKHORN WI 53121

/OT 00080  
AUREL BEZAT  
DANIELA BEZAT  
149 W. MAIN ST  
WHITEWATER WI 53190

/OT 00126,127  
HANTROPP PROPERTIES LLC  
C/O STEFFEN & ROBYN  
HANTROPP  
158 W WHITEWATER ST  
WHITEWATER WI 53190

/OT 00134  
WAYNE A QUASS  
MAUREEN C QUASS  
972 W PECK ST  
WHITEWATER WI 53190

/OT 00137  
EDWARD W HAMILTON  
ROXANNE HAMILTON  
PO BOX 736  
WHITEWATER WI 53190

/OT 00141,142,145  
WISCONSIN DAIRY SUPPLY  
P. O. BOX 239  
WHITEWATER WI 0

/OT 00150  
RUSSELL R WALTON  
1005 W MAIN ST C  
WHITEWATER WI 53190

/OT 00170  
WHITEWATER POST OFFICE  
213 W CENTER ST  
WHITEWATER WI 53190

/OT 00067  
DIANE L TRAMPE  
138 CENTER ST  
WHITEWATER WI 531900000

/OT 00070  
BLGL, LLC  
1691 MOUND VIEW PL  
WHITEWATER WI 531900000

/OT 00074  
MARK O BERGEY  
JEAN BERGEY  
173 W. MAIN ST  
WHITEWATER WI 53190

/OT 00081,82,83  
TRIPLE J PROPERTIES LLC  
543 A J ALLEN CIRCLE  
WALES WI 53183

/OT 00129  
DENNIS M KNOPP  
323 S JANESVILLE ST  
WHITEWATER WI 53190

/OT 00135  
WILLIAM V OSBORNE II  
REBECCA P ANDERSON  
12648 GLACIAL CREST DR  
WHITEWATER WI 53190

/OT 00138,139,71,65  
TRIPLE J PROPERTIES LLC  
W335 S2539 MORRIS RD  
DOUSMAN WI 53118

/OT 00141A  
CITY OF WHITEWATER  
WHITEWATER WI 53190

/OT 00151  
ASSOCIATED BANK  
COPR REAL ESTATE  
206 N WISCONSIN ST  
DE PERE WI 54115

/OT 00171  
KELLY LAW BUILDING, LLC  
205 W. CENTER ST  
WHITEWATER WI 53190

/OT 00172  
ROBERT R ARDELT  
203 W. CENTER ST  
WHITEWATER WI 53190

/TR 00008,9  
WISCONSIN DAIRY SUPPLY CO  
P. O. BOX 239  
WHITEWATER WI 0

/WUP 00321  
STATE OF WISCONSIN  
DEPT OF TRANSPORTATION  
MADISON WI 53702

/OT 00173A  
JOSHUA D BILHORN  
OPALA C BILHORN  
282 NORTHSIDE DR  
MILTON WI 53563

/TR 00010,12  
COMMUNITY DEVELOPMENT  
AUTH  
OF CITY OF WHITEWATER

/TR 00006,6A  
CC PROPERTY DEVELOPMENT  
LLC  
111 W WHITEWATER ST  
WHITEWATER WI 53190  
/TR 00014A,15,16, A296-1,2  
CITY OF WHITEWATER

**NOTICE:** The Plan Commission meetings are scheduled on the 2nd Monday of each month. All completed plans must be in by 9:00 a.m. four weeks prior to the scheduled meeting. If not, the item will be placed on the next available Plan Commission meeting agenda.

CITY OF WHITEWATER  
PLAN REVIEW APPLICATION PROCEDURE

1. File the application with the Code Enforcement Director's Office at least four weeks prior to the meeting. \$100.00 fee. Filed on 1-3-12.
2. Agenda Published in Official Newspaper on 2-9-12.
3. Notices of the public review mailed to property owners on 1-30-12.
4. Plan Commission holds the public review on 2-13-12. They will hear comments of the Petitioner and comments of property owners. Comments may be made in person or in writing.
5. At the conclusion of the public review, the Plan Commission makes a decision.

PLEASE COMPLETE THE FOLLOWING APPLICATION.

Refer to Chapter 19.63 of the City of Whitewater Municipal Code of Ordinances, entitled PLAN REVIEW, for more information on the application.

