

**CITY OF WHITEWATER**  
**COMMON COUNCIL AGENDA**  
 Common Council Meeting  
**Tuesday, August 3, 2010 – 6:30 p.m.**  
 City of Whitewater Municipal Building Community Room  
 312 W. Whitewater Street Whitewater, Wisconsin

**CALL TO ORDER, ROLL CALL, AND PLEDGE OF ALLEGIANCE.**

**CONSENT AGENDA:**

CA-A	Approval of Council Minutes of 7/20/2010.
CA-B	Approval of Payment of Invoices Processed through July 28, 2010.
CA-C	Acknowledgment of Receipt and Filing of: *CDA Minutes of 6/28/2010. *Report of Manually-produced checks for June, 2010. *Landmarks Committee Minutes of 5/5/10 and 6/9/10.
CA-D	Expedited approval of the following items, per city staff recommendation: R-1, O-1, O-2, O-3, O-5, C-2, C-4, C-5b, C-6, C-7, C-8, C-9.

**REPORTS: NONE**

**HEARING OF CITIZEN COMMENTS.** No formal Common Council Action will be taken during this meeting although issues raised may become a part of a future agenda. Participants are allotted a 3-5 minute speaking period. Specific items listed on the agenda may not be discussed at this time; however citizens are invited to speak to those specific issues at the time the Council discusses that particular item.

**COMMON COUNCIL ANNOUNCEMENTS.**

**RESOLUTIONS:**

*R-1	Authorizing purchase of 372 N. Fremont Street for purposes of expansion of Starin Park (Park Director Request).
R-2	Providing direction regarding enforcement of existing weed ordinances (Common Council Request).
R-3	Establishing Public Participation Procedures for Periodic Amendments to the Comprehensive Plan

**ORDINANCES: First Reading - NONE**

O-a1	Creating Chapter 11.08.125 Entitled Speed Limit in Alleys. (Councilmember Olsen Request).
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**ORDINANCES: Second Reading**

*O-1	Creation of Ch. 19.485, Large Retail and Commercial Service Development Standards (City Atty. Request).
*O-2	Amending Ch. 5.19.060(14) Sidewalk Cafes (Councilmember Olsen Request).
*O-3	Amending Ch. 5.19.030(5), Sidewalk Café Permit, Conditional Use Requirements (Councilmember Olsen Request).
O-4	Creating Ordinance Chapter 5.18 Outdoor Café Permit (Councilmember Olsen Request).
*O-5	Ordinance Repealing Whitewater Municipal Code Section 7.72.030 – Carrying Dangerous Weapons (City Atty. Request).

**CONSIDERATIONS:**

C-1	Consider refinancing for both General Obligation Bonds (related to TIF#4 and General Fund) and Water Revenue Bonds (Finance Director Request).
*C-2	Approval of Class “B” Beer and Class “C” Wine License for the Sweet Spot LLC, 214 W. Whitewater Street, (contingent upon sale of Class B Beer and Liquor License to John Cordio) (City Clerk Request).
C-3	Approval of “Class B” Liquor License (to be combined with his existing Class B Beer) for John Cordio,

	617 E. Milwaukee Street, (contingent upon purchase of "Class B" Liquor license from The Sweet Spot) and approval of expansion of licensed premises to include Outdoor or Sidewalk Café at 617 E. Milwaukee Street (City Clerk Request).
*C-4	Approval of Class "B" Beer License for Roaring Fork LLC (Qdoba), 1114 W. Main Street, Whitewater (City Clerk Request).
C-5	Approval of expansion of licensed premises ("Class B" Beer & Liquor) for Rick's Eastside Pub, 561 E. Milwaukee Street, for purposes of allowing an Outdoor Café (City Clerk Request).
C-5a	Approval of expansion of licensed premises ("Class B" Beer & Liquor) for Robert Sweet d/b/a Downstairs Sports Bar & Grill, to allow for Outdoor Café and/or Sidewalk Café. (City Clerk Request)
*C-5b	Approval of expansion of licensed premises ("Class B" Beer & Liquor) for Dennis Salverson d/b/a Coyote Grill, to allow Sidewalk Café. (City Clerk Request)
*C-6	Approval of contract with Strand to Update Stormwater SLAMM Modeling and 2008 Stormwater Management Plan (DPW Director Request).
*C-7	Approval of Specifications for City Garage Complex Building and Authorization to go to bid (DPW Director Request).
*C-8	Award of Milling and Overlay of Blackhawk Drive – 2010 Street Repair Fund Project (DPW Director Request).
*C-9	Award of Seal coating Contract for 2010 - Street Repair Fund Project (DPW Director Request).
C-10	Approval of Tratt Street multi-use path/sidewalk concept and authorization to bid; discussion of assessments (DPW Director Request).
C-11	Councilmember Requests for Future Agenda Items.
C-12	Adjourn.

**Anyone requiring special arrangements is asked to call the Office of the City Manager / City Clerk at least 72 hours prior to the meeting. \*Items denoted with asterisks will be approved on the Consent Agenda unless any council member requests that it be removed for individual discussion.**

## MEMORANDUM

TO: Common Council

FROM: Kevin Brunner, City Manager

DATE: July 29, 2010

RE: Comments on August 3, 2010 Agenda Items

Even though I will not be in attendance at next week's Common Council meeting, I wanted to provide you with my comments on the agenda items that will be before you next week.

1. **Authorizing Purchase of 372 N. Fremont Street for Purposes of Expansion of Starin Park.** I'm happy to report that we were able to negotiate with the owners of 372 N. Fremont St. a final purchase price for this property of \$95,311. This is slightly above what the Council authorized in its closed session two weeks ago. The property owners wanted the city to pick up the property taxes due and owing for this year and after negotiation we decided the city would only pay for its portion of the pro-rated taxes from the beginning of the year through the closing of August 13<sup>th</sup>. Hence, the purchase price increased slightly from \$95,000 to \$95,311 to reflect the seller's request. In addition, the property owners asked to remove some items from the home and garage and since the city will be ultimately demolishing these structures, we agreed to honor that request as part of the purchase.
2. **Providing Direction regarding Enforcement of Existing Weed Ordinances.** I recommend approval of this resolution. It's my understanding that there have been some actions in the past by previous Councils and the city managers that shied away from active enforcement of these ordinances. I think it's important at this time for the Council to provide clear direction that these ordinances shall indeed be enforced by city staff.
3. **Consideration of Refinancing for General Obligation Bonds (Including TID #4 and Water Revenue Bonds).** I recommend that the City Council go forward with the refinancing of specified TIF #4 and General Fund Bonds as well as for specified Water System Revenue Bonds. At its meeting earlier this week, the Community Development Authority recommended that the city pursue "distressed" status for TID #4 consistent with recent changes in the State TID Statute. The refinancing of the requested TID #4 debt is really the first step in this process. This refinancing will not only allow the existing debt to be extended to coincide with the allowed ten year extension of the district but it will also result in present value savings of \$193,887.

In addition to this refinancing we are requesting that the city refinance General Obligation bonds from 2001 which will result in present value savings of \$56,840.

We also recommend the advance refunding of Water Works System Revenue Bonds dated September 15, 2000. We are projecting a net present value savings of \$71,801 for this refinancing.

Steven Kornetske from Robert W. Baird, City Financial Consultants, will be in attendance at next week's meeting to discuss these proposed refinancings with you. If the council approves going forward with this, these refinancings we will go to market for sale in time for the Council to award the issuance of these refunding bonds at its August 17<sup>th</sup> meeting.

**4. Award of Milling and Overlay of Blackhawk Drive and Award of Seal Coating Contract for 2010.**

I recommend approval for both of these projects. There are sufficient funds in the street repair fund to pay for both the milling overlay of Blackhawk Drive \$(45,000) and the seal coating contract for this year (\$156,000) due to the carry over funds from last year. Both of these projects are necessary and will allow us to remain current on our street repair schedule.

**5. Approval of Tratt Street Multi-Use Path/Sidewalk Concept and Authorization to Bid.**

I certainly recommend approval going forward with the bidding of Tratt St. multi-use path/sidewalk project. I recently met with property owners in the Park Crest subdivision and they feel very strongly about the need for this path and sidewalk project. They believe it will greatly enhance the pedestrian safety along N. Tratt St. In addition, I would recommend the council assess for the sidewalk improvements including the deferred special assessments for property owners that are presently not located in the city. These special assessments would be due upon annexation to the city.

City staff is also recommending that , as part of the scope of this project, a sidewalk connection be constructed north of Walton Drive between the trailer park and the end of Walton to improve pedestrian safety in that area. Also, we recommend that no pathway/sidewalk be installed north of Foxglove right now and that that section be deferred to a future year's construction.

I hope you have a very good and productive meeting next Tuesday!

**ABSTRACT/SYNOPSIS OF THE ESSENTIAL ELEMENTS OF THE OFFICIAL ACTIONS OF THE  
COMMON COUNCIL OF THE CITY OF WHITEWATER, WALWORTH AND JEFFERSON  
COUNTIES, WISCONSIN.**

July 20, 2010

The regular meeting of the Common Council was called to order at 6:30 p.m. by Council President Singer. MEMBERS PRESENT: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. MEMBERS ABSENT: None. (NOTE: Councilmember Maxwell Taylor resigned in June). LEGAL COUNSEL PRESENT: McDonell.

It was moved by Olsen and seconded by Winship to approve the Council minutes of 5/18/10, 6/1/10, and 6/15/10; and to acknowledge receipt and filing of the following: CDA Minutes of May 24, 2010; Irvin L. Young Memorial Library Board Minutes of May 10, 2010 and June 14, 2010; Plan and Architectural Commission Minutes of May 10, 2010 and June 14, 2010; Financial Reports for June, 2010; Whitewater Landmarks Commission Minutes of May 5, 2010; Police Department Consolidated Monthly Report for May, 2010; Park and Recreation Minutes of June 7, 2010; University Technology Park Board Minutes of 3/2/10; 3/12/10; and 6/7/10. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None.

**APPROVAL OF PAYMENT OF INVOICES:** It was moved by Olsen and seconded by Winship to approve payment of city invoices in the total sum of \$224,173.70. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None.

**STAFF REPORTS:** City Manager Brunner introduced Suzanne Wade, who presented a WaterStar award. It was noted that the award is given to municipalities that have met certain criteria, and is a difficult award to receive. The award was presented to Water Superintendent Rick Lien and City of Whitewater. Park and Recreation Director Amundson gave an update on the Department of Transportation trail expansion.

**CITIZEN COMMENTS:** Resident Fred Kraege expressed concerns about poorly planned development in the Gault and Caine Street areas.

**COMMON COUNCIL ANNOUNCEMENTS:** None

**RESOLUTION ACCEPTING DONATION OF LAND FROM JEAN TROST FOR PARKLAND PURPOSES.**

**RESOLUTION ACCEPTING THE DONATION OF  
PARKLAND FROM JEAN TROST**

**WHEREAS,** Jean Trost has generously offered land to the City of Whitewater to be dedicated as a park named in honor of Raymond Trost, and

**WHEREAS,** the dedication of this land as a park would add a desirable area for the public's use and enjoyment, and

**WHEREAS,** the conditions of the gift are reasonable, and

**WHEREAS,** the Park and Recreation Board has recommended that the City Council accept the gift. Now, therefore, **BE IT RESOLVED** as follows:

1. The City of Whitewater, subject to the approval of the City of Whitewater Plan and Architectural Review Commission, hereby accepts the offer of Jean Trost to dedicate parkland to the City of Whitewater with the conditions set forth in her offer letter attached hereto.
2. The City of Whitewater hereby waives the park naming policy for this park.

Resolution introduced by Councilmember Olsen, who moved its adoption. Seconded by Councilmember Winship. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None. ADOPTED: July 20, 2010.

Kevin M. Brunner, City Manager

Michele R. Smith, City Clerk

**RESOLUTION EXPANDING LICENSED PREMISES (CLASS B BEER AND LIQUOR) FOR RICK'S EAST SIDE PUB FOR ONE-DAY POLKA PARTY EVENT.**

**RESOLUTION GRANTING PERMISSION FOR AN EVENT TO BE HELD AT RICK'S EASTSIDE PUB, 561 E. MILWAUKEE STREET, WHITEWATER, WISCONSIN.**

WHEREAS, Rick's Eastside Pub is currently licensed and zoned to allow the service of alcohol within its building located at 561 E. Milwaukee Street, Whitewater, Wisconsin; and

WHEREAS, Rick's Eastside Pub plans to hold a unique event on its premises, which includes the use of portions of its outdoor property for the service of alcohol beverages,; and

WHEREAS, the event will offer a unique entertainment opportunity for the City of Whitewater and will likely attract persons from outside of the City and State to attend the event.

NOW THEREFORE, be it resolved as follows:

1. Rick's Eastside Pub is hereby granted permission to serve alcohol beverages outdoors at an event to take place on August 1, 2010, at its premises located at 561 E. Milwaukee Street during the hours of 12:-00 noon until 7:00 p.m.
2. The area where alcohol is served shall be enclosed by a double fence, unless both the Chief of Police and the Neighborhood Services Director approve in writing some other type of enclosure. Outdoor alcohol service shall be limited to a 30 X 50 foot area on the east side of the building and a 20 X 20 foot area on the south side of the building, unless a different area is approved in writing by the Chief of Police and the Neighborhood Services Director.
3. Also, the Chief of Police and the Neighborhood Services Director may impose additional conditions to promote the health and safety of the event.

Resolution introduced by Councilmember Olsen, who moved its adoption. Seconded by Councilmember Kienbaum. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None. ADOPTED: July 20, 2010.

Kevin M. Brunner, City Manager

Michele R. Smith, City Clerk

**REZONING OF PROPERTIES ON ESTERLY AVENUE, NORTH FRANKLIN STREET, PARK STREET AND STARIN ROAD.**

**AN ORDINANCE IMPOSING THE NON-FAMILY RESIDENTIAL OVERLAY DISTRICT ZONING CLASSIFICATION FOR CERTAIN PROPERTY IN THE CITY OF WHITEWATER**

The Common Council of the City of Whitewater, Walworth and Jefferson Counties, Wisconsin, do, pursuant to Municipal Code Section 19.69, hereby impose the Non-Family Residential Overlay District Zoning classification on the below properties:

**SECTION 1:** The Non-Family Residential Overlay District (Chapter 19.25) is hereby imposed upon the following described properties:

122 – 280 N. Esterly Ave.  
115 – 282 N. Franklin St.

451 – 633 W. Starin Rd.  
105 – 281 N. Park St.

**SECTION 2:** The official zoning map of the City of Whitewater is hereby amended to show the above action.

**SECTION 3:** This ordinance shall take effect upon passage and publication as provided by law.

Ordinance introduced by Councilmember Winship, who moved its adoption. Seconded by Councilmember Binnie. AYES: Singer, Stewart, Binnie, Winship, Olsen. NOES: Kienbaum. ABSENT: None. FIRST READING APPROVED: July 20, 2010. **It was then moved by Winship and seconded by Binnie to waive the requirement for a second reading of this ordinance.** AYES: Singer, Stewart, Binnie, Winship, Olsen. NOES: Kienbaum. ABSENT: None. ADOPTED: July 20, 2010.

Kevin Brunner, City Manager

Michele R. Smith, City Clerk

**ORDINANCE CREATING CH. 19.485, LARGE RETAIL AND COMMERCIAL DEVELOPMENT STANDARDS.**

**ORDINANCE CREATING CHAPTER 19.485  
LARGE RETAIL AND COMMERCIAL SERVICE DEVELOPMENT STANDARDS**

The Common Council of the City of Whitewater, Walworth and Jefferson Counties, Wisconsin, do hereby ordain as follows:

Section 1: Whitewater Municipal Code, Chapter 19.27.030(P) [B-1 district conditional uses], is hereby repealed and recreated to read as follows:

- P. Large Retail and Commercial Service Developments, as described and regulated in Chapter 19.485.

Section 2: Whitewater Municipal Code, Chapter 19.33.030(P) [B-3 district conditional uses], is hereby repealed and recreated to read as follows:

- P. Large Retail and Commercial Service Developments, as described and regulated in Chapter 19.485.

Section 3: Whitewater Municipal Code, Chapter 19.485, Large Retail and Commercial Service Development Standards is hereby created to read as follows:

**19.485.010 Title**

This section shall be known, cited, and referred to as the Large Retail and Commercial Service Development ordinance.

**19.485.020 Description**

A Large Retail and Commercial Service Development is a development comprised of one or more contiguous parcels or building sites for a single retail or commercial service enterprise or for multiple such enterprises within which the total combined floor and surface area of all indoor retail and/or commercial activities, associated enclosed or outdoor storage, and associated outdoor display exceeds 20,000 square feet. The requirements of Chapter 19.485 are applicable to any new, altered or expanded establishment or group of establishments that meet or exceed the above floor and surface area threshold, where a complete application for conditional use permit or PCD zoning is filed after the effective date of this ordinance. The vacant building provisions set forth in 19.485.040 F. 18. shall also apply to Large Retail and Commercial Service Developments that were constructed prior to the effective date of this ordinance.

**19.485.30 Conditional Use Permit or PCD Approval Required.**

- A. Aside from where allowed under an approved PCD district, Large Retail and Commercial Service Developments shall require a conditional use permit within any district in which they are allowed per other chapters in this Title. All additions to structures, parking, or storage areas that are part of an approved Large Retail and Commercial Service Development shall require an amendment to the conditional use permit or the previously approved PCD plans, per the associated requirements for such amendments in this Title.
- B. Subsequent changes to individual land uses listed as permitted uses within the applicable zoning district (for example, a new tenant in a pre-existing retail space) are permitted without amendment to the associated Large Retail and Commercial Development conditional use permit or PCD specific implementation plan, unless said conditional use permit or PCD plan placed restrictions on such change of use.
- C. Subsequent individual land uses following initial approval of the development allowed only by conditional use permit in the zoning district or approved PCD specific implementation plan may be allowed only under a subsequent conditional use permit for the specific use, regardless of whether said use entails modifications to the building and/or site layout.

**19.485.040 Regulations.**

In addition to applicable zoning district standards and other applicable standards of this Title, each Large Retail and Commercial Service Development shall meet the following additional standards, as may be applicable given the size of each such Development:

- A. **Large Retail and Commercial Service Development Questionnaire.** A Large Retail and Commercial Service Development questionnaire shall be fully completed when a development reaches or exceeds the defined threshold for such a questionnaire established in Figure 19.485(2). The completed Large Retail and Commercial Service Development questionnaire shall specifically address compatibility with the City's comprehensive plan and detailed neighborhood, recreation, and other applicable plans, and follow the format included as Figure 19.485(3), subject to amendments by the Zoning Administrator as appropriate, and with attachments included as the Administrator determines necessary.
- B. **Traffic Impact Analysis.** A traffic impact analysis is required when a development reaches or exceeds the defined threshold for such an analysis outlined in Figure 19.485(2), and may be required by the City Director of Public Works for projects below that threshold if there is initial evidence to suggest that existing roads in the area may not be adequate to accommodate additional traffic demands. The traffic impact analysis shall be completed in accordance with standards approved by the City Director of Public Works, or where he/she does not approve a particular standard, with the most current revision of the Traffic Impact Analysis Guidelines published by the State of Wisconsin Department of Transportation. Where the Traffic Impact Analysis indicates that the proposed development may cause off-site public roads, intersections, or interchanges to function below level of service (LOS) D, then the City may deny the application, may require a size reduction in the proposed development, and/or may require the developer to construct and/or pay for required off-site improvements to achieve LOS D for a planning horizon of a minimum of ten years following full build-out of the Development. All such Developments shall have direct access to an arterial or collector street. Vehicle access shall be designed to accommodate peak on-site traffic volumes without disrupting traffic on public streets or impairing pedestrian safety. This shall be accomplished through adequate parking lot design and capacity; access drive entry throat length, width, design, location, and number; traffic control devices; and/or sidewalks. The site design shall provide direct transportation connections to adjacent land uses and sites if required by the City.
- C. **Economic and Fiscal Impact Analysis.** An economic and fiscal impact analysis is required when a Development reaches or exceeds the defined threshold for such an analysis outlined in Figure 19.485(2). The economic and fiscal impact analysis shall include all of the items identified in Figure 19.485(4) and

meet the following requirements:

1. The analysis shall identify and assess the economic and fiscal impacts on the City.
2. The analysis shall propose measures to mitigate adverse impacts and/or maximize positive impacts, including provision of infrastructure or public service improvements sufficient to support the Development. Any adverse impacts that cannot be mitigated shall be identified. Mitigation measures to be implemented by the applicant shall be identified.
3. If required by the Zoning Administrator, the applicant shall provide the necessary funding to the City to hire a consultant of the City's choice, with appropriate experience to complete and present an objective economic and fiscal impact analysis to the City.

D. **Detailed Neighborhood Plan.** A detailed neighborhood plan is required when a Development reaches or exceeds the defined threshold for such a plan outlined in Figure 19.485(2). Such neighborhood plan shall cover any undeveloped areas within a 1,500 foot radius from the boundaries of the Development site (except where a lesser radius is approved by the Zoning Administrator) and be prepared to a recognized scale. The detailed neighborhood plan must be completed by the City or applicant prior to the application for conditional use permit or rezoning, and submitted or referenced with such application. The detailed neighborhood plan shall include a map of sufficient detail to establish the potential future mix and development of land uses based on the City's comprehensive plan and the relationship of surrounding lands to the Large Retail and Commercial Service Development with regard to provision of streets, driveways, bicycle/pedestrian routes, utilities, stormwater management, landscape transitions, setbacks, and community design and character, and general layout, all in a manner that is consistent with the City's comprehensive plan.

E. **Facilities and Associated Features.** The following requirements are applicable when a Large Retail and Commercial Service Development reaches or exceeds the defined threshold for such facilities and associated features outlined in Figure 19.485(2):

1. **Building Location.**

Wherever practical, as determined by the Plan and Architectural Review Commission based on the particular setting, the primary building within the Development shall be located close to the public street, including parking to the side or rear of that building. Where such primary building is proposed to be distant from the public street, the Commission may require that the overall development design include smaller buildings on pads or outlots closer to the street. All buildings on outlots shall have an orientation and architectural quality that relates to the primary building. Placement and orientation of all buildings must facilitate appropriate land use transitions and appropriate traffic flow to adjoining roads and to neighboring commercial areas, commercial sites, and neighborhoods, and must forward community character objectives described in the City's comprehensive plan. Also see Section 19.485.040 E.7. below for requirements associated with the location of parking lots.

2. **Building Materials.**

Exterior building materials shall be of comparable aesthetic quality on all sides. Building materials such as glass, brick, stone, tinted and decorative concrete block are preferred, with wood, stucco, and exterior insulation and finish systems (EIFS) also permitted, as determined appropriate by the Plan and Architectural Review Commission. Decorative architectural metal with concealed fasteners or decorative tilt-up concrete panels may be approved only if integral to the overall design of the building. Windows shall be prominently incorporated into the building design for both aesthetic and daylighting effect.

3. **Building Design.**

The building exterior shall complement other buildings in the vicinity (except those buildings identified for redevelopment), and shall meet the following:

- a. The building shall employ varying façade setbacks, heights, roof treatments, doorways, window openings, and other structural or decorative elements to reduce apparent size and scale of the building and to add architectural interest.
- b. A minimum of 20 percent of the building's facades that are visible from a public street shall employ actual façade protrusions or recesses with a depth of at least six feet. No uninterrupted façade without protrusions or recesses shall extend more than 100 feet in length.
- c. A minimum of 20 percent of all of the combined linear roof eave or parapet lines of the structure shall employ differences in height, with such differences being six feet or more as measured eave to eave or parapet to parapet.
- d. Roofs with particular slopes may be required to complement existing buildings in the vicinity or otherwise establish a particular aesthetic objective.
- e. Ground floor facades that face public streets shall have some combination of arcades (a series of outdoor spaces located under a roof or overhang and supported by columns or arches), display windows, entry areas, awnings, or other such features along no less than 50 percent of the horizontal length of such façades.
- f. The integration of windows into building design is required. Windows shall be transparent glass wherever the Plan and Architectural Review Commission determines it practical. The use of blinds, spandrel (reflecting) glass, or display windows shall be acceptable where there is a determination that opacity is required. Backlighting of such windows may be required in such instances.
- g. Building facades that are visible to the public shall include a repeating pattern that includes no less than three of the following elements: (i) color change, (ii) texture change, (iii) material modular change, (iv) expression of architectural or structural bay through a change in plane no less than 24 inches in width, such as an offset, reveal or projecting rib. At least one of these elements shall repeat horizontally.

#### 4. Building Entrances.

Public building entrances shall be clearly defined and highly visible on the building's exterior design, and shall be emphasized by, and be the focal point for, on-site traffic flow patterns. Two or more of the following design features shall be incorporated into all public building entrances: canopies or porticos, overhangs, projections, arcades, peaked roof forms, arches, or outdoor patios.

#### 5. Building Colors.

Building facade colors shall be non-reflective, subtle, neutral, or earth tone. The use of high intensity colors, metallic colors, fluorescent colors or black on facades shall be prohibited. Building trim and architectural accent elements may feature bright colors or black, but such colors shall be muted, not metallic, not fluorescent, and not specific to particular uses or tenants. Standard corporate and trademark colors shall be permitted only on signage, unless such corporate colors meet the preceding building façade color standards.

#### 6. Screening.

- a. All ground-mounted and wall-mounted mechanical equipment, refuse containers and any permitted outdoor storage shall be fully concealed from on-site and off-site ground level views, with materials identical to those used on the building exterior facades.

- b. All rooftop mechanical equipment shall be screened by parapets, upper stories, and/or strategic placement relative to exterior walls or roofs, so as to not be visible from public streets adjacent or within 1,000 feet of the subject property.
  - c. Loading docks shall be completely screened from surrounding public streets and properties. Said screening may be accomplished through loading areas internal to buildings, screen walls which match the building exterior in materials and design, fully opaque landscaping at time of planting, or combinations.
  - d. Gates and fencing may be used for security and access, but not for screening, and they shall be of high aesthetic quality. Decorative metal picket fencing and screening is acceptable. Chain link, wire mesh, or wood fencing is unacceptable, except that decorative, heavy-duty wood gates may be used.
7. Parking.
- a. All parking lots shall be designed in accordance with Chapter 19.51 of this Title.
  - b. Parking lots in which the number of spaces significantly exceeds the minimum number of parking spaces required for the specific use or uses in Section 19.51.130 shall be allowed only with specific and reasonable justification provided by the applicant within the application.
  - c. Parking lots shall be designed to create distinct parking areas of not more than 120 parking stalls each through use of landscaped and curbed medians and islands, a minimum of ten feet in width from back-of-curb to back-of-curb. Each landscaped island shall be a minimum of 360 square feet in landscaped area; and landscaped islands shall be spaced at intervals no greater than one island per every 20 spaces in that aisle. Each landscaped island shall be planted with a minimum of one deciduous tree.
  - d. Wherever site conditions allow, the Plan and Architectural Review Commission may require some or all parking to be oriented to the side and/or rear of the primary building within the Development, allowing the building to be located closer to the public street. Applicants proposing to locate the majority of parking between the primary building and the public street shall submit information along with their application identifying the reasons why more or all parking may not be located to the side or rear of the principal building, either through a change in parking location, change in building location, or both.
8. Bicycle and Pedestrian Facilities.
- a. The entire Development shall provide for safe pedestrian and bicycle access to all uses within the Development, connections to existing and planned public sidewalks and other pedestrian and bicycle facilities, and connections to adjacent properties.
  - b. Pedestrian walkways shall be provided from all building entrances to existing or planned public sidewalks or other pedestrian and bicycle facilities. The minimum width for sidewalks adjacent to buildings shall be eight feet; and the minimum width for sidewalks elsewhere in the Development shall be five feet.
  - c. Sidewalks internal to the Development shall have adjoining landscaping along at least 50 percent of their length, and may be required to be provided with pedestrian-scale lighting.
  - d. Crosswalks within parking and driveway areas shall be distinguished from driving surfaces to enhance pedestrian safety by using different pavement materials, color, and/or texture in combination with signage.

- e. The Development shall provide secure, attractive, integrated bicycle parking. For Developments with fewer than 100 motor vehicle parking stalls, the minimum number of bicycle parking spaces shall not be less than 10 percent of the number vehicle parking stalls. For Developments with 100 or more motor vehicle parking stalls, the minimum number of bicycle parking spaces shall not be less than 5 percent of the number of motor vehicle parking stalls. The inverted-U type bike rack is the preferred design, except where the City or applicant is attempting to advance a particular design theme for the area. Each inverted-U may count as two bicycle parking spaces.
- f. All bicycle parking racks shall be located within 50 feet of the main building entrance (except where secondary bicycle parking areas are located close to a separate employee entrance) and placed in a visible, well-lit, hard-surfaced, and accessible location at least 30 inches from the nearest building wall. At least one-half of all bicycle parking spaces shall be covered by a building canopy, arcade, or other shelter.
- g. The Development shall provide exterior pedestrian furniture in appropriate locations at a minimum rate of one seat for every 20,000 square feet of floor area (per the measurement method in Section 19.485.020). In addition, a minimum of four seats shall be located within the store, with a clear view through exit doors to a passenger pick-up or drop-off area.

## 9. Central Areas and Features.

Each Development exceeding 80,000 square feet in floor area (per the measurement method in Section 19.485.020) shall provide central area(s) or feature(s) such as a patio/seating area, pedestrian plaza with benches, outdoor playground area, water feature, and/or another such deliberately designated outdoor area or focal point that adequately enhance the Development or community. Such area shall be openly accessible to the public, connected to the public and private sidewalk system, designed with materials compatible with the primary building and remainder of the site, and maintained over the life of the Development.

## 10. Cart Returns.

A minimum of one 200-square foot cart return area (corral) shall be provided for every 100 parking spaces. Cart corrals shall be of durable, non-rusting, all season construction, and shall be designed and colored to be compatible with the building and parking lot light standards. There shall be no exterior cart return or cart storage areas located within 25 feet of any building.

## 11. Outdoor Display Areas.

Exterior sales and display areas—whether permanent or seasonal—shall be permitted only where clearly depicted on the approved site plan associated with the Development. All exterior display areas shall be separated from motor vehicle routes by a physical barrier visible to drivers and pedestrians, and by a minimum of ten feet. Display areas on sidewalks directly in front of buildings building must maintain a minimum walkway width of eight feet between the display items and any vehicle drives.

## 12. Outdoor Storage Uses and Areas.

Exterior storage structures or uses, including the parking or storage of service vehicles, trailers, equipment, containers, crates, pallets, merchandise, materials, fork lifts, trash, recyclables, and all other items shall be permitted only where clearly depicted and labeled on the approved site plan. Such outdoor storage uses and areas shall be appropriately screened as required by Title 19.

## 13. Landscaping.

On-site landscaping shall be provided at time of building occupancy (except as allowed under Section 19.66.060), shall meet all applicable landscaping guidelines approved by the City Council or Plan and

Architectural Review Commission, and shall be maintained per the requirements of such guidelines and Title 19 over the life of the Development.

14. Lighting.

On-site exterior lighting shall meet all the standards of Title 19. In addition, the color and design of pole lighting standards shall be compatible with the primary building in the development and the public lighting in the area, and shall be uniform throughout the entire Development site.

15. Signage.

In addition to meeting the applicable requirements of Title 19, a signage plan for all exterior signage shall provide for coordinated and complementary exterior sign locations, configurations, and colors throughout the Development. Combined signs for multiple users may be required instead of multiple individual signs. The City may require the use of muted corporate colors on signage if proposed colors are not compatible with the City's design objectives for the area.

16. Environmental Sustainability, Natural Resources Protection, and Stormwater Management.

Natural Resources shall be protected in accordance with Title 19. In general, existing natural features shall be integrated into the site design as a site and community amenity. Each project shall meet the erosion control and stormwater management standards found in Title 16 of the Municipal Code and other applicable City ordinances.

Each Development shall intentionally incorporate into site and building design elements that contribute to the long-term environmental sustainability of the Development and the City, as such terms are described in the City's comprehensive plan. Each Development shall provide at least one-half of the following sustainability features:

- a. Reuse an existing, previously developed building and/or site.
- b. Utilize one or more rain gardens or bioswales, as described in the City of Whitewater Landscaping Guidelines, to capture and manage stormwater.
- c. Install a green roof or roof-top garden.
- d. Incorporate stormwater management facilities that are designed to both serve their primary function and appear as natural features that can serve as attractive focal points for the Development.
- e. Install native/naturalized landscaping that minimizes requirements for irrigation/watering and provides natural habitat.
- f. Install systems that allow for the capture and later use of rainwater to water landscaping and for other permitted functions.
- g. Deliberately design/retrofit the primary building with energy efficient systems, such as lighting, refrigeration, and HVAC systems.
- h. Integrate solar, geothermal, wind, or other on-site energy generation into the site and/or building design.
- i. Utilize paving and/or roof materials with a solar reflectance index of at least 29 for a minimum of 50% of the combined pavement and roof area on the site.
- j. Purchase a minimum of 50% of the Development's energy from renewable sources, such as wind or solar.
- k. Recycle a minimum of 75% of the waste generated during building/site construction.
- l. Utilize a minimum of 25% recycled materials for building construction.
- m. Utilize a minimum of 50% regional materials for building construction (extracted, harvested, or recovered, and manufacturing from within 500 miles of the development site).
- n. No more than two additional sustainability features not listed above but approved by the Plan and Architectural Review Commission to meet the City's sustainability objectives, not including any feature already required by another section of this Chapter.

17. Vacation of Existing Buildings in Large Retail and Commercial Service Developments.

- a. Where any Large Retail or Commercial Service Development that has 50,000 or more square feet of floor area is vacated because the commercial use (sale of goods or merchandise at the building) conducted thereon is being relocated to a different building, the party shall be subject to the following provisions:
  - i. The party that vacated the site shall not impose limits on the type of reuse of the vacated site through conditions of sale or lease.
  - ii. The development agreement for the new Development at the new site shall include provisions therein whereby the developer of the new site commits to the requirements contained herein.
  
- b. In addition to the above, any building within Large Retail or Commercial Service Development that has 20,000 or more square feet of floor area and is vacated for any reason shall be subject to the following provisions:
  - i. The owner must file with the City a written statement as to the names, phone numbers, and addresses for all persons who are in control of the property and building.
  - ii. The owner shall be required to meet the requirements defined in Figure 19.485(1), based on the amount of time the building remains vacant:

**Figure 19.485(1): Steps for Addressing Building Vacancy**

Period of Time Building is Vacant	Requirement
Within 1 Year of Vacancy	Install a fire department Knox Box for annual fire inspection.
Within 3 Years of Vacancy	City may require owner to paint the building a neutral color.
Within 5 Years of Vacancy	City may require the removal of all hard surfaces, with the exception of the main driveway and fire lane around the building, restore the former hard surfaced areas with black dirt and grass, or any combination of the above.

- iii. Within the first quarter of each year of vacancy, the owner shall provide the Zoning Administrator with a statement as to the condition of the building and prospects for removal or re-occupancy of the building(s).
  - iv. At any time following vacancy, the City may utilize other enforcement options available to it to ensure property maintenance and upkeep of the building and site.
  - v. Temporary occupancy of the building(s) and/or the exterior grounds for period of 365 consecutive days or less shall not be considered to remove the vacancy status of the building under this section.
18. Development Agreement. The developer shall enter into a development agreement with the City which shall include the payment of all utilities including but not limited to stormwater, sanitary sewer, and street infrastructure. Off-site improvements may also be required as part of the development agreement.
19. Exceptions. In the event the applicant desires a deviation or exception from the requirements of this Section, the applicant shall present justification for such deviation or exception, including but not limited to preexisting conditions on a redevelopment site, which may be approved or denied by the Plan and Architectural Review Commission.

**Figure 19.485(2): Thresholds for Large Retail and Commercial Service Development Requirements**

Requirement	Large Scale Retail and Commercial Development Threshold (per measurement method in Section 19.485.020)

Complete Compatibility Report (fits City's comprehensive plan and/or other adopted plans?)	>20,000 sq. ft.
Complete questionnaire	>20,000 sq. ft.
Provide required Facilities and Associated Features (materials, landscape, etc)	>20,000 sq. ft.
3rd party Traffic Impact Analysis required	>50,000 sq. ft.
3rd party Economic and Fiscal Impact Analysis required	>80,000 sq. ft.
Detailed Neighborhood Plan required	>80,000 sq. ft.

**Figure 19.485(3): Large Retail and Commercial Service Development Questionnaire**

Person filling out this form		
Address		
Phone Number		
Date		
<b>I. Project Contacts</b>		
Property Owner		
Property Owner Representative		
Developer		
Developer Representative		
Prime Contractor Representative		
Civil Engineering Representative		
Architectural Representative		
Land Planner Representative		
Landscape Architect Representative		
Exterior Lighting Representative		
<b>II. Existing Site Conditions</b>		
A. Total Site Area (inclusive of all areas within parcel boundary):	_____ acres	_____ sf.
B. Environmental Corridor Components:	_____ acres	_____ sf.
Surface Water	_____ acres	_____ sf.
Wetlands	_____ acres	_____ sf.
100-Year Floodplain	_____ acres	_____ sf.
Steep Slopes (equal to or greater than 12%)	_____ acres	_____ sf.

<b>III. Relationship to Adopted Plans and Policies.</b> Describe how the proposed development is compatible with the following:	
<b>A. City of Whitewater Comprehensive Plan:</b>	
Future Land Use Map	
Future Transportation Plan Map	
Future Community Facilities Plan Map	
Applicable Goals, Policies and Objectives	
Agricultural, Natural, and Cultural Resources Chapter	
Economic Development Chapter	
Sustainability Provisions	
Other Applicable Provisions of Comprehensive Plan	
<b>B. City Park and Open Space Plan</b>	
<b>C. Detailed Neighborhood Plan Covering Area</b>	
<b>D. Intergovernmental Agreements</b>	
<b>E. Wisconsin DOT Plans and Policies</b>	
<b>F. Wisconsin DNR Plans and Policies</b>	
<b>G. Other Pertinent Plans and Policies as Indicated by City</b>	

## IV. Proposed Development Characteristics

### A. General Description of Proposed Development and Land Use Mix:

### B. Proposed Modifications to Existing Site Conditions:

TOTAL SITE	Acres to be Converted	Acres Not to be Converted	Total
Surface Water Areas			
Wetland Areas			
Floodplain Areas			
Steep Slopes (12%+)			
Woodland Areas			
Total Environmental Corridor			
Crop & Livestock Operation Areas			
Other Open Areas			
Total Existing Development Area			
Existing Building Coverage Area			
Existing Paved Area			
Existing Lawn & Landscaped Area			

### C. Proposed Development Areas:

Total Site Area	_____ sq. ft.	_____ acres
Area of Building Footprint	_____ sq. ft.	_____ acres
Area of Total Paving	_____ sq. ft.	_____ acres
Area of Pervious Paving	_____ sq. ft.	_____ acres
Area of Lawn & Landscaping (not storm)	_____ sq. ft.	_____ acres
Area of Stormwater Management	_____ sq. ft.	_____ acres
Area of Impervious Surface	_____ sq. ft.	_____ acres
Area of Semi-Pervious Surface	_____ sq. ft.	_____ acres
Area of Pervious Surface	_____ sq. ft.	_____ acres
Total Building Floor Area	_____ sq. ft.	
First Floor Building Area	_____ sq. ft.	
Upper Floor Building Area	_____ sq. ft.	
Useable Basement Area	_____ sq. ft.	

**Figure 19.485(4): Economic and Fiscal Impact Analysis Requirements**

1. For the project, estimate the following:
a. Types of jobs created.
b. Number of full-time (40 hrs/wk) and part time (less than 40 hrs/wk) jobs created.
c. The impact of the project on the overall local job market at year one and year five.
2. Estimate the amount of City and Walworth/Jefferson County labor to be used in the construction of the project and in permanent employment.
3. Include an analysis indicating the market proposed for the project and the area from which patrons will be attracted.
4. Evaluate the impact of the proposed project on commercial and/or retail vacancy rates in the proposed market area.
5. Estimate to what extent, if any, the proposed project would increase or reduce the proposed market area's economic base by eliminating existing businesses, creating new ones, or allowing existing ones to expand.
6. Compare and evaluate the projected costs and benefits to the community resulting from the project including:
a. Projected costs arising from increased demand for and required improvements to public services and infrastructure.
b. Value of improvements to public services and infrastructure to be provided by the project.
c. Projected property tax revenues to be generated by the project in the first year, after five years, and at build-out.
d. Projected impact of the project in the first five years on land values (both residential and commercial) and potential direct and indirect increase or loss in property tax revenues.
7. Projected lifespan of building(s) and reuse opportunities should the proposed use(s) vacate the building(s) in the future.

Ordinance introduced by Councilmember Olsen. Seconded by Councilmember Winship. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None. FIRST READING APPROVED: July 20, 2010.

Kevin M. Brunner, City Manager

Michele R. Smith, City Clerk

**AMENDING CH. 5.19, SIDEWALK CAFES.**

**ORDINANCE AMENDING CHAPTER 5.19, SECTION 5.19.060.14 CONCERNING SIDEWALK CAFES**

The Common Council of the City of Whitewater, Walworth and Jefferson Counties, do hereby ordain as follows:

SECTION 1: Whitewater Municipal Code Chapter 5.19, Section 5.19.060 14 is hereby amended to read as follows:

If alcohol is served in the sidewalk café on any date or at any time, the area encompassing the sidewalk café shall be roped off or otherwise enclosed by a freestanding barrier on all dates and at all times while in use, even when alcohol is not being served. The barrier shall be at least three feet high. The barrier can include, but is not limited to, attractive fence segments, flowers/plants, artwork and decorative menu boards. The neighborhood services director shall approve the barrier to assure that it is safe and visually appealing.

Ordinance introduced by Councilmember Stewart, who moved its adoption. Seconded by Councilmember Winship. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None. FIRST READING APPROVED: July 20, 2010.

Kevin M. Brunner, City Manager

Michele R. Smith, City Clerk

**AMENDING CH. 5.19.030, SIDEWALK CAFÉ PERMIT.**

**ORDINANCE AMENDING SECTION 5.19.030(5)**  
**SIDEWALK CAFÉ PERMIT**  
**CONCERNING CONDITIONAL USE PERMIT REQUIREMENTS**

The Common Council of the City of Whitewater, Walworth and Jefferson Counties, Wisconsin, do hereby ordain as follows:

SECTION 1: Whitewater Municipal Code Chapter 5.19, Section 5.19.030(5), is hereby amended to read as follows:

If the City Council expands the description of the licensed premises in the applicant's alcohol license to include a sidewalk café area, the applicant's current conditional use permit, that allows sale of alcoholic beverages by the drink, shall be deemed to allow the serving of alcohol in the sidewalk café area, and the applicant will not be required to obtain an amended conditional use permit for the sidewalk café area. Notice of the Council meeting at which the alcohol license premises expansion will be considered shall be sent in writing to all Plan Commission members personally and to all owners of record (and to the address of the property if different than the owner's) of properties abutting and within 300 feet of the property that is involved in the application. Unintentional failure to accomplish these notifications shall not invalidate the procedures. A full copy of the alcohol licensee's sidewalk café permit application shall accompany any request by an applicant to the City Council to include a sidewalk café in its described alcohol licensed premises.

Resolution introduced by Councilmember Olsen, who moved its adoption. Seconded by Councilmember Binnie. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None. FIRST READING APPROVED: July 20, 2010.

Kevin M. Brunner, City Manager

Michele R. Smith, City Clerk

**CREATING CH. 5.18 OUTDOOR CAFÉ PERMIT.** It was noted that businesses wanting to have café areas outside of their business on private property must go through a conditional use hearing at the Plan Commission level prior to receiving their permit, while those who have areas on public property do not have that requirement.

**ORDINANCE CREATING CHAPTER 5.18**  
**OUTDOOR CAFÉ PERMIT**

The Common Council of the City of Whitewater, Walworth and Jefferson Counties, Wisconsin, do hereby ordain as follows:

SECTION 1: Chapter 5.18 OUTDOOR CAFÉ PERMIT, is hereby created to read as follows:

**Chapter 5.18 OUTDOOR CAFÉ PERMIT.**

(This Chapter applies to private outdoor cafes, does not regulate sidewalk cafes.)

5.18.010 Purpose.

5.18.020 Definitions.

5.18.030 Permit required.

5.18.040 Permit application.

5.18.050. Permit fees.

5.18.060. Outdoor café standards.

5.18.070. Alcohol licensing and service of alcohol beverages.

5.18.080. Liability and insurance.

5.18.090. Revocation or suspension.

5.18.100. Appeal.

5.18.110. Penalty.

5.18.010 Purpose.

To further encourage the revitalization of the downtown and other areas of the city, including the development of social and economic activity, the city council finds and determines:

1. That there exists a need for outdoor eating facilities in certain areas of the city to provide a unique environment for relaxation, social interaction, and food and beverage consumption.
2. That outdoor cafés will permit enhanced use of the private property for outdoor food and beverage consumption, and will promote economic activity in the area.
3. That the existence of outdoor cafés encourages additional outdoor food and beverage consumption. Therefore, a need exists for regulations and standards for the existence and operation of outdoor cafés to ensure a safe environment.
4. That the establishment of permit conditions and safety standards for outdoor cafés is necessary to protect and promote public health, safety, and welfare.