Twenty complete sets of all plans should be submitted. All plans should be drawn to a scale of not less than 50 feet to the inch; represent actual existing and proposed site conditions in detail; and indicate the name, address, and phone number of the applicant, land owner, architect, engineer, landscape designer, contractor, or others responsible for preparation. It is often possible and desirable to include two or more of the above 8 plans on one map. The Zoning Administrator or Plan and Architectural Review Commission may request more information, or may reduce the submittal requirements. If any of the above 10 plans is not submitted, the applicant should provide a written explanation of why it is not submitted.

## SITE PLAN SUBMITTAL REQUIREMENTS

This checklist must be completed before making application for a City of Whitewater Zoning/Building Permit. If not complete, the application will be returned to the owner and will not proceed until all information and forms are complete.

Drawings must be legible and drawn to scale not less than 1/4" per foot unless noted.

Address of Project 158 W Whitewater St  
Zoning of Property \_\_\_\_\_

1. **Site Plan**, including the location and dimensions of all buildings, parking, loading, vehicle and pedestrian circulation, signs, walls, fences, other structures, outdoor storage areas, mechanicals, and dumpsters. Adjacent streets and uses and methods for screening parking, loading, storage, mechanical, and dumpster areas should be shown. Statistics on lot area, green space percentage, and housing density should be provided. The Plan Commission encourages compliance with its adopted parking lot curbing policy.
2. **Natural Features Inventory Map**, showing the existing limits of all water bodies, wetlands, floodplains, existing trees with trunks more than 4 inches in diameter, and any other exceptional natural resource features on all or part of the site.
3. **Landscape Plan**, prepared by a professional, and showing an overhead view of all proposed landscaping and existing landscaping to remain. The species, size at time of planting, and mature size should be indicated for all plantings. Areas to be left in green space should be clearly delineated. The Plan Commission encourages compliance with its adopted landscaping guidelines, available from the Zoning Department.
4. **Grading and drainage plan**, meeting the City's stormwater management ordinance if required. The plan should show existing and proposed surface elevations on the site at two foot intervals or less, and proposed stormwater management improvements, such as detention/retention facilities where required. Stormwater calculations may be required.
5. **Utilities plan**, showing locations and sizes of existing and proposed connections to sanitary sewer, water, and storm sewer lines, along with required easements. Sampling manholes may be required for sanitary sewer. The City's noise ordinance must be met.
6. **Building elevations**, showing the dimensions, colors, and materials used on all sides of the building. The Plan Commission encourages variety and creativity in building colors and architectural styles, while respecting the character of the surrounding neighborhood.
7. **Sign plan**, meeting the City's sign ordinance, and showing the location, height, dimensions, color, materials, lighting and copy area of all signage.
8. **Lighting plan**, meeting the City's lighting ordinance, and showing the location, height, type, orientation, and power of all proposed outdoor lighting—both on poles and on buildings. Cut sheets and photometric plans may be required for larger projects.

9. **Floor plan** which shows:

A. The size and locations of:

- 1) Rooms; *18'6" x 13'2" 9' high*
- 2) Doors; *OUTSIDE Smoking AREA*
- 3) Windows;
- 4) Structural features - size, height and thickness of wood, concrete and/or masonry construction; *6x6 Post 9' high 2x12 Rim*
- 5) Exit passageways (hallways) and stairs (including all stair dimensions - riser height, tread width, stair width, headroom and handrail heights);
- 6) Plumbing fixtures (bathroom, kitchen, etc.) - lavatory, water closet, water heater, softener, etc.;
- 7) Chimney(s) - include also the type of construction (masonry or factory built);
- 8) Heating equipment;
- 9) Cooling equipment (central air conditioning, if provided);
- 10) Attic and crawl space access; and
- 11) Fire separation between dwelling and garage.
- 12) Electrical service entrance/transformer location.

10. **Elevation drawings** which show:

- A. Information on exterior appearance (wood, stone, brick, block, colors);
- B. Indicate the location, size and configuration of doors, windows, roof chimneys and exterior grade level.
- C. Indicate color of Trim\_\_\_\_\_, Siding\_\_\_\_\_, Roofing\_\_\_\_\_.
- D. Electrical service entrance/transformer location.

11. **Type of Project:**

- A. Single family;
- B. Duplex;
- C. Multifamily # units \_\_\_\_\_;  
Condominium # units \_\_\_\_\_;  
Sorority # units \_\_\_\_\_;  
Fraternity # units \_\_\_\_\_;
- D. Office/Store;
- E. Industrial;
- F. Parking lot # of stalls \_\_\_\_\_;
- G. Other;



**PLANS TO ACCOMPANY APPLICATION**

Applications for permits shall be accompanied by drawings of the proposed work, drawn to scale, showing, when necessary, floor plans, sections, elevations, structural details, computations and stress diagrams as the building official may require.

**PLOT PLAN**

When required by the building official, there shall be submitted a plot plan in a form and size designated by the building official for filing permanently with the permit record, drawn to scale, with all dimension figures, showing accurately the size and exact location of all proposed new construction and the relation to other existing or proposed buildings or structures on the same lot, and other buildings or structures on adjoining property within 15 feet of the property lines. In the case of demolition, the plot plan shall show the buildings or structures to be demolished and the buildings or structures on the same lot that are to remain.

**STANDARDS**

STANDARD	APPLICANT'S EXPLANATION
<p>A. The proposed structure, addition, alteration or use will meet the minimum standards of this title for the district in which it is located;</p>	<p>Smoking Area <del>WILL</del> INSIDE EXISTING BEER GARDEN</p>
<p>B. The proposed development will be consistent with the adopted city master plan;</p>	
<p>C. The proposed development will be compatible with and preserve the important natural features of the site;</p>	<p>YES</p>
<p>D. The proposed use will not create a nuisance for neighboring uses, or unduly reduce the values of an adjoining property;</p>	<p>WILL NOT</p>

STANDARD	APPLICANT'S EXPLANATION
E. The proposed development will not create traffic circulation or parking problems;	Will NOT
F. The mass, volume, architectural features, materials and/or setback of proposed structures, additions or alterations will appear to be compatible with existing buildings in the immediate area;	YES
G. Landmark structures on the National Register of Historic Places will be recognized as products of their own time. Alterations which have no historical basis will not be permitted;	
H. The proposed structure, addition or alteration will not substantially reduce the availability of sunlight or solar access on adjoining properties.	Will NOT





## **Tips for Minimizing Your Development Review Costs: A Guide for Applicants**

The City of Whitewater assigns its consultant costs associated with reviewing development proposals to the applicant requesting development approval. These costs can vary based on a number of factors. Many of these factors can at least be partially controlled by the applicant for development review. The City recognizes that we are in a time when the need to control costs is at the forefront of everyone's minds. The following guide is intended to assist applicants for City development approvals understand what they can do to manage and minimize the costs associated with review of their applications. The tips included in this guide will almost always result in a less costly and quicker review of an application.

### **Meet with Neighborhoods Services Department before submitting an application**

If you are planning on submitting an application for development review, one of the first things you should do is have a discussion with the City's Neighborhood Services Department. This can be accomplished either by dropping by the Neighborhood Services Department counter at City Hall, or by making an appointment with the Neighborhood Services Director. Before you make significant investments in your project, the Department can help you understand the feasibility of your proposal, what City plans and ordinances will apply, what type of review process will be required, and how to prepare a complete application.

### **Submit a complete and thorough application**

One of the most important things you can do to make your review process less costly to you is to submit a complete, thorough, and well-organized application in accordance with City ordinance requirements. The City has checklists to help you make sure your application is complete. To help you prepare an application that has the right level of detail and information, assume that the people reviewing the application have never seen your property before, have no prior understanding of what you are proposing, and don't necessarily understand the reasons for your request.

### **For more complex or technical types of projects, strongly consider working with an experienced professional to help prepare your plans**

Experienced professional engineers, land planners, architects, surveyors and landscape architects should be quite familiar with standard development review processes and expectations. They are also generally capable of preparing high quality plans that will ultimately require less time (i.e., less cost for you) for the City's planning and engineering consultants to review, saving you money in the long run. Any project that includes significant site grading, stormwater management, or utility work; significant landscaping; or significant building remodeling or expansion generally requires professionals in the associated fields to help out.