5.18.020 Definitions.

"Outdoor cafe" shall mean creating an outdoor facility on part of a premises used for the purpose of consuming food or beverages.

5.18.030 Permit required.

1. An applicant may apply to the neighborhood services director or his or her designee for a permit to allow an establishment to operate an outdoor café. The neighborhood services director or designee may approve, approve with conditions or restrictions, or deny a permit where necessary to protect the public health, safety or welfare; to prevent a nuisance from developing or continuing, or due to violation of this section, the city code of ordinances, or applicable state or federal law.
2. Before a permit may be issued, the application and site plan shall be reviewed for approval by the City Fire Department and City Building Inspector.
3. Each permit shall be effective for one year from July 1 until June 30.
4. The permit issued may be transferred to a new owner only for the location and area listed in the permit. The transferred permit shall be valid only for the remainder of the period for which it was originally issued. A new certificate of insurance must be filed with the City before the permit transfer.
5. A property shall be exempt from the requirements of this Chapter if its outdoor café has an existing outdoor café approved by a City of Whitewater zoning permit.
6. If the City Council expands the description of the alcohol licensed premises in the applicant's alcohol license to include an outdoor café area, the applicant's current conditional use permit, that allows sale of alcohol beverages by the drink, shall be deemed to allow the serving of alcohol in the outdoor café area, and the applicant will not be required to obtain an amended conditional use permit for the outdoor café area. Any request by an applicant to the City Council to amend the described premises under its alcohol license shall include a copy of its application for an outdoor café permit. The City staff shall send a notice of the council meeting, at which the request will be acted on, to all plan commission members; to the owners of record according to the tax bills (and to the address of the property, if different than the owner's) of premises within 300 feet of the licensed establishment. Unintentional failure to accomplish these notifications shall not invalidate the procedures.

5.18.040 Permit application.

Application for a permit to operate an outdoor café shall be submitted to the department of public works and shall include at least the following information:

1. Completed city application form.

2. Copy of a current certificate of commercial liability insurance in the amount of at least \$100,000.00 per occurrence.
3. A general layout drawing which accurately depicts the dimensions of the existing premises site, the proposed location of the outdoor café, size and number of tables, chairs, steps, planters, and umbrellas, location of doorways, trees, light poles and any other obstructions, either existing or proposed, within the outdoor cafe area. This layout shall be submitted on eight and one-half-inch by eleven-inch paper, suitable for reproduction.

#### 5.18.050. Permit fees.

There shall be no application fee or renewal of permit fee for outdoor café permits.

#### 5.18.060. Outdoor café standards.

The following standards, criteria, conditions, and restrictions shall apply to all outdoor cafés, provided, however, that the neighborhood services director or designee may impose additional conditions and restrictions to protect and promote the public health, safety, or welfare, to prevent a nuisance from developing or continuing, and to comply with this section, the City of Whitewater code of ordinances, and all applicable state and federal laws.

1. Outdoor cafés are restricted to the property to which the permit is issued.
2. Tables, chairs, umbrellas or other fixtures in the outdoor café:
  - a. Shall not be placed within five feet of fire hydrants, alleys, or bike racks. Shall not be placed within five feet of a pedestrian crosswalk or corner curb cut.
  - b. Shall not block designated ingress, egress, or fire exits from or to the establishment, or any other structures.
  - c. Shall be maintained in a clean, sanitary and safe manner.
3. Outdoor cafés shall be located in such a manner that a distance of not less than four feet is maintained at all times as a clear pedestrian path in and out of the outdoor café area (occasional reduction to 36 inches may be allowed by the Neighborhood Services Director to accommodate trees, light poles, street signs or other permanent structures.) For the purpose of the minimum clear path, trees, light poles and all similar obstacles shall be considered obstructions.
4. The outdoor café, along with any sidewalk or roadway immediately adjacent to it, shall be maintained in a neat and orderly manner at all times. Debris shall be removed as required during the day and again at the close of each business day.
5. Plant tubs may be located in the outdoor café with the approval of the neighborhood services director or designee. Plant tubs shall be maintained in a safe, neat, clean, and presentable manner.
6. Umbrellas and other decorative material shall be made of treated wood, canvas, cloth, or similar material that is manufactured to be fire-resistant. No portion of an umbrella shall be less than six feet eight inches above the ground.
7. Signs to be used in the outdoor café shall be in accordance with chapter 19.54 of the city code of ordinances. However, the neighborhood services director may allow temporary easel signs.
8. No food preparation, food or beverage storage, refrigeration apparatus, or equipment shall be allowed in the outdoor café unless authorized by the neighborhood services director.
9. No amplified entertainment shall be allowed in the outdoor café unless authorized by the neighborhood services director as part of a special event.
10. A copy of the site plan, as approved in conjunction with the current outdoor café permit, shall be maintained on the permittee's premise and shall be available for inspection by city personnel at all times.
11. The outdoor café permit covers only the outdoor café area described in the permit. Indoor operations will be governed by other applicable regulations.
12. Outdoor cafés shall not operate after 10:00 p.m. or before 7:00 a.m.
13. The City Manager, Chief of Police, the Neighborhood Services Director or their designees may temporarily order the termination of the outdoor café for public health and safety reasons.
14. If alcohol is served in the outdoor café on any date or at any time, the area encompassing the outdoor café shall be roped off or otherwise enclosed by a freestanding barrier on all dates and times while in use. The barrier shall be at least three feet high. The barrier can include, but is not limited to, attractive fence segments, flowers/plants, artwork and decorative menu boards. The neighborhood services director shall approve the barrier to assure that it is safe and visually appealing.
15. The city, its officers and employees, shall not be responsible for outdoor café fixtures that are relocated or damaged.

## 5.18.070. Alcohol licensing and service of alcohol beverages.

1. A permittee may sell and serve alcohol beverages in an outdoor café only if the permittee complies with all the requirements for obtaining an alcohol beverage license, and the outdoor café area is listed on the alcohol beverage license application as being an part of the licensed premises.
2. Alcohol may be served at outdoor cafés under the following conditions:
  - a. The permittee has a valid and appropriate retail alcohol beverage license for the principal premises.
  - b. The retail alcohol beverage license premises description includes the outdoor café in the description of the licensed premises as an extended area.
  - c. The retail alcohol beverage license permits the sale of the type of alcohol beverages to be served in the outdoor café.
  - d. The alcohol beverages are sold by the licensee or licensee's employees.
  - e. Alcohol beverages are served by the licensee or the licensee's employees in compliance with alcohol beverage laws, ordinances and regulations.
  - f. The permittee shall be responsible for policing the outdoor café area to prevent underage persons from entering or remaining in the outdoor café, except when underage persons are allowed to be present on the licensed premises under applicable laws.
  - g. The permittee shall not allow patrons of the outdoor café to bring alcohol beverages into the outdoor café from another location, other than the licensed premises, nor to carry open containers of alcohol beverages, served in the outdoor café, outside the outdoor café area.
  - h. At times of closing or during times when consumption of alcohol beverages is prohibited, permittee shall remove from the outdoor café area all containers used for or containing alcohol beverages. No container of alcohol beverages shall be present in the outdoor café between 10:00 p.m. and 7:00 a.m.

## 5.18.080. Revocation or suspension.

The approval of an outdoor café permit is conditional at all times. An outdoor café permit may be revoked or suspended by the neighborhood services director or designee where necessary based on a violation of this ordinance or to protect the public health, safety, or welfare, to prevent a nuisance from developing or continuing, in emergency situations, or due to noncompliance with this section, the city code of ordinances, or applicable state or federal law.

## 5.18.090. Appeal.

A revocation, suspension, or denial of a permit may be appealed by the permittee to the common council. If the neighborhood services director's decision is appealed, the common council shall hold a hearing and either grant, grant with conditions, or deny the permit. The permit holder or applicant shall be notified of the common council appeal meeting and shall have the right to be heard prior to a decision.

## 5.18.100. Penalty.

The penalty for violation of this section shall be a forfeiture of not less than \$50.00 or more than \$200.00 per day for each violation, together with the costs of prosecution.

It was moved by Olsen and seconded by Winship to 1) Refer the Ordinance to the Plan Commission for their review and comment at their August 3<sup>rd</sup> special meeting and 2) to approve the first reading of the ordinance. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None. FIRST READING APPROVED: July 20, 2010.

Kevin M. Brunner, City Manager

Michele R. Smith, City Clerk

**REPEALING CH. 7.72.030 CARRYING DANGEROUS WEAPONS.** City Attorney McDonell stated that the proposed ordinance is in response to recent Supreme Court decisions and a Wisconsin Attorney General opinion indicating it is unconstitutional to enforce ordinances prohibiting open carrying of firearms.

## **ORDINANCE REPEALING WHITEWATER MUNICIPAL CODE SECTION 7.72.030 – CARRYING DANGEROUS WEAPON.**

The Common Council of the City of Whitewater, Walworth and Jefferson Counties, Wisconsin, do hereby ordain as follows:

**SECTION 1.** Due to recent Supreme Court decisions and a Wisconsin Attorney General opinion that indicate that Whitewater Municipal Code Section 7.72.030 is unenforceable, Whitewater Municipal Code Section 7.72.030, Carrying Dangerous Weapon, is hereby repealed.

Ordinance introduced by Councilmember Olsen, who moved its adoption. Seconded by Councilmember Binnie. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None. FIRST READING APPROVED: July 20, 2010.

Kevin M. Brunner, City Manager

Michele R. Smith, City Clerk

## **ORDINANCE AMENDING CH. 9.08 ENTITLED “ANIMAL CONTROLS AND REGULATIONS – LICENSING.”**

### **SECOND READING OF ORDINANCE AMENDING CHAPTER 9.08 “ANIMAL CONTROLS AND REGULATIONS – LICENSING.”**

The Common Council of the City of Whitewater, Walworth and Jefferson Counties, Wisconsin, do hereby ordain as follows:

**Section 1.** Whitewater Municipal Code Chapter 9.08, Section 9.08.020(e)(2) is hereby amended to read as follows:

(2) Term. All licenses shall be issued for a term of one year, commencing with the first day of January of each year, and terminating as of midnight on the last day of the licensing year. Application for licenses must be made from January 1<sup>st</sup> to the last day of March of each year without penalty. Any license issued after April 1<sup>st</sup> of each year shall pay an additional five dollars, unless the owner can conclusively illustrate that the animal has been acquired by him/her within the last thirty days prior to application for a license, or that applicant has established city residency within the last thirty days prior to application.

**Section 2.** This ordinance shall take effect upon passage and publication as provided by law.

Ordinance introduced by Councilmember Olsen who moved its adoption. Seconded by Councilmember Winship. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None. Adopted: July 20, 2010.

**BEER AND LIQUOR LICENSE FOR CAPN’S OF WHITEWATER LLC.** Randy Schopen, owner of Capn’s of Whitewater LLC, is in the process of opening a restaurant catering business with Friday Fish Fries at the American Legion Building, 292 Wisconsin Street. It was moved by Olsen and seconded by Winship to approve the transfer of the Class B Beer and Liquor license from Troemel’s Lakeside Banquets to Capn’s of Whitewater LLC, Randall Schopen, Agent, contingent upon closing of the transaction between the parties. AYES: Olsen, Winship, Binnie, Kienbaum, Stewart, Singer. NOES: None. ABSENT: None.

**APPROVAL OF TRANSFER OF BEER AND LIQUOR LICENSE FROM BARBARA HAMILTON TO FIRE STATION 1, LLC.** It was moved by Olsen and seconded by Winship to approve the transfer of the Class B Beer and Liquor License from Barbara Hamilton to Fire Station 1, LLC, Patrick Wellnitz Agent, contingent upon consummation of the sale. AYES: Olsen, Winship, Binnie, Kienbaum, Stewart, Singer. NOES: None. ABSENT: None.

**RICK'S EASTSIDE PUB REQUEST FOR AMENDMENT OF LICENSED PREMISES.** With the Wisconsin Smoking Ban now in effect, Hartmann and other tavern owners are seeking ways to allow their customers to take their drink outside when they leave to smoke. Lengthy discussion ensued regarding outdoor cafes and sidewalk cafes. This request will be taken up at the next Council meeting, after action on the outdoor café ordinance and Plan Commission review of the proposed Outdoor Café ordinance have taken place.

**DONATION OF BIKES TO WHITEWATER HIGH SCHOOL PHYSICAL EDUCATION.** The Whitewater High School Physical Education Department has asked the Police Department to donate 15 bicycles from their recovered, but unclaimed bikes. It was moved by Olsen and seconded by Winship to authorize the donation. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None.

**AGREEMENT WITH CESA 2.** It was moved by Olsen and seconded by Winship to approve a Memorandum of Understanding between the City and CESA 2 relating to construction of leased space in Whitewater Innovation Center. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None.

**AGREEMENT WITH WISCONSIN MAIN STREET COMMUNITIES.** It was moved by Olsen and seconded by Winship to approve the extension agreement with the Wisconsin Main Street Program. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None.

**RENAMING OF INDIAN MOUNDS PARK.** It was moved by Binnie and seconded by Winship to rename Indian Mounds Park to *Whitewater Effigy Mounds Preserve*. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None.

**ORDINANCES RELATED TO GRASS, WEEDS AND NATURAL LAWNS.** Councilmember Olsen requested that this item be brought before the Council. Olsen and Neighborhood Services Director Bruce Parker viewed several properties in the City and photographed several where there is difference of opinion as to whether the landscaping is in compliance with local codes. It was noted that the Urban Forestry Committee is currently working on a Landscaping Policy, including defining a "natural lawn." Photographs of local properties and terraces were shown. It was noted that ordinances to take care of most of the problems are in place, but Code Enforcement Director Bruce Parker indicated that the previous City Council had instructed Parker not to enforce the ordinances relating to weeds and natural lawns. Concern was raised over the fact that it has been so long since the ordinances have been enforced, that it could be difficult to convince the property owners there is a problem. City staff was directed to bring a Resolution forth that would direct the Neighborhood Services Director to enforce the ordinance.

**CHANGE ORDER #3 FOR WASTEWATER EQUIPMENT PROJECT CONTRACT 4-2009.** It was moved by Olsen and seconded by Winship to approve Change Order No. 3 in the total sum of \$29,333.24, to cover costs of items needing attention at this time but that were not included in the original contract. In particular, a leaking 24" buried valve needs replacement, as well as correction of an issue with the RBC building roof top. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None.

**CHANGE ORDERS #3, 4, 5 & 6 FOR WHITEWATER INNOVATION CENTER PROJECT.** It was moved by Olsen and seconded by Winship to approve Change Orders 3, 4, 5 & 6 for the Innovation Center projects. Change orders relate to direct owner purchases from prime contracts, the addition of a photovoltaic (solar system), Geothermal well depth, and additional bedrock costs for foundations. Total change orders to date equal \$148,794. Brunner is optimistic that now that the building is out of the ground that the project will stay well within the project contingency. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None.

**AMENDMENT TO STRAND CONTRACT PLANNING, DESIGN AND CONSTRUCTION SERVICES.** It was moved by Olsen and seconded by Winship to approve an amendment to the Strand Contract, in the total sum of \$10,900, to cover unanticipated costs for deficiencies that have been brought to light during construction project at the Wastewater Treatment Plant. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None.

**CONTRACT FOR PROJECT 2-2010, WHITEWATER UNIVERSITY TECHNOLOGY PARK.** It was moved by Olsen and seconded by Winship to approve a contract with Iverson Construction, LLC, Cottage Grove, Wisconsin (including the three alternate bids) in the sum of \$2,201,383.17, for work in the Whitewater University Technology Park

(contingent upon EDA approval). AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None.

**CONTRACT FOR PROJECT 3-2010, STARIN ROAD EXTENSION.** It was moved by Olsen and seconded by Winship to approve a contract with Mann Brothers in the sum of \$1,778,508.51 for the Starin Road extension project. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None.

**VACANT ALDERMANIC DISTRICT 2 POSITION.** Due to Councilmember Taylor's resignation, the Councilmember seat for Aldermanic District 2 is open. Options were discussed. Christopher Nonn, resident of Aldermanic District 2, presented a letter of interest to the Clerk and introduced himself to the Councilmembers. Councilmembers directed the City Clerk to advertise for the vacant position, asking for interested parties to respond to the Clerk by August 6, 2010, with Council action on the open position to be scheduled at the August 17 council meeting. Councilmembers requested that the Clerk pursue the possibility of sending a campus-wide e-mail announcing the vacancy. Councilmember Winship also directed the Clerk to look into using other social media options.

**ELECTION OF COUNCIL PRESIDENT PRO TEM.** Councilmember Taylor served as Council President Pro Tem., so a replacement is needed. Councilmember Winship nominated, and Councilmember Olsen seconded the appointment of Lynn Binnie to this position. No other nominations were made. Appointment was made by unanimous voice vote.

**APPOINTMENT OF COUNCILMEMBER REPRESENTATIVE TO POLICE COMMISSION AND PARK AND RECREATION BOARD.** Due to Taylor's resignation, Councilmember representative seats are open on the Police Commission and Park and Recreation Board. It was moved by Stewart and seconded by Kienbaum to appoint Councilmember Olsen to both the Police Commission and the Park and Recreation Board. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None.

**PRESENTATION OF CAPITAL IMPROVEMENT PLAN.** City Manager Brunner, DPW Director Fischer, and Finance Director Saubert presented a detailed schedule for proposed city projects for 2011-2013. City Manager Brunner also presented financing plans for the projects. Brunner stated that it is inevitable that some new general obligation debt will need to be issued in order to adequately maintain streets and municipal facilities. He noted that the replacement of the Municipal Building's Safety Building roof, as well as the Library Roof, cannot be delayed any longer. Those projects alone will cost \$351,000. Brunner reminded Council that purchase of a Fire Pumper was approved earlier and a borrowing will need to occur to pay for the acquisition, as well as for the installation of a vehicle ventilation system for the Fire Department. Although the Fire Department was successful in obtaining \$225,000 worth of grant funds, there are not sufficient funds in the capital equipment fund to cover the local share. In 2011, reconstruction of Clay Street from Dann to Esterly is scheduled. Brunner noted that beyond year 2011, the biggest challenge the City will face is financing the Milwaukee Street Improvement project (estimated at almost \$3 million). Financing will be necessary. Prince Street is also scheduled for reconstruction, and completion of Clay Street to the roundabout is planned. An estimated \$5.377 million in sanitary sewer utility work is planned over the next three years. Brunner also stated that the request for approval of the Automatic Meter Reading project will be brought to Council soon. Also proposed are the extension of the multi-use trail west to Franklin Street and the construction of a shelter with restrooms in Moraine View Park. Several councilmembers expressed concern over the fact that the repair of North Street, and particularly the bridges, is not scheduled until 2014. It was expressed that the project cannot wait that long. Brunner stated that he is projecting that \$850,000 will be needed to complete the remaining projects in TIF 4 before the statutory deadline for spending within this district occurs. Further information will be forthcoming.

**CONTRACT FOR HVAC WORK FOR WHITE BUILDING, WHITEWATER MUNICIPAL BUILDING, AND IRVIN L. YOUNG MEMORIAL LIBRARY.** Bids for replacement of HVAC systems were obtained. It was moved by Olsen and seconded by Winship to approve a contract with Vorpapel Service, Inc. of Burlington, Wisconsin, in the total sum of \$188,480 for HVAC systems for the City Hall/Safety Building, the White Memorial Building, and the Library. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None.

**AGREEMENT WITH VANDEWALLE FOR ECONOMIC POSITIONING SERVICES.** It was moved by Binnie and seconded by Olsen to approve a contract with Vandewalle Associates to perform work directed by the

Department of Commerce, relating to the Wisconsin E-RIC Strategy Development. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None.

**COUNCILMEMBER REQUESTS FOR FUTURE AGENDA ITEMS:** None.

**EXECUTIVE SESSION.** It was moved by Singer and seconded by Olsen to “Deliberating or negotiating the purchase of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session AND 19.85(1) (g) “Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved.” Items to be Discussed: 1) Possible acquisition of Real Estate for Expansion of Starin Park; and 2) Possible action on Resolution relating to Claim filed by Whitewater Court LLP concerning 2009 real estate assessment.

**RECONVENE INTO OPEN SESSION at 9:30 p.m.**

**AUTHORIZING PURCHASE OF FREMONT STREET REAL ESTATE FOR STARIN PARK EXPANSION PURPOSES.** No open session action was taken on this matter.

**AGREEMENT WITH WHITEWATER COURT LLP RELATING TO 2009 REAL ESTATE TAXES.** A settlement agreement has been reached with Whitewater Court, LLP relating to the claim they filed relating to their overpayment of 2009 real estate taxes. It was moved by Olsen and seconded by Winship to approve the agreement with Whitewater Court LLP, wherein taxes charged in error are to be returned to the property owner. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None.

**ADJOURNMENT.** It was moved by Olsen and seconded by Winship to adjourn the meeting. AYES: Olsen, Winship, Binnie, Singer, Kienbaum, Stewart. NOES: None. ABSENT: None. The meeting adjourned at 9:34 p.m.

Respectfully submitted,

Michele R. Smith, Clerk

Report Criteria:

- Detail report.
- Invoices with totals above \$0.00 included.
- Paid and unpaid invoices included.

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account Number
<b>1ST AYD CORPORATION</b>						
5431	1ST AYD CORPORATION	5016304	WASTEWATER/OPERATING SU	08/04/2010	221.16	620-62840-340
Total 1ST AYD CORPORATION:					221.16	
<b>5 ALARM FIRE &amp; SAFETY</b>						
420	5 ALARM FIRE & SAFETY	108281-1	CRASH CREW/OPERATING SLU	08/04/2010	156.00	100-52210-340
Total 5 ALARM FIRE & SAFETY:					156.00	
<b>ADVANTAGE SAFETY PLUS</b>						
4998	ADVANTAGE SAFETY PLUS	2270	WASTEWATER/OPERATING SU	08/04/2010	15.84	620-62840-340
Total ADVANTAGE SAFETY PLUS:					15.84	
<b>AIRGAS NORTH CENTRAL</b>						
4760	AIRGAS NORTH CENTRAL	105934309	WASTEWATER/OPERATING SU	08/04/2010	40.43	620-62840-340
Total AIRGAS NORTH CENTRAL:					40.43	
<b>ALLEN INC, L W</b>						
166	ALLEN INC, L W	088279	WASTEWATER/LIFT STATION R	08/04/2010	793.80	620-62830-353
Total ALLEN INC, L W:					793.80	
<b>ARGUS-HAZCO</b>						
5848	ARGUS-HAZCO	4020763	WASTEWATER/OPERATING SU	08/04/2010	420.00	620-62840-340
Total ARGUS-HAZCO:					420.00	
<b>AT&amp;T</b>						
3917	AT&T	3917-080410	STREET/INTERNET	08/04/2010	60.00	100-51600-225
3917	AT&T	3917-080410	GEN BLDG/PHONE	08/04/2010	720.62	100-51600-225
3917	AT&T	3917-080410	WATER/INTERNET	08/04/2010	60.00	610-61921-310
Total AT&T:					840.62	
<b>BANDT COMMUNICATIONS INC</b>						
858	BANDT COMMUNICATIONS INC	64208	FIRE/CAPITAL EQUIPMENT	08/04/2010	491.50	100-52200-810
Total BANDT COMMUNICATIONS INC:					491.50	
<b>BROWN CAB SERVICE</b>						
47	BROWN CAB SERVICE	JUNE10	CAB SVC/JUNE	08/04/2010	10,943.74	235-51350-295
Total BROWN CAB SERVICE:					10,943.74	
<b>CAMERA CORNER INC</b>						
3909	CAMERA CORNER INC	0397164-IN	CABLE/CAPITAL EQUIPMENT	08/04/2010	104.99	200-55110-810
Total CAMERA CORNER INC:					104.99	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account Number
<b>CDW GOVERNMENT INC</b>						
1234	CDW GOVERNMENT INC	SSS1689	CABLE/SUPPLIES	08/04/2010	24.26	200-55110-359
1234	CDW GOVERNMENT INC	SST8327	CABLE/CAPITAL EQUIPMENT	08/04/2010	243.64	200-55110-810
1234	CDW GOVERNMENT INC	SST8327	CDA/DRIVE	08/04/2010	33.29	900-56500-310
1234	CDW GOVERNMENT INC	SXT7621	IT/REPLACEMENT DRIVES	08/04/2010	98.76	100-51450-246
1234	CDW GOVERNMENT INC	TDC8590	POLICE PATROL/BRIEFING RO	08/04/2010	229.41	100-52110-340
Total CDW GOVERNMENT INC:					629.36	
<b>CHARTER COMMUNICATIONS</b>						
1571	CHARTER COMMUNICATIONS	1571-080410	CABLE/INTERNET SVC	08/04/2010	64.99	200-55110-225
1571	CHARTER COMMUNICATIONS	1571-080410	CABLE/INTERNET SVC	08/04/2010	136.98	200-55110-225
1571	CHARTER COMMUNICATIONS	1571-080410	LIBRARY/AUTOMATION SUPPO	08/04/2010	64.99	220-55110-218
1571	CHARTER COMMUNICATIONS	1571-080410	CITY/COURT CONNECTION	08/04/2010	136.98	100-51600-225
Total CHARTER COMMUNICATIONS:					403.94	
<b>CHRISTON, CHRIST</b>						
5842	CHRISTON, CHRIST	BLACKHAWK	FIRE/EMPLOYEE ED & TRNG	08/04/2010	80.00	100-52200-154
Total CHRISTON, CHRIST:					80.00	
<b>CITGO</b>						
5404	CITGO	25809444	POLICE PATROL/GAS	08/04/2010	2,177.15	100-52110-351
5404	CITGO	25809444	POLICE INV/GAS	08/04/2010	221.31	100-52120-351
5404	CITGO	25809444	FIRE/GAS	08/04/2010	449.71	100-52200-351
5404	CITGO	25809444	RESCUE/GAS	08/04/2010	872.62	100-52300-351
5404	CITGO	25809444	CSO/GAS	08/04/2010	186.08	100-52140-351
Total CITGO:					3,906.87	
<b>COACH S LOCKER, THE</b>						
495	COACH S LOCKER, THE	874227	REC/BASEBALL & SOFTBALL E	08/04/2010	61.00	100-55300-341
Total COACH S LOCKER, THE:					61.00	
<b>DAILY JEFFERSON CO UNION</b>						
273	DAILY JEFFERSON CO UNION	132163	CABLE/HELP WANTED AD	08/04/2010	143.46	200-55110-324
Total DAILY JEFFERSON CO UNION:					143.46	
<b>DAN'S MEAT MARKET</b>						
4580	DAN'S MEAT MARKET	565901	RESCUE/OPERATING SUPPLIE	08/04/2010	133.62	100-52300-340
4580	DAN'S MEAT MARKET	565905	REC/CONCESSIONS	08/04/2010	69.40	100-55210-790
4580	DAN'S MEAT MARKET	565914	REC/CONCESSIONS	08/04/2010	39.35	100-55210-790
Total DAN'S MEAT MARKET:					242.37	
<b>DIVERSIFIED BENEFIT SVC INC</b>						
4192	DIVERSIFIED BENEFIT SVC INC	114058	FINANCE/JULY SVC	08/04/2010	402.28	100-51500-217
Total DIVERSIFIED BENEFIT SVC INC:					402.28	
<b>EMERGENCY MEDICAL PRODUCTS</b>						
115	EMERGENCY MEDICAL PRODU	1287675	RESCUE/OPERATING SUPPLIE	08/04/2010	490.71	100-52300-340
Total EMERGENCY MEDICAL PRODUCTS:					490.71	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account Number
<b>FORT HEALTHCARE</b>						
151	FORT HEALTHCARE	07/05/2010	POLICE PATROL/PROFESSION	08/04/2010	89.80	100-52110-219
Total FORT HEALTHCARE:					89.80	
<b>FORT MEDICAL GROUP</b>						
3509	FORT MEDICAL GROUP	G000724BECK	POLICE ADMN/PROFESSIONAL	08/04/2010	200.00	100-52100-219
Total FORT MEDICAL GROUP:					200.00	
<b>GMA PRINTING INC</b>						
1920	GMA PRINTING INC	R036519	FIRE/OPERATING SUPPLIES	08/04/2010	39.50	100-52200-340
Total GMA PRINTING INC:					39.50	
<b>GRAINGER</b>						
387	GRAINGER	9294755468	WASTEWATER/LAB SUPPLIES	08/04/2010	206.32	620-62870-340
Total GRAINGER:					206.32	
<b>HACH CO</b>						
211	HACH CO	309244327	WATER/CHLORINE PILLOWS	08/04/2010	110.90	610-61630-341
Total HACH CO:					110.90	
<b>HD SUPPLY WATERWORKS LTD</b>						
2459	HD SUPPLY WATERWORKS LT	1649452	WATER/CLAMPS & FLANGE	08/04/2010	595.45	610-61654-350
2459	HD SUPPLY WATERWORKS LT	1649471	WATER/COUPLINGS	08/04/2010	199.66	610-61652-350
2459	HD SUPPLY WATERWORKS LT	1649487	WATER/VALVE BOX	08/04/2010	1,309.06	610-61651-350
2459	HD SUPPLY WATERWORKS LT	1666655	WATER/RISERS	08/04/2010	126.02	610-61651-350
2459	HD SUPPLY WATERWORKS LT	1681693	WATER/FLAGS	08/04/2010	112.01	610-61652-350
Total HD SUPPLY WATERWORKS LTD:					2,342.20	
<b>HYDRITE CHEMICAL CO</b>						
186	HYDRITE CHEMICAL CO	01302455	WASTEWATER/CHEMICALS	08/04/2010	1,032.46	620-62840-341
186	HYDRITE CHEMICAL CO	01303367	WASTEWATER/CREDIT	08/04/2010	400.00	620-62840-341
Total HYDRITE CHEMICAL CO:					632.46	
<b>JAMES IMAGING SYSTEMS INC</b>						
4617	JAMES IMAGING SYSTEMS INC	9865093	GEN ADMN/COPIER	08/04/2010	383.13	100-51450-244
4617	JAMES IMAGING SYSTEMS INC	9865093	GEN ADMN/COPIES	08/04/2010	62.40	100-51400-310
4617	JAMES IMAGING SYSTEMS INC	9865093	COUNCIL/COPIES	08/04/2010	78.59	100-51100-310
Total JAMES IMAGING SYSTEMS INC:					514.12	
<b>LARK UNIFORM INC</b>						
605	LARK UNIFORM INC	59859	POLICE PATROL/UNIFORM	08/04/2010	89.95	100-52110-118
Total LARK UNIFORM INC:					89.95	
<b>LYCON INC</b>						
55	LYCON INC	0660279-4N	PARKS/CONCRETE E GATE PA	08/04/2010	1,337.50	245-56120-822
Total LYCON INC:					1,337.50	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account Number
<b>MCMMASTER-CARR SUPPLY CO</b>						
189	MCMMASTER-CARR SUPPLY CO	59343138	WASTEWATER/EQUIPMENT MA	08/04/2010	74.56	620-62830-355
Total MCMMASTER-CARR SUPPLY CO:					74.56	
<b>MID-AMERICAN RESEARCH CHEMICAL</b>						
3571	MID-AMERICAN RESEARCH CH	0420329	WASTEWATER/BLDG & GROUN	08/04/2010	200.24	620-62860-357
Total MID-AMERICAN RESEARCH CHEMICAL:					200.24	
<b>MILPORT ENTERPRISES INC</b>						
1408	MILPORT ENTERPRISES INC	198804	WASTEWATER/CHEMICALS	08/04/2010	5,213.80	620-62840-341
1408	MILPORT ENTERPRISES INC	199332	WASTEWATER/CHEMICALS	08/04/2010	5,175.81	620-62840-341
Total MILPORT ENTERPRISES INC:					10,389.61	
<b>MORGAN BIRGE &amp; ASSOCIATES INC</b>						
4591	MORGAN BIRGE & ASSOCIATE	MC0026661	WASTEWATER/PHONE	08/04/2010	75.00	620-62820-225
Total MORGAN BIRGE & ASSOCIATES INC:					75.00	
<b>NORTHERN LAKE SERVICE INC</b>						
1335	NORTHERN LAKE SERVICE INC	199332	WASTEWATER/CONTRACTUAL	08/04/2010	312.00	620-62890-295
Total NORTHERN LAKE SERVICE INC:					312.00	
<b>OFFICE DEPOT</b>						
4146	OFFICE DEPOT	524838441001	POLICE ADMN/OFFICE SUPPLI	08/04/2010	253.09	100-52100-310
4146	OFFICE DEPOT	524838481001	POLICE ADMN/OFFICE SUPPLI	08/04/2010	35.09	100-52100-310
Total OFFICE DEPOT:					288.18	
<b>PMI</b>						
5492	PMI	0237127	RESCUE/OPERATING SUPPLIE	08/04/2010	872.00	100-52300-340
Total PMI:					872.00	
<b>R &amp; R INSURANCE SERVICES INC</b>						
1492	R & R INSURANCE SERVICES I	945697	WORKERS COMP	08/04/2010	13,145.00	100-21532
1492	R & R INSURANCE SERVICES I	945814	GEN/LIABILITY INSURNACE	08/04/2010	2,628.75	100-51540-513
1492	R & R INSURANCE SERVICES I	945814	GEN/PUBLIC OFFICE LIABILITY	08/04/2010	1,003.50	100-51540-513
1492	R & R INSURANCE SERVICES I	945814	GEN/POLICE PROFESSIONAL	08/04/2010	1,310.00	100-51540-514
1492	R & R INSURANCE SERVICES I	945814	GEN/AUTO LIABILITY	08/04/2010	1,207.35	100-51540-512
1492	R & R INSURANCE SERVICES I	945814	GEN/AUTO PHYSICAL DAMAGE	08/04/2010	1,609.91	100-51540-512
1492	R & R INSURANCE SERVICES I	945814	CABLE/AUTO LIABILITY	08/04/2010	17.51	200-55110-341
1492	R & R INSURANCE SERVICES I	945814	CABLE/AUTO PHYSICAL DAMA	08/04/2010	39.60	200-55110-341
1492	R & R INSURANCE SERVICES I	945814	STORMWATER/GEN LIABILITY	08/04/2010	175.25	630-63300-519
1492	R & R INSURANCE SERVICES I	945814	STORMWATER/PUBLIC OFFICE	08/04/2010	66.90	630-63300-519
1492	R & R INSURANCE SERVICES I	945814	STORMWATER/AUTO LIABILITY	08/04/2010	52.53	630-63300-519
1492	R & R INSURANCE SERVICES I	945814	STORMWATER/AUTO PHYSICA	08/04/2010	5.11	630-63300-519
1492	R & R INSURANCE SERVICES I	945814	WATER/GEN LIABILITY	08/04/2010	350.50	610-61924-510
1492	R & R INSURANCE SERVICES I	945814	WATER/PUBLIC OFFICE LIABLI	08/04/2010	133.80	610-61924-510
1492	R & R INSURANCE SERVICES I	945814	WATER/AUTO LIABILITY	08/04/2010	87.55	610-61924-510
1492	R & R INSURANCE SERVICES I	945814	WATER/AUTO PHYSICAL DAMA	08/04/2010	23.00	610-61924-510
1492	R & R INSURANCE SERVICES I	945814	WASTEWATER/GEN LIABILITY	08/04/2010	350.50	620-62810-519
1492	R & R INSURANCE SERVICES I	945814	WASTEWATER/PUBLIC OFFICE	08/04/2010	133.80	620-62810-519
1492	R & R INSURANCE SERVICES I	945814	WASTEWATER/AUTO LIABILITY	08/04/2010	106.06	620-62810-519
1492	R & R INSURANCE SERVICES I	945814	WASTEWATER/AUTO PHYSICA	08/04/2010	72.38	620-62810-519

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account Number
1492	R & R INSURANCE SERVICES I	945814	WASTEWATER/SEWER BACKU	08/04/2010	1,088.00	620-62810-519
1492	R & R INSURANCE SERVICES I	946231	FIRE/RENEWAL	08/04/2010	3,727.53	100-52200-790
1492	R & R INSURANCE SERVICES I	946231	RESCUE/RENEWAL	08/04/2010	3,727.53	100-52300-790
Total R & R INSURANCE SERVICES INC:					31,062.06	
<b>RADISSON PAPER VALLEY HOTEL</b>						
2953	RADISSON PAPER VALLEY HO	752350	COURT/KELLY	08/04/2010	140.00	100-51200-330
Total RADISSON PAPER VALLEY HOTEL:					140.00	
<b>RICOH AMERICAS CORP</b>						
90	RICOH AMERICAS CORP	11766997	RESCUE/COPIER	08/04/2010	60.61	100-52300-310
90	RICOH AMERICAS CORP	11766998	FIRE/COPIER	08/04/2010	27.39	100-52200-310
90	RICOH AMERICAS CORP	11791475	WATER/COPIER	08/04/2010	25.91	610-61903-310
Total RICOH AMERICAS CORP:					113.91	
<b>ROCK RIVER COALITION</b>						
3869	ROCK RIVER COALITION	JUNE 9, 2010	REC/EDUCATION MATERIALS	08/04/2010	17.57	100-55300-341
Total ROCK RIVER COALITION:					17.57	
<b>RUBBERECYCLE</b>						
5915	RUBBERECYCLE	24653	PARKS/PLAYGROUND COVER	08/04/2010	1,870.00	245-56120-822
Total RUBBERECYCLE:					1,870.00	
<b>SASSY SHIRTS</b>						
131	SASSY SHIRTS	32139	PARKS/BENCH PLAQUE	08/04/2010	79.70	245-56120-822
131	SASSY SHIRTS	32353	REC/T BALL EQUIPMENT	08/04/2010	24.00	100-55300-341
131	SASSY SHIRTS	32354	REC/T BALL EQUIPMENT	08/04/2010	20.00	100-55300-341
Total SASSY SHIRTS:					123.70	
<b>SCHENK-HUEGEL CO</b>						
72	SCHENK-HUEGEL CO	198124	FIRE/CAPITAL EQUIPMENT	08/04/2010	373.00	100-52200-810
Total SCHENK-HUEGEL CO:					373.00	
<b>SHADOW FAX</b>						
2800	SHADOW FAX	INV086040	CDA/TONER	08/04/2010	365.20	900-56500-310
Total SHADOW FAX:					365.20	
<b>SLEWFOOT SIGNS</b>						
686	SLEWFOOT SIGNS	3479	RESCUE/OPERATING SUPPLIE	08/04/2010	246.00	100-52300-340
Total SLEWFOOT SIGNS:					246.00	
<b>SOUTHERN LAKES NEWSPAPERS</b>						
1844	SOUTHERN LAKES NEWSPAPE	000099 1 YR	POLICE ADMN/SUBSCRIPTION	08/04/2010	31.00	100-52100-320
Total SOUTHERN LAKES NEWSPAPERS:					31.00	
<b>ST MARY'S DEAN VENTURES INC</b>						
2068	ST MARY'S DEAN VENTURES I	544371617	FIRE/OPERATING SUPPLIES	08/04/2010	160.00	100-52200-340

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account Number
Total ST MARY'S DEAN VENTURES INC:					160.00	
<b>STA-LITE CORP</b>						
102	STA-LITE CORP	4468	EM GOV/EQUIPMENT REPAIR	08/04/2010	112.50	100-52500-242
Total STA-LITE CORP:					112.50	
<b>STRAND ASSOCIATES INC</b>						
358	STRAND ASSOCIATES INC	0079909	CLAY ST/RECONSTRUCTION	08/04/2010	795.72	493-57500-821
358	STRAND ASSOCIATES INC	0079984	WASTEWATER/IMPROVEMENT	08/04/2010	34,153.95	620-62810-820
358	STRAND ASSOCIATES INC	0080121	TECH PARK/SVC	08/04/2010	15,274.59	440-57663-841
358	STRAND ASSOCIATES INC	0080122	TECH PARK/SVC	08/04/2010	2,516.52	440-57663-841
358	STRAND ASSOCIATES INC	0080123	STARIN RD/BASIC SVC	08/04/2010	10,957.65	440-57663-840
358	STRAND ASSOCIATES INC	0080124	STARIN RD/BASIC SVC	08/04/2010	2,463.70	440-57663-840
358	STRAND ASSOCIATES INC	0080125	PLANNING/DLK ANN ST	08/04/2010	71.23	100-56300-219
358	STRAND ASSOCIATES INC	0080125	WASTEWATER/E SIDE SEWER	08/04/2010	155.58	620-62820-219
358	STRAND ASSOCIATES INC	0080125	5 POINTS/DESIGN & COSTS	08/04/2010	233.82	446-57663-840
358	STRAND ASSOCIATES INC	0080125	PLANNING/WATERS EDGE SOU	08/04/2010	115.16	100-56300-219
358	STRAND ASSOCIATES INC	0080125	INNOVATION CTR/ISSUES	08/04/2010	713.80	440-57663-841
358	STRAND ASSOCIATES INC	0080125	TRATT ST/SIDEWALK & PATH	08/04/2010	3,677.04	494-57500-821
358	STRAND ASSOCIATES INC	0080125	PLANNING/WALMART	08/04/2010	1,072.57	100-56300-219
358	STRAND ASSOCIATES INC	0080125	PLANNING/GALLOWAY RIDGE	08/04/2010	1,306.88	100-56300-219
358	STRAND ASSOCIATES INC	0080125	STORMWATER/STARIN PARK	08/04/2010	1,087.88	630-63440-295
Total STRAND ASSOCIATES INC:					74,596.09	
<b>STREET CRIMES</b>						
5917	STREET CRIMES	2045794	POLICE PATROL/TRAINING	08/04/2010	395.00	100-52110-154
Total STREET CRIMES:					395.00	
<b>UNITED LABORATORIES</b>						
522	UNITED LABORATORIES	837323	WATER/CLEANING ACID	08/04/2010	332.45	610-61630-341
Total UNITED LABORATORIES:					332.45	
<b>USA BLUE BOOK</b>						
1062	USA BLUE BOOK	188907	WATER/CHEMICAL INJ TUBE	08/04/2010	48.36	610-61630-350
Total USA BLUE BOOK:					48.36	
<b>VANDEWALLE &amp; ASSOCIATES</b>						
27	VANDEWALLE & ASSOCIATES	201006046	PLANNING/JUNE SVC	08/04/2010	8,134.50	100-56300-219
Total VANDEWALLE & ASSOCIATES:					8,134.50	
<b>VEOLIA ES SOLID WASTE MIDWEST</b>						
2542	VEOLIA ES SOLID WASTE MID	A10000317925	WASTEWATER/OPERATING SU	08/04/2010	658.46	620-62840-342
Total VEOLIA ES SOLID WASTE MIDWEST:					658.46	
<b>WAL CO-SHERIFF'S DEPT</b>						
125	WAL CO-SHERIFF'S DEPT	JUNE 2010	COURT/JUNE CONFINEMENT	08/04/2010	45.00	100-51200-293
Total WAL CO-SHERIFF'S DEPT:					45.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account Number
<b>WALMART COMMUNITY</b>						
1507	WALMART COMMUNITY	1507-080410	IT/SUPPLIES	08/04/2010	126.73	100-51450-310
1507	WALMART COMMUNITY	1507-080410	POLICE ADMN/OPERATING SU	08/04/2010	59.74	100-52100-340
1507	WALMART COMMUNITY	1507-080410	CSO/OPERATING SUPPLIES	08/04/2010	9.97	100-52140-340
1507	WALMART COMMUNITY	1507-080410	RESCUE/OPERATING SUPPLIE	08/04/2010	170.13	100-52300-340
1507	WALMART COMMUNITY	1507-080410	PARKS/TRIPPE BEACH MAINT	08/04/2010	97.24	100-53270-359
1507	WALMART COMMUNITY	1507-080410	REC/CONCESSIONS	08/04/2010	23.72	100-55210-342
1507	WALMART COMMUNITY	1507-080410	REC/PROGRAM SUPPLIES	08/04/2010	8.14	100-55300-341
1507	WALMART COMMUNITY	1507-080410	SENIORS/SUPPLIES	08/04/2010	26.77	100-55310-340
1507	WALMART COMMUNITY	1507-080410	CABLE/OPERATING SUPPLIES	08/04/2010	17.77	200-55110-340
1507	WALMART COMMUNITY	1507-080410	CABLE/VEHICLE OIL	08/04/2010	7.11	200-55110-341
1507	WALMART COMMUNITY	1507-080410	LIBRARY/OFFICE SUPPLIES	08/04/2010	9.36	220-55110-310
1507	WALMART COMMUNITY	1507-080410	LIBRARY/JUVENILE PROGRAM	08/04/2010	238.33	220-55110-342
1507	WALMART COMMUNITY	1507-080410	WASTEWATER/OFFICE SUPPLI	08/04/2010	15.02	620-62820-310
<b>Total WALMART COMMUNITY:</b>					<b>810.03</b>	
<b>WATER WELL SOLUTIONS SVC GROUP</b>						
4323	WATER WELL SOLUTIONS SVC	10-08-120	WATER/WELL #9 REHAB	08/04/2010	28,554.00	610-61936-810
<b>Total WATER WELL SOLUTIONS SVC GROUP:</b>					<b>28,554.00</b>	
<b>WE ENERGIES</b>						
25	WE ENERGIES	25-080410	CITY/ELECTRIC	08/04/2010	6,928.02	100-51600-222
25	WE ENERGIES	25-080410	WASTEWATER/LIFT STATIONS	08/04/2010	881.04	620-62830-222
25	WE ENERGIES	25-080410	WASTEWATER/ELECTRIC	08/04/2010	1,563.79	620-62840-222
25	WE ENERGIES	25-080410	WASTEWATER/GAS	08/04/2010	12,193.26	620-62840-224
<b>Total WE ENERGIES:</b>					<b>21,546.11</b>	
<b>WELDERS SUPPLY CO BELOIT INC</b>						
49	WELDERS SUPPLY CO BELOIT	482049	RESCUE/OXYGEN	08/04/2010	53.11	100-52300-340
<b>Total WELDERS SUPPLY CO BELOIT INC:</b>					<b>53.11</b>	
<b>WHITEWATER FIRE DEPT</b>						
284	WHITEWATER FIRE DEPT	284-080410	FIRE/CAPITAL EQUIPMENT	08/04/2010	724.91	100-52200-810
284	WHITEWATER FIRE DEPT	284-080410	FIRE/EMPLOYEE ED & TRNG	08/04/2010	20.00	100-52200-154
284	WHITEWATER FIRE DEPT	284-080410	FIRE/EMPLOYEE ED & TRNG	08/04/2010	506.88	100-52200-154
284	WHITEWATER FIRE DEPT	284-080410	FIRE/EMPLOYEE ED & TRNG	08/04/2010	39.27	100-52200-154
284	WHITEWATER FIRE DEPT	284-080410	CRASH CREW/EMPLOYEE ED &	08/04/2010	74.70	100-52210-154
<b>Total WHITEWATER FIRE DEPT:</b>					<b>1,365.76</b>	
<b>WI DEPT OF JUSTICE</b>						
2105	WI DEPT OF JUSTICE	T9879	DISPATCH/MISC CONTRACTUA	08/04/2010	2,241.00	100-52600-295
<b>Total WI DEPT OF JUSTICE:</b>					<b>2,241.00</b>	
<b>WI STATE LABORATORY OF HYGIENE</b>						
1899	WI STATE LABORATORY OF HY	4915040	WATER/FLUORIDE TEST	08/04/2010	40.00	610-61630-340
<b>Total WI STATE LABORATORY OF HYGIENE:</b>					<b>40.00</b>	
<b>WOLTER POWER SYSTEMS</b>						
3247	WOLTER POWER SYSTEMS	5016304	WASTEWATER/CONTRACTUAL	08/04/2010	1,217.29	620-62880-242