### **For simpler projects, submit thorough, legible, and accurate plans**

For less complicated proposals, it is certainly acceptable to prepare plans yourself rather than paying to have them prepared by a professional. However, keep in mind that even though the project may be less complex, the City's staff and planning consultant still need to ensure that your proposal meets all City



## Tips for Minimizing Your Development Review Costs: A Guide for Applicants

requirements. Therefore, such plans must be prepared with care. Regardless of the complexity, all site, building, and floor plans should:

1. Be drawn to a recognized scale and indicate what the scale is (e.g., 1 inch = 40 feet).
2. Include titles and dates on all submitted documents in case pieces of your application get separated.
3. Include clear and legible labels that identify streets, existing and proposed buildings, parking areas, and other site improvements.
4. Indicate what the property and improvements look like today versus what is being proposed for the future.
5. Accurately represent and label the dimensions of all lot lines, setbacks, pavement/parking areas, building heights, and any other pertinent project features.
6. Indicate the colors and materials of all existing and proposed site/building improvements. Including color photos with your application is one inexpensive and accurate way to show the current condition of the site. Color catalog pages or paint chips can be included to show the appearance of proposed signs, light fixtures, fences, retaining walls, landscaping features, building materials, or other similar improvements.

### Submit your application well in advance of the Plan and Architectural Review Commission meeting

The City normally requires that a complete application be submitted four weeks in advance of the Commission meeting when it will be considered. For simple submittals not requiring a public hearing, this may be reduced to two weeks in advance. The further in advance you can submit your application, the better for you and everyone involved in reviewing the project. Additional review time may give the City's planning consultant and staff an opportunity to communicate with you about potential issues with your project or application and allow you time to efficiently address those issues before the Plan and Architectural Review Commission meeting. Be sure to provide reliable contact information on your application form and be available to respond to such questions or requests in a timely manner.

### For more complex projects, submit your project for conceptual review

A conceptual review can be accomplished in several ways depending on the nature of your project and your desired outcomes.

1. Preliminary plans may be submitted to City staff and the planning consultant for a quick, informal review. This will allow you to gauge initial reactions to your proposal and help you identify key issues;
2. You may request a sit-down meeting with the Neighborhood Services Director and/or planning consultant to review and more thoroughly discuss your proposal; and/or
3. You can ask to be placed on a Plan and Architectural Review Commission meeting agenda to present and discuss preliminary plans with the Commission and gauge its reaction before formally submitting your development review application.

Overall, conceptual reviews almost always save time, money, stress, and frustration in the long run for everyone involved. For this reason, the City will absorb up to \$200 in consultant review costs for conceptual review of each project.



## Tips for Minimizing Your Development Review Costs: A Guide for Applicants

### Hold a neighborhood meeting for larger and potentially more controversial projects

If you believe your project falls into one or both of these two categories (City staff can help you decide), one way to help the formal development review process go more smoothly is to host a meeting for the neighbors and any other interested members of the community. This would happen before any Plan and Architectural Review Commission meeting and often before you even submit a formal development review application.

A neighborhood meeting will give you an opportunity to describe your proposal, respond to questions and concerns, and generally address issues in an environment that is less formal and potentially less emotional than a Plan and Architectural Review Commission meeting. Neighborhood meetings can help you build support for your project, understand others' perspectives on your proposals, clarify misunderstandings, and modify the project and alleviate public concerns before the Plan and Architectural Review Commission meetings. Please notify the City Neighborhood Services Director of your neighborhood meeting date, time, and place; make sure all neighbors are fully aware (City staff can provide you a mailing list at no charge); and document the outcomes of the meeting to include with your application.



## Typical City Planning Consultant Development Review Costs

The City often utilizes assistance from a planning consultant to analyze requests for land development approvals against City plans and ordinances and assist the City's Plan and Architectural Review Commission and City Council on decision making. Because it is the applicant who is generating the need for the service, the City's policy is to assign most consultant costs associated with such review to the applicant, as opposed to asking general taxpayer to cover these costs.

The development review costs provided below represent the planning consultant's range of costs associated with each particular type of development review. This usually involves some initial analysis of the application well before the public meeting date, communication with the applicant at that time if there are key issues to resolve before the meeting, further analysis and preparation of a written report the week before the meeting, meeting attendance, and sometimes minor follow-up after the meeting. Costs vary depending on a wide range of factors, including the type of application, completeness and clarity of the development application, the size and complexity of the proposed development, the degree of cooperation from the applicant for further information, and the level of community interest. The City has a guide called "Tips for Minimizing Your Development Review Costs" with information on how the applicant can help control costs.

Type of Development Review Being Requested	Planning Consultant Review Cost Range
<b>Minor Site/Building Plan</b> (e.g., minor addition to building, parking lot expansion, small apartment, downtown building alterations)	
When land use is a permitted use in the zoning district, and for minor downtown building alterations	Up to \$600
When use also requires a conditional use permit, and for major downtown building alterations	\$700 to \$1,500
<b>Major Site/Building Plan</b> (e.g., new gas station/convenience store, new restaurant, supermarket, larger apartments, industrial building)	
When land use is a permitted use in the zoning district	\$700 to \$2,000
When land use also requires a conditional use permit	\$1,600 to \$12,000
<b>Conditional Use Permit with no Site Plan Review</b> (e.g., home occupation, sale of liquor request, substitution of use in existing building)	\$up to \$600
<b>Rezoning</b>	
To a standard (not PCD) zoning district	\$400 to \$2,000
To Planned Community Development zoning district, assuming complete GDP & SIP application submitted at same time	\$2,100 to \$12,000
<b>Land Division</b>	
Certified Survey Map	Up to \$300
Preliminary Subdivision Plat	\$1,500 to \$3,000
Final Plat (does not include any development agreement time)	\$500 to \$1,500
<b>Annexation</b>	\$200 to \$400
Note on Potential Additional Review Costs: The City also retains a separate engineering consultant, who is typically involved in larger projects requiring stormwater management plans, major utility work, or complex parking or road access plans. Engineering costs are not included above, but will also be assigned to the development review applicant. The consultant planner and engineer closely coordinate their reviews to control costs.	



# Cost Recovery Certificate and Agreement

The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, and recreation specialists) to assist in the City's review of an application for development review coming before the Plan and Architectural Review Commission, Board of Zoning Appeals, and/or Common Council. In fact, most applications require some level of review by the City's planning consultant. City of Whitewater staff shall retain sole discretion in determining when and to what extent it is necessary to involve a professional consultant in the review of an application.

The submittal of an application or petition for development review by an applicant shall be construed as an agreement to pay for such professional review services associated with the application or petition. The City may apply the charges for these services to the applicant and/or property owner in accordance with this agreement. The City may delay acceptance of an application or petition (considering it incomplete), or may delay final action or approval of the associated proposal, until the applicant pays such fees or the specified percentage thereof. Development review fees that are assigned to the applicant, but that are not actually paid, may then be imposed by the City as a special charge on the affected property.

## Section A: Background Information

----- To be filled out by the Applicant/Property Owner -----

### Applicant's Information:

Name of Applicant: Greg Condos

Applicant's Mailing Address: 158 W WHITEWATER ST  
WHITEWATER WI 53125

Applicant's Phone Number: 262 215 5628

Applicant's Email Address: \_\_\_\_\_

### Project Information:

Name/Description of Development: Smoking Area

Address of Development Site: 158 W WHITEWATER ST

\*Tax Key Number(s) of Site: \_\_\_\_\_ OT 06127

### Property Owner Information (if different from applicant):

Name of Property Owner: HANTRPP PROPERTY'S LLC

Property Owner's Mailing Address: GREG CONDOS  
158 W WHITEWATER ST  
WHITEWATER WI  
53125



# Cost Recovery Certificate and Agreement

## Section B: Applicant/Property Owner Cost Obligations

----- To be filled out by the City's Neighborhood Services Director -----

Under this agreement, the applicant shall be responsible for the costs indicated below. In the event the applicant fails to pay such costs, the responsibility shall pass to the property owner, if different. Costs may exceed those agreed to herein only by mutual agreement of the applicant, property owner, and City. If and when the City believes that actual costs incurred will exceed those listed below, for reasons not anticipated at the time of application or under the control of the City administration or consultants, the Neighborhood Services Director or his agent shall notify the applicant and property owner for their approval to exceed such initially agreed costs. If the applicant and property owner do not approve such additional costs, the City may, as permitted by law, consider the application withdrawn and/or suspend or terminate further review and consideration of the development application. In such case, the applicant and property owner shall be responsible for all consultant costs incurred up until that time.