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account Number
Total WOLTER POWER SYSTEMS:					1,217.29	
<b>WORLDWIDE INFORMATION INC</b>						
5710	WORLDWIDE INFORMATION IN	INV0178160	POLICE PATROL/OPERATING S	08/04/2010	164.00	100-52110-340
Total WORLDWIDE INFORMATION INC:					164.00	
Grand Totals:					212,978.51	

Dated: \_\_\_\_\_

*July 28, 2010*

Finance Director: \_\_\_\_\_

*[Signature]*

## Report Criteria:

Detail report.

Invoices with totals above \$0.00 included.

Paid and unpaid invoices included.



Monday, June 28, 2010  
4:30 PM – CDA Board of Directors  
2<sup>nd</sup> Floor – Lakefront Conference Room  
Whitewater Municipal Building  
312 W. Whitewater Street  
Whitewater, WI 53190

**1. Call to order and roll call**

Tom Miller called the meeting to order at 4:30PM.

Present: Jim Allen, Jeff Knight, Alan Marshall, Tom Miller, Patrick Singer, Al Stanek, Jim Stewart

Absent: None

Others Present: Kevin Brunner, Mary Nimm, Jim Caldwell (@ 4:55PM), Doug Saubert, Brad Viegut -- Robert W Baird, Lacey Reichwald – Board, DTW (5:00 PM through item #7)

**2. Approval of the Agenda**

Jim Allen motioned to approve the agenda, moving item 6 to follow item #4. Marshall seconded.

Ayes: Allen, Knight, Marshall, Miller, Singer, Stanek, Stewart

Nays: None

Absent: None

The motion to approve the agenda, with the amendment, passed unanimously on a voice vote.

**3. HEARING OF CITIZEN COMMENTS.** *No formal CDA Action will be taken during this meeting although issues raised may become a part of a future agenda. Items on the agenda may not be discussed at this time.*

**NO CITIZEN COMMENTS**

**4. Approval of the May 24, 2010 Minutes**

Jim Allen motioned to approve the May 24, 2010 minutes. Marshall seconded. Singer noted several missing items and requested corrections to items 2, 3, 5 & 6.

Ayes: Allen, Knight, Marshall, Miller, Singer, Stanek, Stewart

Nays: None

Absent: None

The motion to approve the May 24, 2010 minutes, with corrections as noted, passed unanimously on a voice vote.

**5. Receipt and Filing of May, 2010 Financials**

Saubert noted loan payments are being made. Very little activity. No new loans.

Caldwell – questioned whether the \$750,000 payment from the CDA for the Innovation should be recorded as a note receivable and not grant?

Saubert & Brunner – there have been problems with construction on the innovation center and we will most likely need the entire \$750,000

Saubert – stated that he thought it was a grant, however it will be noted as a note receivable for some amount not to exceed \$750,000..

Knight – was this to be returned to CDA as loan at no interest to low-interest at some point in the future when funds are available?

Brunner – no interest.

Saubert – the fact that this is not a grant means the repayment will affect the TID 4 pro-forma numbers.

Caldwell – Admin fund is about 6 months away from running out of TID support – what do we do next?

Saubert – TID will still be available, no general funds will be available, and the CDA will be ½ short in 2011.

Have talked with Financial Advisors about ways to re-“fund” the CDA.

Caldwell – talked with the City Attorney about the Housing CDBG RLF funds, and the state will allow us to fund the acquisition of distressed housing and rehab properties with specific approvals on each project.

Al Marshall motioned to accept the financials. Allen seconded.

Ayes: Allen, Knight, Marshall, Miller, Singer, Stanek, Stewart

Nays: None

Absent: None

The motion to approve the financials passed unanimously on a voice vote.

**6. Discussion and Possible Action on Distressed TIF Regulations as they relate to Whitewater’s TIF District #4**

Nimm noted that at the last CDA meeting the board discussed the new SB 291, Distressed TID Regulations.

During the discussion, there were some unanswered questions and a request to have more of a discussion with

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the City's Financial Advisors from Robert W Baird. Nimm then introduced Bradley Viegut to the Board and opened the discussion.

Viegut – noted there is a timeline draft on the table – the entire process of declaring a TID distressed could be finished by Sept, 2010. Baird's suggestion is to have the TIF life extended, then to refinance debt. Noting, that extending the life, does not extend the expenditure period. If it is declared distressed, the district can never be amended again, nor can the overlapping boundaries, nor can it be a donor TID.

Knight – concerned about accepting designation, can no longer be a donor, can no longer do any other projects with ½ mile of district, in essence this is a "district freeze", cannot incorporate any district land in any new districts.... What would be the total savings?

Viegut: about \$1/4m freed-up annually (rough estimates based on current market)

Stewart – restriction expenditure date? What are the limiting factors of this restriction?

Viegut – September 2012 is the deadline to make any expenditure, whether or not the district is declared distressed. Final dollars technically need to be spent by September 2012. Stipulation does not change the current expenditure period. Focus is to allow the district to remain open and collect revenues for 10 additional years to re-pay the debt.

Brunner – the City is considering this designation for TID 4 due to a major default in payment or development on the Elkhorn Ventures Project, as well as a large reduction (\$2.5m) in Generac's property value, and overall property values have decreased.

Caldwell – when re-set, cash flow, would we have to re-set some bonds? Is there opportunity to use for CDA admin?

Viegut – there is present value savings with refinancing. Scenarios: TID now, shortfalls. Restructure, cash flow support debt. Restricted to uses of existing debt. Limitations on using borrowed money for operations.

Knight – explain: point 2 – distressed TID's recipient TID's... could we use other WW TID's to pay-off?

Viegut – other TID's have to prove there is surplus to use funds to help pay-off other TID's

Caldwell – is there something that spells-out opportunities, in addition to spreading debt out 10 years? Other uses if we did a bond issue?

Viegut – the pro-forma analysis lays out cash flow pressures, new bonds have to be tied to incremental revenue, this process best identifies problems. Focusing on revenues will help CDA.

Brunner – we haven't anticipated any new borrowings, we need to look at how we can finance Eastgate. We have to work within the parameters of project plan. Might need more borrowings from TID 4, this decision will be based on bids for Tech Park & Starin Road infrastructure projects. We have until Sept 18, 2012 for final expenditures.

Caldwell – how do we reset current debt and take advantage of Distressed TID and look at our options for additional borrowings?

Knight – must be within current project plan. I.E. "façade versus façade."

Viegut – if decision is not to distress the district, then you can amend the plan to add projects or expand scope of borrowings or add properties. Two separate issues.

Caldwell – look at what we've actually spent, what projects we've done so far as it is written into the plan. Business attraction written as a project?

Saubert – will have to borrow money soon and if we don't spend, it can only be used for debt service payments.

Miller – where is Eastgate on the schedule now? If it's putting pressure on the TID, how important is it if it is functioning as it is?

Saubert – Eastgate has been moved out of TID 4 as a project and placed on its own project schedule.

Knight – noting once the district is restricted; all property within the current boundaries is Locked-Out for 8 years for any future TID assistance. The sooner the pay-off, the better.

Stewart – no options unless we want the tax-payer to pick-up the shortfall...

Stanek – tell us more about developer incentives... encumbering an escrow...

Viegut – the City/CDA will need a developer in hand, and a project agreement in place.

Caldwell – limitations on TID 4 only?  
 Viegut – only impacts TID 4, not other the TID's.

Allen – how soon do we need to move?  
 Viegut – September 2011 cut-off.

Brunner – will work on project plans and pro-forma's and discuss at next meeting.

Caldwell – we need to look at what happens to the property in the business park if we are locked-out of future incentives for 17 years... what would be the incentive we could offer developers looking for incentives to locate in our park? Can we run an exercise to look at what happens if we shave property out of TID 4 so we may create a new TID in the future?

Stanek – we can look at what re-financing the debt would do?

**7. Discussion and Possible Action on Downtown Whitewater Inc.'s request for a \$1,000 Sponsor of the Jack Hanna Event Scheduled for August 29, 2010**

Nimm noted that she has been approached by the Director of Downtown Whitewater. The CDA has been asked to consider sponsoring \$1,000 for the Jack Hanna Event scheduled for August 29, 2010. Lacey Reichwald is present to answer any questions the CDA might have.

Ms. Reichwald noted there is a Two-fold purpose – first, to bring large groups of people to Whitewater from surrounding areas. It is anticipated that the performance will sell-out 1,200 tickets. Second, to raise money to improve downtown district by installing custom bike racks (to be designed and constructed by local, Whitewater businesses) with this purpose serving an educational element as well as incorporating "arts" into the history of Downtown. One bike rack will be a Reaper, one will be a cow, and there will be two others of which the design was not available. DTW wants to pay entirely for the cost of the show (through the sponsors) so the proceeds can go to DTW for the bike racks and then any additional funds will be used for Holiday decorations for the DT.

I want to sponsor the Jack Hanna  
 Whitewater Gone Wild Safari at

Level 1 (\$7500)  
 Level 2 (\$3500)  
 Level 3 (\$1000)

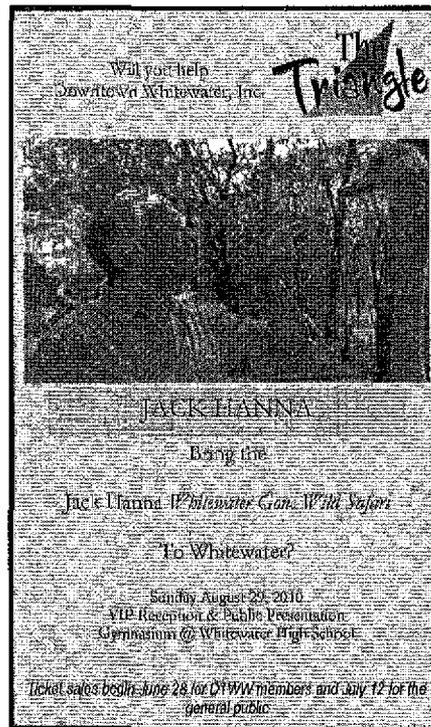
All proceeds are going towards the purchase of holiday  
 decorations and additional bike racks for the downtown.

Name \_\_\_\_\_  
 Business \_\_\_\_\_  
 Address \_\_\_\_\_  
 Phone \_\_\_\_\_  
 E-mail \_\_\_\_\_

www.downtownwhitewater.com

Mail to:  
 Tamara Brodzicki, Director  
 Downtown Whitewater, Inc.  
 P.O. Box 688  
 Whitewater, Wisconsin 53190

Questions: 262/478-2200 [director@downtownwhitewater.com](mailto:director@downtownwhitewater.com)



Stanek what account would we use to pay for this? Could we transfer Intern budget to something other? Does this fit under marketing? The CDA is not only putting in infrastructure, we are about making this a "fun place" to live and visit.

Knight – will second if we can donate the 10 tickets (for this sponsorship level) to patrons who cannot afford to go.

Allen – does this fit in as a "one time entertainment" and is this within our mission?

Singer – what is the cost of the event?

Lacey – the event fee is \$15,000, any additional funds raised will be used for advertising, and the remaining will be directed to the bike rack(s) project and Downtown holiday decorations.

Brunner – concern is that there are other events and where do we stop accepting sponsorships? CDA funds should be used for items directly related to the mission of the organization.

Knight – noted that excess proceeds will go back to benefit the “City” and will not be used to run the organization

Marshall – what recognition will we get if we approve the sponsor?

Stanek – would DTW take care of donating tickets on behalf of the CDA?

Singer – what about if we contribute to the capital improvements for the bike racks versus the show? Where does it (donating money) end?

Allen – funds have already been raised at a level to pay for the show, the show is not a direct benefit to DTW, and the show is not in DTW, therefore CDA funds might be better used to directly support the infrastructure and used to directly pay for the bike racks. I support the event but want to make sure that we’re staying within the purview of the CDA.

Stanek motioned to approve sponsoring the Jack Hanna Event at \$1,000 with the intention of marketing the community and the 10 sponsor level tickets shall be given on behalf of the CDA to those who might not otherwise be able to afford a ticket. Knight seconded.

Ayes: Knight, Marshall, Miller, Singer, Stanek, Stewart

Nays: Allen

Absent: None

The motion to approve sponsoring the Jack Hanna Event at \$1,000 with the intention of marketing the community and the 10 sponsor level tickets shall be given on behalf of the CDA to those who might not otherwise be able to afford a ticket passed 6-1 roll-call vote.

## **8. Update on WinkHaus North America @ 1171 Universal Blvd**

Nimm noted that she has had more than one conversation with representatives at WinkHaus North America. During those conversations, it has been brought to her attention that WinkHaus North America will be vacating its North American headquarters and leaving Whitewater. There have been at least two attempts to negotiate a deal with replacement companies (un-named) to keep some sort of operations at the 1171 Universal Blvd address, but none has worked-out. The building will have lease space available at the time WinkHaus departs Whitewater, and the ED Loan will be paid-in-full.

Singer – requested we find out why they are leaving, and suggested we conduct exit interviews to ensure we are listening to the needs of the businesses and possibly preventing others from leaving, having known what is forcing others to go.

## **9. Whitewater Technology Park**

### **a. Innovation Center Update**

#### **i. Construction Progress**

Brunner – issue: removal of rock. More rock than initial borings have illustrated, we are trying to minimize the cost. TPB reviewed situation earlier in month, estimate is an increase of up to \$80,000. Process question: should TPB review change orders over \$10,000 and/or CDA as well before they go to Council?

Stanek - \$10,000 seems like micro-managing, key is if we start to bump-over limit.

Brunner – will do written construction report. Negotiating the cost, we have a lump sum rock removal written into the contract documents and asking what the “base” is. Steel should be going up this week. TPB received two large grants and has moved to put solar power in/on the building. Net cost is \$54,000 on a \$158,000 (approx.) project with payback at 15-18 years.

Knight – CDA could authorize TPB to address change orders until we hit the “base” bid.

#### **ii. Executive Director Search**

Nimm noted that she and Stewart are on the Search and Screen Committee for the Innovation Manager. Stewart noted there are 20 candidates who submitted all requested materials. The committee is comprised of Gayhart, Chenoweth, Stewart, Nimm and persons from the Office of Research and Sponsored Programs with final decisions to be made by University personnel. It is expected that the selection process shall take a few months with the candidate selected and starting in late August, early September.

### **b. Infrastructure Updates**

#### **i. Starin Road Extension**

ROW has been secured. Bid opening on July 15. Contracts awarded July 20.

#### **ii. Tech Park Infrastructure**

Bid opening on July 14. Contracts awarded July 20.

## 10. CDA Coordinator Updates

### a. **Train Depot – Grant for Restoration**

Nimm reported preliminary designs are almost completed and will be presented for comment and input at a July 1 meeting.

### b. **Lakes Area Realtors 2009 Grant Application Status & 2010 Potential**

Nimm reported that in 2009 a Grant Application was submitted to the Lakes Area Realtors Association. The grant award was a photo morph of a specific area in the community (the submission was for the East Gateway intersection) for which there is potential for redevelopment. Whitewater was one of two finalists, and was not selected to receive the award. The City is however, still under consideration for the award if the Association can get more money to do the project. She met with a representative from the Association on Monday, June 28<sup>th</sup> to discuss a similar planning project for the former 5-Points intersection. The Association likes the East Gateway Project and has requested that Nimm re-submit photos. Nimm will also take and submit photos of the 5-Points properties for a price quote for a similar planning project at this location.

### c. **Equity Commercial Real Estate**

Tim Casey has left Equity Real Estate for a position with the City of Brookfield. Brunner and Nimm met with both Dave Zepecki and Marilyn Haroldson on Friday, June 25<sup>th</sup>. Marilyn will be representing Whitewater and replacing Mr. Casey.

### **USDA Rural Development Housing Forum**

Nimm reported on June 23, she attended a Housing Forum at the USDA offices in Madison. Several organizations involved in Housing Initiatives in Wisconsin were present. Each shared the assistance with housing they offer and the group is working on ways to better share resources and help those in need.

### d. **Buy Local**

Nimm reported that she will be walking in the 4<sup>th</sup> of July parade and passing out information in support of the Buy Local effort.

### e. **Site Search Request(s)**

Nimm reported there were no site searches since the last meeting.

### f. **Retention Visits**

Nimm reported that she and Gayhart conducted one retention visit at Whitewater Manufacturing. Singer asked if others have been scheduled and questioned the make-up of "retention visit team."

### g. **Marketing Campaign**

Nimm reported that the first two postcards have been mailed. Return mailings are minimal and no phone calls have come in as a result.

### h. **Tourism Council**

Nimm noted the Memorandum of Understanding between the Whitewater Tourism Council and the Walworth County Visitors Bureau has been signed. A copy of the agreement has been distributed to the CDA. Nimm also noted that the Whitewater Tourism Council needs a Whitewater representative (voting tourism member or ex-officio) to serve on the Walworth County tourism board. Meetings are once monthly on Monday mornings. Nimm has volunteered to be that representative at the Board's approval.

### i. **Chamber Event**

June 24, was the annual Chamber Cook-Out and silent auction. Nimm participated as a helper and spent most of the night in the kitchen helping serve food to over 100 attendees.

## 11. Future Agenda Items

1. TIF 4 Pro-Forma's
2. TIF 4 Project Plan
3. TIF Benefit Presentation
4. Formalize Change Order Process
5. Report on Exit Interview with WinkHaus
6. Tourism

## 12. July Meeting Update – July 26, 2010

Next meeting date has been confirmed.

## 13. Adjourn

Al Stanek motioned to adjourn at 6:30PM. Marshall seconded.

**Respectfully Submitted,**

*Mary S Nimm*  
CDA Coordinator

TO: City Manager and Council Members

FROM: Doug Saubert, Finance Director

RE: Authorized & Manual Checks Processed/Paid for June 2010

Date: July 27, 2010

Attached is a detail listing of all manual and authorized checks processed for June 2010. The total amount was \$926,653.87. The amounts per fund are as follows:

FUND	NAME	TOTAL
100	General Fund	109,866.90
200	Cable TV	486.13
216	Police Vehicle	1,352.70
220	Library	17,864.22
235	Taxicab	11,239.37
245	Parkland Development	75.00
295	Police-Trust	1,272.50
440	TIF #4	250,136.83
461	Cravath L/F Electric Upgrade	9,400.00
490	Starin Road Reconstruction	46,320.00
493	Clay St Reconstruction	2,683.46
610	Water Utility	638.46
620	Sewer Utility	431,915.04
630	Stormwater	769.65
800	Tax Collection	30,989.59
810	Rescue Squad	3,615.27
820	Rock River Stormwater	7,988.15
900	CDA	40.60
	TOTALS	\$926,653.87

Please let me know if you have any questions.

FUND	NAME	TOTAL AMOUNT	06/01/2010	06/03/2010	06/07/2010	06/08/2010	06/09/2010	06/10/2010	06/14/2010	06/17/2010	06/18/2010	06/25/2010	06/30/2010
100	General Fund	109,866.90	696.00	40,919.23	2.35			3,767.05	4,044.05	44,601.47	800.00	15,036.75	
200	Cable TV	486.13		480.83						5.30			
216	Police Equipment	1,352.70										1,352.70	
220	Library	17,864.22		764.42			69.30	505.00		16,853.82		(328.32)	
235	Taxicab	11,239.37								11,239.37			
245	Parkland Development	75.00		75.00									
295	Police-Trust	1,272.50								1,272.50			
440	TIF #4	250,136.83		600.00		210,750.00				510.00		38,276.83	
461	Cravath LF Electric Upgrade	9,400.00										9,400.00	
490	Starin Road Reconstruction	46,320.00		46,320.00									
493	Clay St Reconstruction	2,683.46										2,683.46	
610	Water Utility	638.46		105.43						358.50		174.53	
620	Sewer Utility	431,915.04		49.26						405,204.57		26,661.21	
630	Stormwater	769.65		162.00						607.65			
800	Tax Collection	30,989.59											30,989.59
810	Rescue Squad	3,615.27											3,615.27
820	Rock River Stormwater Group	7,988.15											7,988.15
900	CDA	40.60		7.70						32.90			
	<b>TOTALS</b>	<b>926,653.87</b>	<b>696.00</b>	<b>89,483.87</b>	<b>2.35</b>	<b>210,750.00</b>	<b>69.30</b>	<b>4,272.05</b>	<b>4,044.05</b>	<b>480,686.08</b>	<b>800.00</b>	<b>93,257.16</b>	<b>42,593.01</b>

CA-C

Report Criteria:

Report type: GL detail

Check.Check number = {<} 65017 {OR} {>} 65074 {AND} {<} 65157 {OR} {>} 65221

GL Period	Check Issue Date	Check Number	Vendor Number	Payee	Invoice Number	Invoice Sequence	Invoice GL Account	Invoice Amount	
06/10	06/30/2010	1047	5497	BIODIVERSITY PROJECT	201021	1	820-52200-219	5,511.89	M
Total 1047:								5,511.89	
06/10	06/30/2010	1048	5497	BIODIVERSITY PROJECT	201028	1	820-52200-219	2,476.26	M
Total 1048:								2,476.26	
06/10	06/30/2010	1352	5658	WORLDPOINT ECC INC	5113224	1	810-52280-810	259.50	M
Total 1352:								259.50	
06/10	06/30/2010	1353	5492	PMI	0233088	1	810-52280-810	2,032.00	M
Total 1353:								2,032.00	
06/10	06/30/2010	1354	4548	WHITEWATER, CITY OF	0610AED	1	810-52280-154	1,323.77	M
Total 1354:								1,323.77	
06/10	06/29/2010	2890	4548	WHITEWATER, CITY OF	0610SA	1	800-25100	25,757.67	
06/10	06/29/2010	2890	4548	WHITEWATER, CITY OF	0610SA	2	800-25100	5,231.92	
Total 2890:								30,989.59	
06/10	06/30/2010	64915	3187	FARONICS TECHNOLOGIES US	IN98032	1	220-55110-218	328.32-	V
Total 64915:								328.32-	
06/10	06/01/2010	65093	5849	TROST, CAROLYN	0610REFUN	1	100-13115	696.00	
Total 65093:								696.00	
06/10	06/03/2010	65094	5854	3 RIVERS BILLING INC	10157	1	100-46230-52	2,546.85	
Total 65094:								2,546.85	
06/10	06/03/2010	65095	3917	AT&T	0610ATT	1	100-51600-225	69.82	
Total 65095:								69.82	
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	1	100-46733-55	3.18	
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	2	100-46733-55	100.00	
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	3	100-46733-55	25.00	
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	4	100-46733-55	10.50	
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	5	100-46733-55	5.50	
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	6	100-51400-154	79.00	
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	7	100-51400-320	809.84	
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	8	100-51400-340	37.99	
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	9	100-51450-154	79.00	
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	10	100-51450-310	52.98	
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	11	100-51500-154	100.00	

GL Period	Check Issue Date	Check Number	Vendor Number	Payee	Invoice Number	Invoice Sequence	Invoice GL Account	Invoice Amount
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	12	100-52100-340	89.00
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	13	100-52100-340	30.00
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	14	100-52100-340	101.99
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	15	100-52100-340	76.00
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	16	100-52110-154	740.00
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	17	100-52110-154	22.21
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	18	100-52120-330	34.00
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	19	100-52400-154	40.00
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	20	100-55300-341	60.14
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	21	100-55300-341	71.50
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	22	100-55300-341	24.22
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	23	100-55300-341	5.70
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	24	100-55310-320	65.00
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	25	100-55310-340	12.48
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	26	200-55110-320	100.00
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	27	200-56110-330	157.88
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	28	200-55110-341	25.01
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	29	200-55110-343	5.36
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	30	200-55110-340	35.95
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	31	220-55110-218	328.32
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	32	220-55110-310	50.35
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	33	220-55110-321	34.77
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	34	220-55110-321	31.95
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	35	220-55110-324	23.00
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	36	220-55110-331	100.00
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	37	220-55110-331	100.00
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	38	610-61927-154	90.00
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	39	630-63300-154	162.00
06/10	06/03/2010	65096	1312	CARDMEMBER SERVICE	0610CARDM	40	900-56500-330	7.70
Total 65096:								3,775.52
06/10	06/03/2010	65097	3644	DLK ENTERPRISES INC	0610RENT	1	440-57663-317	600.00
Total 65097:								600.00
06/10	06/03/2010	65098	111	KETTERHAGEN MOTORS INC	C78890	1	100-52120-241	79.66
06/10	06/03/2010	65098	111	KETTERHAGEN MOTORS INC	C79963	1	100-52110-241	477.60
06/10	06/03/2010	65098	111	KETTERHAGEN MOTORS INC	C80132	1	100-52300-241	1,079.88
06/10	06/03/2010	65098	111	KETTERHAGEN MOTORS INC	C80146	1	100-52110-241	27.46
06/10	06/03/2010	65098	111	KETTERHAGEN MOTORS INC	T17964	1	100-52110-241	61.30
Total 65098:								1,725.90
06/10	06/03/2010	65099	5853	LEGACY BOGS LLC	1007	1	490-57500-821	46,320.00
Total 65099:								46,320.00
06/10	06/03/2010	65100	55	LYCON INC	0855736-IN-	1	245-56120-822	75.00
Total 65100:								75.00
06/10	06/03/2010	65101	5850	MALO, MARION	0610FURNIT	1	200-55110-362	70.00
Total 65101:								70.00

GL Period	Check Issue Date	Check Number	Vendor Number	Payee	Invoice Number	Invoice Sequence	Invoice GL Account	Invoice Amount
06/10	06/03/2010	65102	5852	NUNES, MARIA DEL CONSUEL	0610REFUN	1	100-21680	100.00
Total 65102:								100.00
06/10	06/03/2010	65103	350	OLIVER, WILLIAM	0603TRAVE	1	100-52110-154	10.00
Total 65103:								10.00
06/10	06/03/2010	65104	3920	ROCK COUNTY SHERIFFS DEP	HONOR GU	1	100-52110-154	150.00
Total 65104:								150.00
06/10	06/03/2010	65105	5851	RYAN BROS AMBULANCE	42654	1	100-46230-52	302.66
Total 65105:								302.66
06/10	06/03/2010	65106	5574	STATE OF WISCONSIN	0510FINES	1	100-21690	6,786.31
Total 65106:								6,786.31
06/10	06/03/2010	65107	4073	U S POSTAL SERVICE	0610POSTA	1	100-11900	5,000.00
Total 65107:								5,000.00
06/10	06/03/2010	65108	19	UNITED PARCEL SERVICE	00000X36X8	1	610-61630-340	15.43
06/10	06/03/2010	65108	19	UNITED PARCEL SERVICE	00000X36X8	2	100-51500-310	7.02
06/10	06/03/2010	65108	19	UNITED PARCEL SERVICE	00000X36X8	3	100-52200-310	11.61
06/10	06/03/2010	65108	19	UNITED PARCEL SERVICE	00000X36X8	4	100-52200-310	13.17
Total 65108:								47.23
06/10	06/03/2010	65109	1507	WALMART COMMUNITY	0610WALMA	1	100-46733-55	56.52
06/10	06/03/2010	65109	1507	WALMART COMMUNITY	0610WALMA	2	100-51400-310	25.16
06/10	06/03/2010	65109	1507	WALMART COMMUNITY	0610WALMA	3	100-51500-310	178.64
06/10	06/03/2010	65109	1507	WALMART COMMUNITY	0610WALMA	4	100-52100-340	48.08
06/10	06/03/2010	65109	1507	WALMART COMMUNITY	0610WALMA	5	100-53100-310	3.88
06/10	06/03/2010	65109	1507	WALMART COMMUNITY	0610WALMA	6	100-55300-341	98.90
06/10	06/03/2010	65109	1507	WALMART COMMUNITY	0610WALMA	7	100-55310-340	1.47
06/10	06/03/2010	65109	1507	WALMART COMMUNITY	0610WALMA	8	200-55110-340	39.69
06/10	06/03/2010	65109	1507	WALMART COMMUNITY	0610WALMA	9	200-55110-342	46.94
06/10	06/03/2010	65109	1507	WALMART COMMUNITY	0610WALMA	10	220-55110-310	50.99
06/10	06/03/2010	65109	1507	WALMART COMMUNITY	0610WALMA	11	220-55110-342	45.04
06/10	06/03/2010	65109	1507	WALMART COMMUNITY	0610WALMA	12	620-62820-310	24.88
06/10	06/03/2010	65109	1507	WALMART COMMUNITY	0610WALMA	13	620-62840-340	24.38
Total 65109:								644.57
06/10	06/03/2010	65110	282	WALWORTH CO TREASURER	0510FINES	1	100-21690	2,829.38
Total 65110:								2,829.38
06/10	06/03/2010	65111	4548	WHITEWATER, CITY OF	0510FINES	1	100-21690	18,230.63
Total 65111:								18,230.63
06/10	06/03/2010	65112	3644	DLK ENTERPRISES INC	0610RESTIT	1	100-21690	150.00

GL Period	Check Issue Date	Check Number	Vendor Number	Payee	Invoice Number	Invoice Sequence	Invoice GL Account	Invoice Amount
Total 65112:								150.00
06/10	06/03/2010	65113	4548	WHITEWATER, CITY OF	0610RESTIT	1	100-21690	50.00
Total 65113:								50.00
06/10	06/07/2010	65114	5856	LARRY STEEN LAW OFFICE	0610POSTA	1	100-52100-310	2.10
06/10	06/07/2010	65114	5856	LARRY STEEN LAW OFFICE	0610POSTA	2	100-52100-310	.25
Total 65114:								2.35
06/10	06/08/2010	65115	150	CHICAGO TITLE INSURANCE C	0610INS	1	440-57663-840	750.00
Total 65115:								750.00
06/10	06/08/2010	65116	5857	KLIGORA TRUST DATED JUNE	0610LAND	1	440-57663-840	210,000.00
Total 65116:								210,000.00
06/10	06/09/2010	65118	2915	IRVIN L YOUNG MEMORIAL LIB	0610PC	1	220-55110-313	19.30
06/10	06/09/2010	65118	2915	IRVIN L YOUNG MEMORIAL LIB	0610PC	2	220-55110-350	50.00
Total 65118:								69.30
06/10	06/10/2010	65119	5866	ARANDA, HECTOR	0610REFUN	1	100-21680	100.00
Total 65119:								100.00
06/10	06/10/2010	65120	5862	BAPS	0610EVENT	1	100-46733-55	80.00
Total 65120:								80.00
06/10	06/10/2010	65121	5859	CAREY, GENE	0610REFUN	1	100-46730-55	45.00
Total 65121:								45.00
06/10	06/10/2010	65122	5865	CULLINAN, CORY	0610CONCE	1	100-55320-790	500.00
Total 65122:								500.00
06/10	06/10/2010	65123	4580	DAN'S MEAT MARKET	494638	1	100-52300-340	445.08
Total 65123:								445.08
06/10	06/10/2010	65124	3667	FLAHERTY, JESSAMY	0610MEALS	1	100-52120-154	47.76
06/10	06/10/2010	65124	3667	FLAHERTY, JESSAMY	0610TRAVE	1	100-52110-330	18.12
Total 65124:								65.88
06/10	06/10/2010	65125	302	FLORAL VILLA	6875	1	100-52110-340	125.00
Total 65125:								125.00
06/10	06/10/2010	65126	801	FORT HEALTHCARE-BUSINESS	32508	1	100-52110-295	107.00

GL Period	Check Issue Date	Check Number	Vendor Number	Payee	Invoice Number	Invoice Sequence	Invoice GL Account	Invoice Amount
Total 65126:								107.00
06/10	06/10/2010	65127	1920	GMA PRINTING INC	R036212	1	100-55300-341	113.56
Total 65127:								113.56
06/10	06/10/2010	65128	1940	GREGOIRE JR, DON	0610TRAVE	1	100-52200-154	182.00
Total 65128:								182.00
06/10	06/10/2010	65129	5867	JEFFERSON CO HUMANE SER	0610FEE	1	100-52100-320	20.00
Total 65129:								20.00
06/10	06/10/2010	65130	5863	KANE COUNTY FOREST PRESE	0610SENIOR	1	100-46733-55	80.00
Total 65130:								80.00
06/10	06/10/2010	65131	605	LARK UNIFORM INC	56158	1	100-52120-118	179.85
Total 65131:								179.85
06/10	06/10/2010	65132	2799	MAAS, CANDI	0610TRAVE	1	100-51200-330	103.00
Total 65132:								103.00
06/10	06/10/2010	65133	10	MARTIN, MICHELE P	0610MEALS	1	100-52120-154	18.92
Total 65133:								18.92
06/10	06/10/2010	65134	2274	MUNICIPAL COURT FUND	0610FINES	1	100-45110-52	114.00
06/10	06/10/2010	65134	2274	MUNICIPAL COURT FUND	0610FINES	2	100-45110-52	214.80
06/10	06/10/2010	65134	2274	MUNICIPAL COURT FUND	0610FINES	3	100-45110-52	117.00
Total 65134:								445.80
06/10	06/10/2010	65135	5864	ORGAN GRINDERS	0610REC	1	100-55320-790	750.00
Total 65135:								750.00
06/10	06/10/2010	65136	5860	RICK ALLEN MAGIC PRODUCTI	0610JUV	1	220-55110-342	200.00
Total 65136:								200.00
06/10	06/10/2010	65137	345	STREICHER'S	I739033	1	100-52120-118	41.97
06/10	06/10/2010	65137	345	STREICHER'S	I741571	1	100-52120-118	27.99
Total 65137:								69.96
06/10	06/10/2010	65138	1622	WELLNITZ, PATRICK	0610TRAVE	1	100-52200-154	182.00
Total 65138:								182.00
06/10	06/10/2010	65139	86	WI PARK & RECREATION ASSO	15916	1	100-55210-790	24.00

GL Period	Check Issue Date	Check Number	Vendor Number	Payee	Invoice Number	Invoice Sequence	Invoice GL Account	Invoice Amount
Total 65139:								24.00
06/10	06/10/2010	65140	2254	WJOA	0610CONF	1	100-52120-154	130.00
Total 65140:								130.00
06/10	06/10/2010	65141	5861	ZOLKOWSKI, JACK	0610JUV	1	220-55110-342	305.00
Total 65141:								305.00
06/10	06/14/2010	65222	233	AFLAC	392328	1	100-21530	1,400.88
Total 65222:								1,400.88
06/10	06/14/2010	65223	219	MINNESOTA LIFE INSURANCE	JULY10	1	100-21531	2,643.17
Total 65223:								2,643.17
06/10	06/18/2010	65224	5875	BECKER, AMY	0610DEPOSI	1	100-21670	680.07
Total 65224:								680.07
06/10	06/18/2010	65225	4548	WHITEWATER, CITY OF	0610UTILITY	1	100-21670	119.93
Total 65225:								119.93
06/10	06/17/2010	65226	5870	ACCESS ERGONOMICS	378	1	220-55110-310	560.95
06/10	06/17/2010	65226	5870	ACCESS ERGONOMICS	384	1	220-55110-310	144.77
Total 65226:								705.72
06/10	06/17/2010	65227	2736	ACL	2010005-0	1	100-52110-219	35.00
Total 65227:								35.00
06/10	06/17/2010	65228	4760	AIRGAS NORTH CENTRAL	105694335	1	100-53230-340	29.50
06/10	06/17/2010	65228	4760	AIRGAS NORTH CENTRAL	105809863	1	620-62840-340	41.48
06/10	06/17/2010	65228	4760	AIRGAS NORTH CENTRAL	105810150	1	100-53230-340	31.87
Total 65228:								102.85
06/10	06/17/2010	65229	1560	AIRGAS SAFETY INC	SN241079.0	1	620-62840-340	86.33
Total 65229:								86.33
06/10	06/17/2010	65230	641	AIRWAY SALES INC	16111	1	620-62850-357	191.98
Total 65230:								191.98
06/10	06/17/2010	65231	1601	ANICH LUMBER & HARDWAR C	34294S	1	100-53270-242	3.90
Total 65231:								3.90
06/10	06/17/2010	65232	5869	APPLE INC	9838339041	1	220-55110-810	29.00
06/10	06/17/2010	65232	5869	APPLE INC	9838523766	1	220-55110-810	598.00

GL Period	Check Issue Date	Check Number	Vendor Number	Payee	Invoice Number	Invoice Sequence	Invoice GL Account	Invoice Amount
Total 65232:								627.00
06/10	06/17/2010	65233	3871	AQUA MASTER	58699	1	100-53270-359	905.10
Total 65233:								905.10
06/10	06/17/2010	65234	5848	ARGUS-HAZCO	4018664	1	820-62840-340	474.86
Total 65234:								474.86
06/10	06/17/2010	65235	880	AROPA DESIGNS	30354	1	220-55110-341	217.59
Total 65235:								217.59
06/10	06/17/2010	65236	3917	AT&T	3917-061710	1	100-55110-225	223.60
06/10	06/17/2010	65236	3917	AT&T	3917-061710	2	100-52600-295	193.46
06/10	06/17/2010	65236	3917	AT&T	3917-061710	3	100-52120-340	.01
Total 65236:								417.07
06/10	06/17/2010	65237	456	AUDIO EDITIONS	1278549	1	220-55110-326	8.00
Total 65237:								8.00
06/10	06/17/2010	65238	5834	AUTO BRAKE CLUTCH & GEAR	114125	1	100-53320-353	98.65
06/10	06/17/2010	65238	5834	AUTO BRAKE CLUTCH & GEAR	114582	1	100-53320-353	139.88
Total 65238:								238.53
06/10	06/17/2010	65239	95	BAKER & TAYLOR BOOKS	2008256	1	220-55110-323	14.86
06/10	06/17/2010	65239	95	BAKER & TAYLOR BOOKS	2024543651	1	220-55110-323	1,147.97
06/10	06/17/2010	65239	95	BAKER & TAYLOR BOOKS	2024614839	1	220-55110-323	102.32
06/10	06/17/2010	65239	95	BAKER & TAYLOR BOOKS	2024619689	1	220-55110-321	330.56
06/10	06/17/2010	65239	95	BAKER & TAYLOR BOOKS	2024625552	1	220-55110-323	36.92
06/10	06/17/2010	65239	95	BAKER & TAYLOR BOOKS	2024637267	1	220-55110-323	419.12
06/10	06/17/2010	65239	95	BAKER & TAYLOR BOOKS	2024642121	1	220-55110-321	325.16
06/10	06/17/2010	65239	95	BAKER & TAYLOR BOOKS	2024642135	1	220-55110-321	33.97
06/10	06/17/2010	65239	95	BAKER & TAYLOR BOOKS	2024673559	1	220-55110-321	305.39
06/10	06/17/2010	65239	95	BAKER & TAYLOR BOOKS	2024673562	1	220-55110-321	225.31
06/10	06/17/2010	65239	95	BAKER & TAYLOR BOOKS	2024675580	1	220-55110-323	40.27
06/10	06/17/2010	65239	95	BAKER & TAYLOR BOOKS	2024692205	1	220-55110-321	306.52
06/10	06/17/2010	65239	95	BAKER & TAYLOR BOOKS	202469344	1	220-55110-321	9.44
06/10	06/17/2010	65239	95	BAKER & TAYLOR BOOKS	2024706857	1	220-55110-321	86.17
06/10	06/17/2010	65239	95	BAKER & TAYLOR BOOKS	2024708388	1	220-55110-323	91.48
06/10	06/17/2010	65239	95	BAKER & TAYLOR BOOKS	2024719215	1	220-55110-321	294.92
06/10	06/17/2010	65239	95	BAKER & TAYLOR BOOKS	2024721552	1	220-55110-321	133.39
06/10	06/17/2010	65239	95	BAKER & TAYLOR BOOKS	2024721559	1	220-55110-321	108.68
Total 65239:								3,982.73
06/10	06/17/2010	65240	1833	BAKER & TAYLOR ENTERTAIN	119965140	1	220-55110-326	43.08
06/10	06/17/2010	65240	1833	BAKER & TAYLOR ENTERTAIN	120052160	1	220-55110-327	43.18
06/10	06/17/2010	65240	1833	BAKER & TAYLOR ENTERTAIN	120540280	1	220-55110-326	106.45
06/10	06/17/2010	65240	1833	BAKER & TAYLOR ENTERTAIN	120561700	1	220-55110-327	98.16
06/10	06/17/2010	65240	1833	BAKER & TAYLOR ENTERTAIN	120589660	1	220-55110-326	20.87