- A. Application Fee.....\$ \_\_\_\_\_
- B. Expected Planning Consultant Review Cost.....\$ \_\_\_\_\_
- C. Total Cost Expected of Applicant (A+B).....\$ \_\_\_\_\_
- D. 25% of Total Cost, Due at Time of Application.....\$ \_\_\_\_\_
- E. Project Likely to Incur Additional Engineering or Other Consultant Review Costs?  Yes  No

The balance of the applicant's costs, not due at time of application, shall be payable upon applicant receipt of one or more itemized invoices from the City. If the application fee plus actual planning and engineering consultant review costs end up being less than the 25% charged to the applicant at the time of application, the City shall refund the difference to the applicant.

## Section C: Agreement Execution

----- To be filled out by the Applicant and Property Owner -----

The undersigned applicant and property owner agree to reimburse the City for all costs directly or indirectly associated with the consideration of the applicant's proposal as indicated in this agreement, with 25% of such costs payable at the time of application and the remainder of such costs payable upon receipt of one or more invoices from the City following the execution of development review services associated with the application.

  
Signature of Applicant/Petitioner

Gregory A. Condos,  
Printed Name of Applicant/Petitioner

1-3-12  
Date of Signature

  
Signature of Property Owner (if different)

Gregory A. Condos  
Printed Name of Property Owner (if different)

1-3-12,  
Date of Signature

WEST  
SIDE ELEVATION

1/8" = 1'-0"

EXIST. CONCRETE

PROPOSED ROOF

8'-6"

DOTTED LINES  
SHOW BLEED TO  
EAST OF PROPOSED ROOF  
EXISTING  
BUILDING

19 OZ FIRE RETARDANT  
VINYL AWNING W/ 1" SQ.  
ALUMINUM SUPPORTS TO  
BE DESIGNED TO WIS. COMM.  
CODE

2 GUTTERS  
& DOWNSPOUTS

2x12 PT.  
LET INTO  
POST & BOLT

2x12 S. P.T.  
16" O.C.  
W/ HANGERS

6x6 P.T.  
POST.

8'-6"

STEEL POST  
BASE

EXISTING

PARTIAL SECTION

1/2" = 1'-0"

EXISTING  
BEER  
GARDEN

2x12 P.T. JOISTS  
ABOVE, 16" O.C.  
W/ JOIST HANGERS

6x6 P.T.  
POSTS  
(TYP.)

2x12 P.T.  
HEADERS

13'-2"

1'-3"

1'-3"

1'-3"

18'-6"

PARTIAL SECTION

PLAN

1/2" = 1'-0"

FREE STANDING ROOF FOR  
MITCHELL'S BEER GARDEN AT  
158 W. WHITEWATER ST. WHITEWATER, WI.