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06/10	06/17/2010	65240	1833	BAKER & TAYLOR ENTERTAIN	I20789730	1	220-55110-327	14.36
06/10	06/17/2010	65240	1833	BAKER & TAYLOR ENTERTAIN	I20981180	1	220-55110-326	84.17
06/10	06/17/2010	65240	1833	BAKER & TAYLOR ENTERTAIN	I21246910	1	220-55110-326	95.94
06/10	06/17/2010	65240	1833	BAKER & TAYLOR ENTERTAIN	I21538370	1	220-55110-327	21.59
06/10	06/17/2010	65240	1833	BAKER & TAYLOR ENTERTAIN	I21551470	1	220-55110-326	164.02
06/10	06/17/2010	65240	1833	BAKER & TAYLOR ENTERTAIN	I21649740	1	220-55110-326	7.19
06/10	06/17/2010	65240	1833	BAKER & TAYLOR ENTERTAIN	I22076980	1	220-55110-326	43.15
06/10	06/17/2010	65240	1833	BAKER & TAYLOR ENTERTAIN	I22077190	1	220-55110-327	28.75
06/10	06/17/2010	65240	1833	BAKER & TAYLOR ENTERTAIN	I22104910	1	220-55110-326	9.34
06/10	06/17/2010	65240	1833	BAKER & TAYLOR ENTERTAIN	I22259220	1	220-55110-326	316.10
06/10	06/17/2010	65240	1833	BAKER & TAYLOR ENTERTAIN	I22297910	1	220-55110-326	26.26
Total 65240:								1,122.61
06/10	06/17/2010	65241	3311	BBC AUDIOBOOKS AMERICA	390106	1	220-55110-326	586.17
Total 65241:								586.17
06/10	06/17/2010	65242	3729	BETTER CONTAINERS	207361	1	220-55110-310	1,149.44
Total 65242:								1,149.44
06/10	06/17/2010	65243	1852	BOOK WHOLESALERS INC	155263C	1	220-55110-323	3.89
06/10	06/17/2010	65243	1852	BOOK WHOLESALERS INC	157631C	1	220-55110-323	28.90
06/10	06/17/2010	65243	1852	BOOK WHOLESALERS INC	157768C	1	220-55110-323	314.42
06/10	06/17/2010	65243	1852	BOOK WHOLESALERS INC	160585C	1	220-55110-323	95.88
06/10	06/17/2010	65243	1852	BOOK WHOLESALERS INC	163959C	1	220-55110-323	59.45
06/10	06/17/2010	65243	1852	BOOK WHOLESALERS INC	169418C	1	220-55110-323	3.89
Total 65243:								506.43
06/10	06/17/2010	65244	435	BRADFORD, DANIEL	642 REVOLV	1	100-52110-810	300.00
Total 65244:								300.00
06/10	06/17/2010	65245	47	BROWN CAB SERVICE	MAY10	1	235-51350-295	11,239.37
Total 65245:								11,239.37
06/10	06/17/2010	65246	1031	BROWN'S OF TWO RIVERS	0341038	1	100-53320-353	279.80
Total 65246:								279.80
06/10	06/17/2010	65247	3410	BRUNNER, KEVIN	REIMBURSE	1	100-51400-330	15.40
06/10	06/17/2010	65247	3410	BRUNNER, KEVIN	REIMBURSE	2	100-51400-330	7.00
Total 65247:								22.40
06/10	06/17/2010	65248	28	BURNS INDUSTRIAL	361683	1	100-53230-352	51.55
Total 65248:								51.55
06/10	06/17/2010	65249	4716	BURTNESS CHEVROLET	103779	1	100-53230-352	34.76
Total 65249:								34.76

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06/10	06/17/2010	65250	21	CARQUEST AUTO PARTS	21-061710	1	100-52110-241	56.00
06/10	06/17/2010	65250	21	CARQUEST AUTO PARTS	21-061710	2	100-53230-352	35.16
06/10	06/17/2010	65250	21	CARQUEST AUTO PARTS	21-061710	3	100-53270-213	79.88
06/10	06/17/2010	65250	21	CARQUEST AUTO PARTS	21-061710	4	100-53320-353	540.72
06/10	06/17/2010	65250	21	CARQUEST AUTO PARTS	21-061710	5	620-62830-355	6.72
Total 65250:								718.48
06/10	06/17/2010	65251	2082	CENTER POINT PUBLISHING	835758	1	220-55110-321	120.42
06/10	06/17/2010	65251	2082	CENTER POINT PUBLISHING	842884	1	220-55110-321	120.42
Total 65251:								240.84
06/10	06/17/2010	65252	3595	CHAMPLAIN PLANNING PRESS RENEWAL		1	100-56300-320	107.00
Total 65252:								107.00
06/10	06/17/2010	65253	1033	CLEAN MATS	22553	1	100-53230-340	37.42
06/10	06/17/2010	65253	1033	CLEAN MATS	22585	1	100-55111-246	60.00
06/10	06/17/2010	65253	1033	CLEAN MATS	22588	1	620-62840-340	14.88
Total 65253:								112.30
06/10	06/17/2010	65254	210	COBURN CO INC	247958	1	100-52110-340	2.80
Total 65254:								2.80
06/10	06/17/2010	65255	5872	COMMUNITY SCHOOL FUND	09-0856	1	295-52200-350	125.00
06/10	06/17/2010	65255	5872	COMMUNITY SCHOOL FUND	09-1171	1	295-52200-350	387.50
06/10	06/17/2010	65255	5872	COMMUNITY SCHOOL FUND	09-2654	1	295-52200-350	750.00
Total 65255:								1,272.50
06/10	06/17/2010	65256	208	DALEE WATER CONDITIONING	208-061710	1	100-55110-355	14.12
Total 65256:								14.12
06/10	06/17/2010	65257	33	DECKER SUPPLY CO INC	864281	1	100-53300-354	277.59
06/10	06/17/2010	65257	33	DECKER SUPPLY CO INC	864378	1	100-53300-354	1,493.09
06/10	06/17/2010	65257	33	DECKER SUPPLY CO INC	864453	1	100-53300-354	264.18
06/10	06/17/2010	65257	33	DECKER SUPPLY CO INC	864717	1	100-53300-354	657.03
Total 65257:								2,691.89
06/10	06/17/2010	65258	286	DEMCO	3882696	1	220-55110-310	197.21
Total 65258:								197.21
06/10	06/17/2010	65259	82	DEPENDABLE AUTO PARTS	01224299	1	100-53230-352	40.00
Total 65259:								40.00
06/10	06/17/2010	65260	636	DIGGERS HOTLINE INC	1039601 PP2	1	630-63440-350	225.04
06/10	06/17/2010	65260	636	DIGGERS HOTLINE INC	1039601 PP2	2	610-61651-350	225.03
06/10	06/17/2010	65260	636	DIGGERS HOTLINE INC	1039601 PP2	3	620-62830-354	225.03

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Total 65260:								675.10
06/10	06/17/2010	65261	1809	DIVERSIFIED BUILDING MTN	124643	1	100-55111-246	1,638.00
06/10	06/17/2010	65261	1809	DIVERSIFIED BUILDING MTN	124643	2	100-51600-246	3,985.00
06/10	06/17/2010	65261	1809	DIVERSIFIED BUILDING MTN	124643	3	100-51600-246	950.40
06/10	06/17/2010	65261	1809	DIVERSIFIED BUILDING MTN	124643	4	100-51600-246	1,161.60
06/10	06/17/2010	65261	1809	DIVERSIFIED BUILDING MTN	124643	5	100-51600-246	1,525.04
Total 65261:								9,240.04
06/10	06/17/2010	65262	115	EMERGENCY MEDICAL PRODU	1277639	1	100-52300-340	314.25
Total 65262:								314.25
06/10	06/17/2010	65263	17	FARM PLAN CORPORATION	042194	1	100-53230-352	101.79
06/10	06/17/2010	65263	17	FARM PLAN CORPORATION	41889	1	620-62860-357	18.73
06/10	06/17/2010	65263	17	FARM PLAN CORPORATION	44801	1	100-52120-241	30.00
06/10	06/17/2010	65263	17	FARM PLAN CORPORATION	45008	1	100-53230-352	30.00
06/10	06/17/2010	65263	17	FARM PLAN CORPORATION	45087	1	100-53270-242	68.00
Total 65263:								248.52
06/10	06/17/2010	65264	302	FLORAL VILLA	7315	1	100-52100-340	50.00
06/10	06/17/2010	65264	302	FLORAL VILLA	7316	1	100-52100-340	55.00
Total 65264:								105.00
06/10	06/17/2010	65265	878	FOSTER COACH SALES INC	48042	1	100-52300-241	37.00
Total 65265:								37.00
06/10	06/17/2010	65266	1838	GALE	16773178	1	220-55110-321	85.48
06/10	06/17/2010	65266	1838	GALE	16774783	1	220-55110-321	316.85
06/10	06/17/2010	65266	1838	GALE	16788090	1	220-55110-321	47.18
06/10	06/17/2010	65266	1838	GALE	16792072	1	220-55110-321	99.84
06/10	06/17/2010	65266	1838	GALE	16792279	1	220-55110-321	67.40
06/10	06/17/2010	65266	1838	GALE	16792572	1	220-55110-321	51.12
06/10	06/17/2010	65266	1838	GALE	16804680	1	220-55110-321	56.75
06/10	06/17/2010	65266	1838	GALE	16811646	1	220-55110-321	377.20
Total 65266:								1,101.82
06/10	06/17/2010	65267	558	GALL'S INC	510567067	1	100-52110-241	84.52
06/10	06/17/2010	65267	558	GALL'S INC	510570020	1	100-52120-241	380.43
Total 65267:								464.95
06/10	06/17/2010	65268	1920	GMA PRINTING INC	R036193	1	220-55110-310	188.38
Total 65268:								188.38
06/10	06/17/2010	65269	367	GRAINGER	9265349549	1	620-62840-340	31.71
06/10	06/17/2010	65269	367	GRAINGER	CR92447658	1	620-62840-340	16.52

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Total 65269:								15.19
06/10	06/17/2010	65270	120	H & H FIRE PROTECTION LLC	6145	1	100-52110-340	12.50
Total 65270:								12.50
06/10	06/17/2010	65271	211	HACH CO	8751677	1	620-62810-821	3,308.95
Total 65271:								3,308.95
06/10	06/17/2010	65272	62	HARRISON WILLIAMS MCDONN	202406	1	440-57663-839	210.00
06/10	06/17/2010	65272	62	HARRISON WILLIAMS MCDONN	202406	2	440-57663-840	300.00
Total 65272:								510.00
06/10	06/17/2010	65273	92	HIGHSMITH CO INC	1015519045	1	220-55110-310	105.88
Total 65273:								105.88
06/10	06/17/2010	65274	60	HOME LUMBER CO	60-061710	1	100-51600-355	218.14
06/10	06/17/2010	65274	60	HOME LUMBER CO	60-061710	2	100-52200-340	552.18
06/10	06/17/2010	65274	60	HOME LUMBER CO	60-061710	3	100-53270-245	7.99
06/10	06/17/2010	65274	60	HOME LUMBER CO	60-061710	4	100-53270-340	112.13
06/10	06/17/2010	65274	60	HOME LUMBER CO	60-061710	5	100-55111-355	18.22
Total 65274:								908.66
06/10	06/17/2010	65275	3948	HSBC BUSINESS SOLUTIONS	21921703	1	100-53300-405	627.74
Total 65275:								627.74
06/10	06/17/2010	65276	305	INLAND POWER GROUP	1370205-00	1	100-51600-245	466.82
06/10	06/17/2010	65276	305	INLAND POWER GROUP	1370205-00	2	100-52500-242	466.81
Total 65276:								933.63
06/10	06/17/2010	65277	3955	INTELLIGENT PRODUCTS INC	112588A	1	100-53270-340	868.80
Total 65277:								868.80
06/10	06/17/2010	65278	1853	ISTHMUS PUBLISHING	1853-061710	1	220-55110-324	50.00
Total 65278:								50.00
06/10	06/17/2010	65279	247	JANESVILLE GAZETTE	4878	1	220-55110-324	208.00
Total 65279:								208.00
06/10	06/17/2010	65280	130	JENKA BLOSSOMS	833498	1	100-53270-213	26.00
Total 65280:								26.00
06/10	06/17/2010	65281	4833	JIM'S KEY SHOP	1816	1	100-55111-355	30.00
06/10	06/17/2010	65281	4833	JIM'S KEY SHOP	1816	2	100-51600-355	40.20

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Total 65281:								70.20
06/10	06/17/2010	65282	5871	JONES SCHOOL SUPPLY CO IN	759419	1	220-55110-342	125.37
Total 65282:								125.37
06/10	06/17/2010	65283	110	KB SHARPENING SERVICES	56741	1	100-53270-242	80.00
06/10	06/17/2010	65283	110	KB SHARPENING SERVICES	56899	1	100-53270-242	265.30
06/10	06/17/2010	65283	110	KB SHARPENING SERVICES	56935	1	630-63600-352	19.20
Total 65283:								364.50
06/10	06/17/2010	65284	5704	KBK SERVICES INC	PAY EST #6	1	620-62810-820	400,283.51
Total 65284:								400,283.51
06/10	06/17/2010	65285	394	KRIZSAN'S TREE SERVICE	005365	1	100-53270-213	250.00
Total 65285:								250.00
06/10	06/17/2010	65286	368	LAB SAFETY SUPPLY INC	1015479538	1	100-53230-340	399.37
06/10	06/17/2010	65286	368	LAB SAFETY SUPPLY INC	1015603323	1	100-53230-340	56.83
Total 65286:								456.20
06/10	06/17/2010	65287	605	LARK UNIFORM INC	57364	1	100-52110-118	19.85
Total 65287:								19.85
06/10	06/17/2010	65288	289	LAWSON PRODUCTS INC	9187734	1	100-53230-340	79.92
Total 65288:								79.92
06/10	06/17/2010	65289	3364	LEXISNEXIS	1410204-201	1	100-52120-219	97.95
Total 65289:								97.95
06/10	06/17/2010	65290	165	LINCOLN CONTRACTORS SUP	1179120	1	100-53270-213	499.95
Total 65290:								499.95
06/10	06/17/2010	65291	79	LINDNER & MARSACK SC	56610	1	100-51300-219	61.50
Total 65291:								61.50
06/10	06/17/2010	65292	1880	LUNSFORD, STACEY	MILEAGE &	1	220-55110-330	29.61
Total 65292:								29.61
06/10	06/17/2010	65293	1005	MADISON SPRING CO INC	70107	1	100-53320-353	1,182.76
06/10	06/17/2010	65293	1005	MADISON SPRING CO INC	70177	1	100-53320-353	110.22
06/10	06/17/2010	65293	1005	MADISON SPRING CO INC	70391	1	100-53320-353	104.56
06/10	06/17/2010	65293	1005	MADISON SPRING CO INC	70529	1	100-53320-353	110.22

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Total 65293:								1,267.32
06/10	06/17/2010	65294	2346	MARQUIS WHO'S WHO	1002330	1	220-55110-322	168.00
Total 65294:								168.00
06/10	06/17/2010	65295	1927	MARSHALL CAVENDISH CORP	R847846	1	220-55110-323	176.29
06/10	06/17/2010	65295	1927	MARSHALL CAVENDISH CORP	R848813	1	220-55110-323	15.95
Total 65295:								192.24
06/10	06/17/2010	65296	494	MENARDS	2502	1	100-53270-213	238.00
06/10	06/17/2010	65296	494	MENARDS	2936	1	100-53270-213	71.94
Total 65296:								309.94
06/10	06/17/2010	65297	176	MEYER'S AUTO SUPPLY	86780	1	620-62840-340	5.49
06/10	06/17/2010	65297	176	MEYER'S AUTO SUPPLY	86831	1	620-62850-357	2.97
06/10	06/17/2010	65297	176	MEYER'S AUTO SUPPLY	86966	1	100-53230-352	98.94
06/10	06/17/2010	65297	176	MEYER'S AUTO SUPPLY	87004	1	100-53230-352	159.18
Total 65297:								266.58
06/10	06/17/2010	65298	1470	MIDSTATE EQUIPMENT-JANES	196411	1	100-53270-242	21.02
06/10	06/17/2010	65298	1470	MIDSTATE EQUIPMENT-JANES	197083	1	100-53270-242	22.80
06/10	06/17/2010	65298	1470	MIDSTATE EQUIPMENT-JANES	197274	1	100-53270-242	57.30
Total 65298:								101.12
06/10	06/17/2010	65299	1832	MIDWEST TAPE	2183190	1	220-55110-326	120.70
Total 65299:								120.70
06/10	06/17/2010	65300	1842	MID-WISC FEDERATED LIBRAR	1176	1	220-55110-331	67.34
06/10	06/17/2010	65300	1842	MID-WISC FEDERATED LIBRAR	1177	1	220-55110-331	37.00
Total 65300:								104.34
06/10	06/17/2010	65301	4591	MORGAN BIRGE & ASSOCIATE	MC0025527	1	100-55110-225	89.00
06/10	06/17/2010	65301	4591	MORGAN BIRGE & ASSOCIATE	MC0026167	1	100-55110-225	89.00
Total 65301:								178.00
06/10	06/17/2010	65302	1052	NATIONAL BUSINESS FURNITU	ZJ724614-G	1	100-51400-310	785.73
06/10	06/17/2010	65302	1052	NATIONAL BUSINESS FURNITU	ZJ726892-U	1	100-52100-340	308.00
Total 65302:								1,093.73
06/10	06/17/2010	65303	2763	NEW YORK TIMES, THE	2763-061710	1	220-55110-324	204.10
Total 65303:								204.10
06/10	06/17/2010	65304	4146	OFFICE DEPOT	5205324850	1	100-52100-310	95.28
06/10	06/17/2010	65304	4146	OFFICE DEPOT	5205325430	1	100-52100-310	238.16
06/10	06/17/2010	65304	4146	OFFICE DEPOT	5205325440	1	100-52100-310	17.10

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Total 65304:								350.54
06/10	06/17/2010	65305	1840	OMNIGRAPHICS	106803-0132	1	220-55110-322	161.78
06/10	06/17/2010	65305	1840	OMNIGRAPHICS	106803-0152	1	220-55110-322	80.89
06/10	06/17/2010	65305	1840	OMNIGRAPHICS	106803-0182	1	220-55110-322	81.85
06/10	06/17/2010	65305	1840	OMNIGRAPHICS	106803-0212	1	220-55110-322	81.85
06/10	06/17/2010	65305	1840	OMNIGRAPHICS	106803-2062	1	220-55110-322	80.89
06/10	06/17/2010	65305	1840	OMNIGRAPHICS	106803-9523	1	220-55110-322	80.89
Total 65305:								568.15
06/10	06/17/2010	65306	732	PAT'S SERVICES INC	A57595	1	100-53270-359	150.00
Total 65306:								150.00
06/10	06/17/2010	65307	280	PER MAR SECURITY SERVICES	519730	1	100-51600-340	175.50
Total 65307:								175.50
06/10	06/17/2010	65308	5492	PMI	0230490	1	100-52300-340	438.46
Total 65308:								438.46
06/10	06/17/2010	65309	3409	PRECISION ALIGNMENT SERVI	015083	1	100-53230-352	69.00
Total 65309:								69.00
06/10	06/17/2010	65310	5536	QUALITY DOOR & HARDWARE I	0702821-IN	1	100-51600-355	135.00
Total 65310:								135.00
06/10	06/17/2010	65311	445	QUILL CORPORATION	5570822	1	220-55110-310	36.30
06/10	06/17/2010	65311	445	QUILL CORPORATION	5679488	1	100-52400-310	32.90
06/10	06/17/2010	65311	445	QUILL CORPORATION	5679488	2	100-51400-310	164.50
06/10	06/17/2010	65311	445	QUILL CORPORATION	5679488	3	100-51100-310	164.50
06/10	06/17/2010	65311	445	QUILL CORPORATION	5679488	4	100-56300-310	164.50
06/10	06/17/2010	65311	445	QUILL CORPORATION	5679488	5	100-55210-310	32.90
06/10	06/17/2010	65311	445	QUILL CORPORATION	5679488	6	100-53100-310	32.90
06/10	06/17/2010	65311	445	QUILL CORPORATION	5679488	7	900-56500-310	32.90
06/10	06/17/2010	65311	445	QUILL CORPORATION	5679488	8	100-55310-340	32.90
06/10	06/17/2010	65311	445	QUILL CORPORATION	5679488	9	100-51400-310	97.18
06/10	06/17/2010	65311	445	QUILL CORPORATION	5679488	10	100-53100-310	17.75
06/10	06/17/2010	65311	445	QUILL CORPORATION	5679488	11	100-55210-310	15.22
Total 65311:								824.45
06/10	06/17/2010	65312	3055	RAINBOW BOOK CO	89524	1	220-55110-323	1,024.33
Total 65312:								1,024.33
06/10	06/17/2010	65313	1924	RANDOM HOUSE INC	1088845776	1	220-55110-326	38.25
06/10	06/17/2010	65313	1924	RANDOM HOUSE INC	1088882275	1	220-55110-326	6.00
06/10	06/17/2010	65313	1924	RANDOM HOUSE INC	1088922968	1	220-55110-326	33.96
06/10	06/17/2010	65313	1924	RANDOM HOUSE INC	1088962898	1	220-55110-326	29.75

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Total 65313:								107.96
06/10	06/17/2010	65314	374	RANDY'S SUPPER CLUB	1041CY	1	100-52100-340	74.34
Total 65314:								74.34
06/10	06/17/2010	65315	1843	RECORDED BOOKS	4901545	1	220-55110-325	206.60
Total 65315:								206.60
06/10	06/17/2010	65316	5143	REDDY, ELLEN	UNIFORM	1	100-52600-118	40.98
06/10	06/17/2010	65316	5143	REDDY, ELLEN	UNIFORM	2	100-52600-118	30.00
Total 65316:								70.98
06/10	06/17/2010	65317	126	REGENT BOOK CO	40398	1	220-55110-321	13.62
06/10	06/17/2010	65317	126	REGENT BOOK CO	40765	1	220-55110-321	24.98
Total 65317:								38.60
06/10	06/17/2010	65318	195	REGISTRATION FEE TRUST	32 SUSPEN	1	100-52140-360	160.00
Total 65318:								160.00
06/10	06/17/2010	65319	1247	RESEARCH TECHNOLOGY INT'	151104	1	220-55110-310	174.95
Total 65319:								174.95
06/10	06/17/2010	65320	3515	RIVERSHORE READING STORE	10-5183	1	220-55110-342	96.00
Total 65320:								96.00
06/10	06/17/2010	65321	388	S & H TRUCK SERVICE	9984	1	100-52300-241	414.62
Total 65321:								414.62
06/10	06/17/2010	65322	3030	SCHINDLER ELEVATOR CORP	8102638080	1	100-51600-245	1,259.16
Total 65322:								1,259.16
06/10	06/17/2010	65323	5874	SEALMASTER OF WISCONSIN	96676	1	100-53300-354	1,215.81
Total 65323:								1,215.81
06/10	06/17/2010	65324	471	SHERWIN INDUSTRIES INC	SS037811	1	100-53300-405	182.80
Total 65324:								182.80
06/10	06/17/2010	65325	4697	SHERWIN-WILLIAMS CO	3346-6	1	100-53300-354	537.50
Total 65325:								537.50
06/10	06/17/2010	65326	1806	SNAP ON TOOLS	207359	1	100-53230-340	17.64