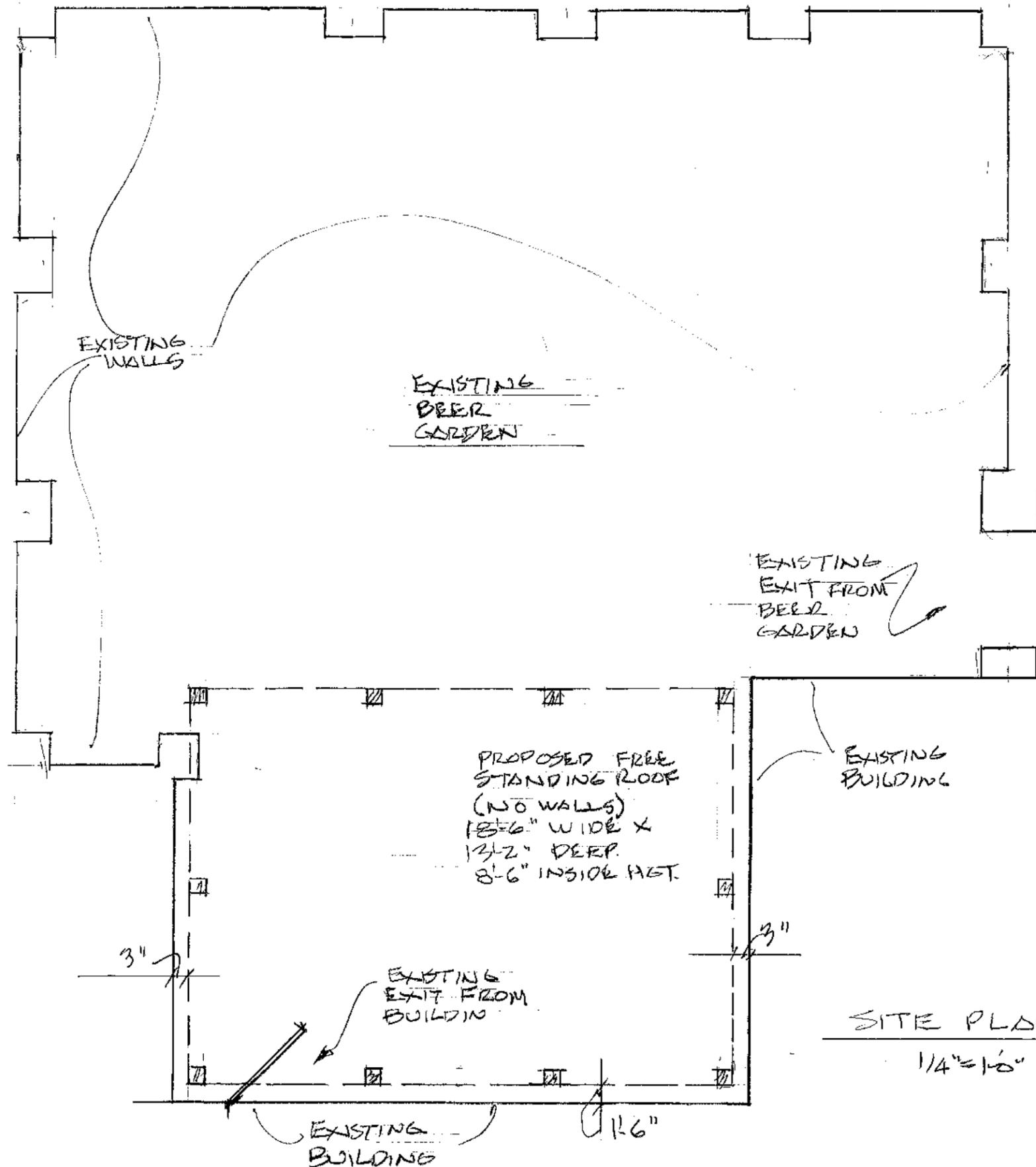
DRAWN BY  
CFM

2-8-12

P. ZOFZ

ALLEY

SIDEWALK & STREET



NOTES

OWNER: GREG CONDOS  
 158A. W. WHITEWATER ST.  
 WHITEWATER, WI, 53190  
 PH. 262-215-5628

CONTRACTOR: LANDRY LOFTUS  
 LOFTUS REMODELING & HANDY MAN  
 316 S. CHURCH ST.  
 ELKHORN, WI, 53121  
 PH. 262-903-0118

ARCHITECT: CHARLES MADDEN  
 MADDEN DESIGN  
 W 3989 CTY. RD. E.S.  
 ELKHORN, WI, 53121

THERE ARE NO PROPOSED CHANGES FOR SITE  
 USAGE, DENSITY, PARKING, DRAINAGE,  
 UTILITIES, EASEMENTS, PERMANENT  
 LIGHTING, SIGNS, ACCESS, BOILING  
 USAGE OR ZONING

CANOPY SUPPLIER: NORTHWIND AWNING COMPANY  
 411 S. PEARL ST.  
 JAMESVILLE, WI, 53548  
 PH: 608-754-7158



SITE PLAN  
1/4" = 1'-0"

FREE STANDING ROOF FOR MITCHELL'S BEER GARDEN AT 158W WHITEWATER ST, WHITEWATER, WI.		
DRAWN BY C.F.M.	2-8-12	P. LOFF