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Total 65326:								17.64
06/10	06/17/2010	65327	102	STA-LITE CORP	4413	1	100-53270-359	507.50
Total 65327:								507.50
06/10	06/17/2010	65328	2393	STAPLES BUSINESS ADVANTA	8015364477	1	100-52100-310	159.95
Total 65328:								159.95
06/10	06/17/2010	65329	3648	TCO POWER CENTER	132202	1	100-53270-242	47.34
Total 65329:								47.34
06/10	06/17/2010	65330	5087	TEAMS SOFTWARE SOLUTIONS	6343	1	220-55110-218	125.00
Total 65330:								125.00
06/10	06/17/2010	65331	4475	TECHNOLOGY ASSURANCE C	1382	1	220-55110-218	1,200.00
06/10	06/17/2010	65331	4475	TECHNOLOGY ASSURANCE C	1384	1	220-55110-218	50.00
Total 65331:								1,250.00
06/10	06/17/2010	65332	5868	THE BOOK FARM INC	19472	1	220-55110-323	116.37
06/10	06/17/2010	65332	5868	THE BOOK FARM INC	19473	1	220-55110-323	19.15
06/10	06/17/2010	65332	5868	THE BOOK FARM INC	19474	1	220-55110-323	20.22
Total 65332:								155.74
06/10	06/17/2010	65333	5510	TINCHER REALTY INC	06/04/2010	1	100-52400-219	175.00
Total 65333:								175.00
06/10	06/17/2010	65334	96	TRAFFIC & PARK CONTROL IN	343204	1	100-53300-354	62.00
Total 65334:								62.00
06/10	06/17/2010	65335	1378	TRANS UNION LLC	05048867	1	100-52100-219	9.07
Total 65335:								9.07
06/10	06/17/2010	65336	2019	UNIQUE BOOKS INC	349729.2	1	220-55110-327	17.90
06/10	06/17/2010	65336	2019	UNIQUE BOOKS INC	349731	1	220-55110-327	37.76
Total 65336:								55.66
06/10	06/17/2010	65337	4630	UNIQUE MANAGEMENT SVC IN	194530	1	220-55110-319	26.85
06/10	06/17/2010	65337	4630	UNIQUE MANAGEMENT SVC IN	196654	1	220-55110-319	26.85
Total 65337:								53.70
06/10	06/17/2010	65338	2724	UNIVERSITY OF WI LAW SCHO	48C5140	1	100-52100-320	75.00
Total 65338:								75.00

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06/10	06/17/2010	65339	1933	UPSTART	1015574050	1	220-55110-342	73.00
Total 65339:								73.00
06/10	06/17/2010	65340	8	UW WHITEWATER	13148	1	100-53270-359	6.59
06/10	06/17/2010	65340	8	UW WHITEWATER	13148	2	100-51600-340	105.95
06/10	06/17/2010	65340	8	UW WHITEWATER	13148	3	620-62840-340	181.71
06/10	06/17/2010	65340	8	UW WHITEWATER	13148	4	100-53270-340	204.87
06/10	06/17/2010	65340	8	UW WHITEWATER	13148	5	100-51600-340	35.28
06/10	06/17/2010	65340	8	UW WHITEWATER	13148	6	100-51600-340	136.89
Total 65340:								671.29
06/10	06/17/2010	65341	27	VANDEWALLE & ASSOCIATES	201005032	1	100-56300-219	5,355.00
Total 65341:								5,355.00
06/10	06/17/2010	65342	41	VORPAGEL SERVICE INC	27048	1	100-51600-244	543.44
06/10	06/17/2010	65342	41	VORPAGEL SERVICE INC	27049	1	100-55111-244	694.75
Total 65342:								1,238.19
06/10	06/17/2010	65343	536	WAUKESHA CO TECH COLLEG	S0436980	1	100-52110-154	94.12
Total 65343:								94.12
06/10	06/17/2010	65344	25	WE ENERGIES	25-061710	1	100-53230-222	551.47
06/10	06/17/2010	65344	25	WE ENERGIES	25-061710	2	100-51600-222	9.56
06/10	06/17/2010	65344	25	WE ENERGIES	25-061710	3	100-53270-222	1,566.21
06/10	06/17/2010	65344	25	WE ENERGIES	25-061710	4	100-53270-224	209.71
Total 65344:								2,336.95
06/10	06/17/2010	65345	49	WELDERS SUPPLY CO BELOIT	483277	1	100-52300-340	91.23
Total 65345:								91.23
06/10	08/17/2010	65346	5873	WEST BEND COMMUNITY MEM	5873-061710	1	220-55110-350	20.00
Total 65346:								20.00
06/10	06/17/2010	65347	408	WHITEWATER GLASS CO INC	5-12-10	1	100-53230-352	145.00
06/10	06/17/2010	65347	408	WHITEWATER GLASS CO INC	5-25-10	1	100-51600-245	547.23
Total 65347:								692.23
06/10	06/17/2010	65348	20	WHITEWATER LIMESTONE INC	9344	1	630-63440-350	77.83
06/10	08/17/2010	65348	20	WHITEWATER LIMESTONE INC	9442	1	630-63440-350	50.73
06/10	06/17/2010	65348	20	WHITEWATER LIMESTONE INC	9486	1	630-63440-350	234.85
Total 65348:								363.41
06/10	06/17/2010	65349	3594	WI COUNCIL 40 PER CAPITA TA	MA2010	1	100-21550	1,583.95
Total 65349:								1,583.95

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06/10	06/17/2010	65350	35	WI DEPT OF ADMINISTRATION	69109	1	220-55110-218	600.00
Total 65350:								600.00
06/10	06/17/2010	65351	69	WI DEPT OF JUSTICE	L6505T 06-0	1	100-51400-310	7.00
06/10	06/17/2010	65351	69	WI DEPT OF JUSTICE	L6505T 06-0	2	220-55110-310	7.00
06/10	06/17/2010	65351	69	WI DEPT OF JUSTICE	L6505T 06-0	3	100-52200-310	91.00
06/10	06/17/2010	65351	69	WI DEPT OF JUSTICE	L6505T 06-0	4	100-44122-51	378.00
06/10	06/17/2010	65351	69	WI DEPT OF JUSTICE	L6505T 06-0	5	100-52100-310	7.00
06/10	06/17/2010	65351	69	WI DEPT OF JUSTICE	L6505T 06-0	6	100-52300-310	14.00
Total 65351:								504.00
06/10	06/17/2010	65352	1235	WI DEPT OF TRANSPORTATIO	YANEZ CER	1	100-52110-219	2.00
Total 65352:								2.00
06/10	06/17/2010	65353	659	WI ENTEK INC	21	1	620-62850-357	137.20
Total 65353:								137.20
06/10	06/17/2010	65354	315	WI MUNICIPAL COURT CLERKS	2010 DUES	1	100-51200-320	40.00
Total 65354:								40.00
06/10	06/17/2010	65355	24	WINCHESTER HARDWARE INC	24-061710	1	100-51600-355	23.22
06/10	06/17/2010	65355	24	WINCHESTER HARDWARE INC	24-061710	2	100-52200-241	50.96
06/10	06/17/2010	65355	24	WINCHESTER HARDWARE INC	24-061710	3	100-53270-295	181.70
06/10	06/17/2010	65355	24	WINCHESTER HARDWARE INC	24-061710	4	100-53270-340	58.99
06/10	06/17/2010	65355	24	WINCHESTER HARDWARE INC	24-061710	5	100-55300-341	51.96
06/10	06/17/2010	65355	24	WINCHESTER HARDWARE INC	24-061710	6	200-55110-359	5.30
06/10	06/17/2010	65355	24	WINCHESTER HARDWARE INC	24-061710	7	610-61652-350	34.93
06/10	06/17/2010	65355	24	WINCHESTER HARDWARE INC	24-061710	8	610-61653-350	12.57
06/10	06/17/2010	65355	24	WINCHESTER HARDWARE INC	24-061710	9	610-61935-350	85.97
06/10	06/17/2010	65355	24	WINCHESTER HARDWARE INC	24-061710	10	620-62830-355	16.99
06/10	06/17/2010	65355	24	WINCHESTER HARDWARE INC	24-061710	11	620-62840-340	112.55
Total 65355:								635.14
06/10	06/17/2010	65356	562	WWOA	562-061710	1	620-62820-154	40.00
06/10	06/17/2010	65356	562	WWOA	562-061710	2	620-62820-154	40.00
Total 65356:								80.00
06/10	06/17/2010	65357	64	XEROX CORP	47805257	1	220-55110-242	16.68
06/10	06/17/2010	65357	64	XEROX CORP	48152124	1	220-55110-242	13.20
06/10	06/17/2010	65357	64	XEROX CORP	48152125	1	220-55110-242	111.41
06/10	06/17/2010	65357	64	XEROX CORP	599427015	1	220-55110-242	177.36
Total 65357:								318.65
06/10	06/24/2010	65358	78	AMON & SONS INC, B R	31450	1	100-53300-405	1,650.70
Total 65358:								1,650.70
06/10	06/24/2010	65359	5876	BROKHAUSEN, CHAD	REFUND	1	100-21690	189.00

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Total 65359:								189.00
06/10	06/24/2010	65360	144	CIARDO, MICHAEL	GALLS REIM	1	100-52110-118	515.69
Total 65360:								515.69
06/10	06/24/2010	65361	5881	COZUMEL	5881-062410	1	100-44200-51	40.00
Total 65361:								40.00
06/10	06/24/2010	65362	119	GEN COMMUNICATIONS INC	179486	1	216-43355-52	1,352.70
06/10	06/24/2010	65362	119	GEN COMMUNICATIONS INC	179486	2	100-52110-241	1,399.50
06/10	06/24/2010	65362	119	GEN COMMUNICATIONS INC	180024	1	100-52110-241	585.20
Total 65362:								3,337.40
06/10	06/24/2010	65363	3614	GRIEP, MOLLY	REIMBURSE	1	100-53300-310	10.00
Total 65363:								10.00
06/10	06/24/2010	65364	2238	HAMMERL, MARGIE	REIMBURSE	1	100-13500	75.00
Total 65364:								75.00
06/10	06/24/2010	65365	111	KETTERHAGEN MOTORS INC	011410	1	100-52300-241	100.00-
06/10	06/24/2010	65365	111	KETTERHAGEN MOTORS INC	C80343	1	100-52110-241	221.22
06/10	06/24/2010	65365	111	KETTERHAGEN MOTORS INC	S005310	1	100-52120-241	12.26
06/10	06/24/2010	65365	111	KETTERHAGEN MOTORS INC	T17710	1	610-61933-340	400.00-
06/10	06/24/2010	65365	111	KETTERHAGEN MOTORS INC	T18050	1	100-52110-241	72.00
06/10	06/24/2010	65365	111	KETTERHAGEN MOTORS INC	T18054	1	100-52110-241	292.44
06/10	06/24/2010	65365	111	KETTERHAGEN MOTORS INC	T18057	1	100-52110-241	35.00-
Total 65365:								62.92
06/10	06/24/2010	65366	5647	LAND & WATER LLC	UTILITY REF	1	610-46461-61	827.81
06/10	06/24/2010	65366	5647	LAND & WATER LLC	UTILITY REF	1	610-46461-61	827.81- V
06/10	06/24/2010	65366	5647	LAND & WATER LLC	UTILITY REF	2	100-46120-51	171.03
06/10	06/24/2010	65366	5647	LAND & WATER LLC	UTILITY REF	2	100-46120-51	171.03- V
Total 65366:								.00
06/10	06/24/2010	65367	176	MEYER'S AUTO SUPPLY	85696	1	100-52200-241	29.88
06/10	06/24/2010	65367	176	MEYER'S AUTO SUPPLY	86107	1	100-52200-241	230.04
06/10	06/24/2010	65367	176	MEYER'S AUTO SUPPLY	87002	1	100-52110-241	562.53
06/10	06/24/2010	65367	176	MEYER'S AUTO SUPPLY	87012	1	100-52110-241	68.10-
Total 65367:								754.35
06/10	06/24/2010	65368	5877	MORELAND, ILGA	REFUND	1	100-13500	75.00
Total 65368:								75.00
06/10	06/24/2010	65369	2274	MUNICIPAL COURT FUND	2274-062410	1	100-45110-52	114.00
06/10	06/24/2010	65369	2274	MUNICIPAL COURT FUND	2274-062410	2	100-45110-52	178.00
06/10	06/24/2010	65369	2274	MUNICIPAL COURT FUND	2274-062410	3	100-45110-52	235.00

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Total 65369:								527.00
06/10	06/24/2010	65370	5879	OLIVARES, LAURA	REFUND	1	100-21680	500.00
Total 65370:								500.00
06/10	06/24/2010	65371	5883	PINNACLE	FACADE GR	1	440-57663-805	2,818.13
Total 65371:								2,818.13
06/10	06/24/2010	65372	5880	ROCHA, ROSA	REFUND	1	100-21680	500.00
Total 65372:								500.00
06/10	06/24/2010	65373	2	SENTRY OF WHITEWATER, DA	0010000708	1	100-46733-55	18.25
06/10	06/24/2010	65373	2	SENTRY OF WHITEWATER, DA	0010001407	1	100-52300-340	126.27
06/10	06/24/2010	65373	2	SENTRY OF WHITEWATER, DA	0030010010	1	100-52100-340	59.21
06/10	06/24/2010	65373	2	SENTRY OF WHITEWATER, DA	0030032616	1	100-52300-340	67.69
06/10	06/24/2010	65373	2	SENTRY OF WHITEWATER, DA	0040008718	1	100-52300-340	10.37
Total 65373:								281.79
06/10	06/24/2010	65374	5882	SERVIN, ENRIQUE JIMENEZ	OVERPAYM	1	100-45130-52	10.00
Total 65374:								10.00
06/10	06/24/2010	65375	5878	SMITH, ALLISON	REIMBURSE	1	100-51200-219	5.26
Total 65375:								5.26
06/10	06/24/2010	65376	102	STA-LITE CORP	4425	1	461-57500-827	9,400.00
Total 65376:								9,400.00
06/10	06/24/2010	65377	358	STRAND ASSOCIATES INC	0079235	1	620-62810-820	26,036.00
06/10	06/24/2010	65377	358	STRAND ASSOCIATES INC	0079237	1	493-57500-821	2,683.46
06/10	06/24/2010	65377	358	STRAND ASSOCIATES INC	0079238	1	100-56300-219	78.35
06/10	06/24/2010	65377	358	STRAND ASSOCIATES INC	0079238	2	100-56300-219	365.56
06/10	06/24/2010	65377	358	STRAND ASSOCIATES INC	0079238	3	620-62820-219	597.36
06/10	06/24/2010	65377	358	STRAND ASSOCIATES INC	0079238	4	100-56300-219	1,199.50
06/10	06/24/2010	65377	358	STRAND ASSOCIATES INC	0079452	1	440-57663-840	2,370.41
06/10	06/24/2010	65377	358	STRAND ASSOCIATES INC	0079479	1	440-57663-841	18,808.81
06/10	06/24/2010	65377	358	STRAND ASSOCIATES INC	0079480	1	440-57663-841	916.73
06/10	06/24/2010	65377	358	STRAND ASSOCIATES INC	0079481	1	440-57663-840	13,562.75
Total 65377:								66,418.93
06/10	06/24/2010	65378	19	UNITED PARCEL SERVICE	00000X36X8	1	100-52100-310	28.53
06/10	06/24/2010	65378	19	UNITED PARCEL SERVICE	00000X36X8	2	620-62820-310	27.85
Total 65378:								56.38
06/10	06/24/2010	65379	4348	VALADEZ, SAUL	LUNCH REI	1	100-52110-154	18.95

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Total 65379:								18.95
06/10	06/24/2010	65380	5702	VERDUZCO, JOSE	REFUND	1	100-21680	500.00
Total 65380:								500.00
06/10	06/24/2010	65381	1632	WESTON, RYAN	LUNCH REI	1	100-52110-154	18.42
Total 65381:								18.42
06/10	06/24/2010	65382	414	WINGER, TINA	BAGGAGE C	1	100-52120-330	30.00
Total 65382:								30.00
06/10	06/24/2010	65383	5490	WDATCP	225454F1	1	100-55210-342	45.00
Total 65383:								45.00
06/10	06/24/2010	65384	319	4TH OF JULY CORP	0610DONATI	1	100-55320-720	5,000.00
Total 65384:								5,000.00
06/10	06/24/2010	65385	5647	LAND & WATER LLC	0610REFUN	1	610-46461-61	574.53
06/10	06/24/2010	65385	5647	LAND & WATER LLC	0610REFUN	2	100-46120-51	171.03
Total 65385:								745.56
Grand Totals:								926,653.87

Report Criteria:

Report type: GL detail

Check.Check number = {<} 65017 {OR} {>} 65074 {AND} {<} 65157 {OR} {>} 65221

## WHITEWATER LANDMARKS COMMISSION

May 5, 2010

Chair, Mariann Scott called to order the monthly meeting of the Whitewater Landmarks Commission at 5:06 P.M. in the City Manager's Conference Room of the Whitewater Municipal Building.

### Roll Call

Roll call was taken with the following members present: Mariann Scott, Linda Loomer, Kathleen Haas Lashley, Marilyn Kienbaum, and Carol Christ. Kimberly Krebs was absent. Richard Helmick, from Friends of the Mounds was a guest. Marilyn was welcomed as the council representative.

### Approval of Agenda

The agenda was accepted as printed.

### Approval of Minutes

Linda Loomer moved to approve the April 7, 2010 minutes with a second by Kathleen Lashley. Motion approved.

### Next Landmark's Commission Meeting

The next meeting is set for June 2 at 5 P.M in the City Manager's Conference Room at the Whitewater Municipal Building.

## **OLD BUSINESS**

### Whitewater Depot Renovation

The Depot Restoration Committee met today, May 5 at 11 PM. Ideas for the renovation included the following: Venting for the roof may be needed. The front double doors will become the front entrance. Gutters and downspouts may be needed for a portion of the roof. The original windows will be kept and need some restoration. The environment will be controlled so windows will not be opened; therefore, storm windows may be needed. The staircase to the basement will be moved inside. Steps would be under the bathroom. There is a possibility that both sides of the basement could be used. A new water heater may be needed. ADA standards can be met with existing bathroom. Everything has to go to DOT for approval. Work will begin in Feb 2011 and work will probably take a year. It doesn't appear that anything will need Landmarks approval.

### James and Ella Rockefeller House

The status of the James and Ella Rockefeller House at 837 South Janesville Road, owned by Russell Walton is in question due to a Highway 59 intersection change. We looked at a memorandum of agreement between the Federal Highway Administration and The Wisconsin State Historic Preservation Office that was signed by Kevin Brunner in March. It was not clear if this MOA is in effect. Mariann is going to contact Kevin and Russell Walton regarding the status of the paperwork.

### Maid of the Mist

There is concern that the Maid is not in a protected spot in the Cultural Arts Center. The Whitewater Arts Alliance feels there is no artistic value as it is a reproduction of the original. The Historical Society is meeting tomorrow and will discuss the Maid, the Dolphins and the Teepees. The Landmarks feels that even if these items do not have an artistic value, they do have historical value.

### Indians Mounds Task Force

No report as the task force has not met since April 6.

### Whitewater Indian Mounds Park

There is a joint meeting of the Park and Rec Board, Landmarks Commission and Mounds Task Force at 5 PM on Monday, May 10 at city hall. Discussion will focus on the proposed name change. The city council sent the name change back to committee after rejecting Whitewater Mounds Archeological Park. There was concern about leaving the word Indian out of the name. Kathleen Lashley moved to support the name "Effigy Mounds Preserve" Linda Loomer seconded the motion. Motion carried unanimously.

## Friends of the Mounds

On April 23<sup>rd</sup>, Whitewater in conjunction with UW – Whitewater, held its annual “Make a Difference” Day, and volunteers pulled 32 bags of garlic mustard. Nancy Dade, Mariann Scott and Alan Luckett participated, as well as 17 students. There is concern that the paths are hard to see for the upcoming tour on May 22. Also people need to enter so they are not crossing over the mink mound. Mariann showed a map of the proposed path for May 22<sup>nd</sup> tour. She will be giving the map to Chuck Nass, who will be mowing. He will provide spray paint so that the Friends can clearly mark the direction the tour will take. The Friends will have tour guides conducting the tours and either Amy Peterson or John Broihahn, state archeologists will be present to answer questions.

## Whitewater Historic Preservation Day

Richard Helmick prepared the flip side of the tour map with a listing of the landmarks in the order of the self-guided walk. People who are participating are Dan Sable, who will give tours of the Starin Mansion, Hamilton House will open its parlor and Kathy Flemings' son is doing a presentation in costume, Bobbi Landsee with Irene Petake (who will be dressed as Florence Bassett) will talk about the Bassett House, Roy Nosek will talk at the Birge Fountain, Carol Christ and Don Werdin will talk at the Smith Allen House, and Fred Kraege and Friends of the Mounds will end the tour at Irvin Young Library. There will also be a costumed presenter at the Stone Stable. Dan Malone is thinking of a cookout at the Meat Market.

Publicity: On Thursday May 13, at 9 AM, Mariann and John Broihahn will be on “Morning Magazine”, station WFAW, Fort Atkinson. There will also be a display of the local landmarks at the Irving Young Library. Michelle Smith took pictures of all of the landmarks and Mariann is getting a display ready. Kathleen Haas Lashley is preparing posters advertising the event.

## Certified Local Government Reports

Mariann and Michelle Smith are working on these reports to be submitted to the state.

## Designation of future local landmarks

While doing research, Mariann discovered that the Pescheret Building had once been nominated as a local landmark. For some reason it was not approved. It was suggested that the owners be approached to see if they were interested in pursuing local landmark status at this time.

Vivian Henderson, owner of a historic home at the corner of Gault and Harper has contacted the Commission, requesting landmark status for her home.

## **NEW BUSINESS**

### Future Agenda Items

- A. Congregational Church Clock Tower
- B. Whitewater Historical Survey Recommendations
- C. Leaflets and Educational Materials
- D. Report on new provisions of Chapter 17
- E. Action on Landmarks Commission By-laws
- F. Walk of Historical Churches for next year's tour

## Adjournment

Kathleen moved for adjournment. Seconded by Linda Loomer. Motion carried. Meeting adjourned at 6:40.

Respectfully submitted,

Carol Christ  
Secretary

## WHITEWATER LANDMARKS COMMISSION

June 9, 2010

Chair, Mariann Scott called to order the monthly meeting of the Whitewater Landmarks Commission at 5:06 P.M. in the City Manager's Conference Room of the Whitewater Municipal Building.

Roll Call

Roll call was taken with the following members present: Mariann Scott, Linda Loomer, Kathleen Haas Lashley, Kimberly Krebs and Carol Christ. Marilyn Kienbaum was absent. Brandon Vervelde arrived at 5:20 PM. Brandon was welcomed as the newest member of the commission.

Approval of Agenda

Number XIII was moved to Number II and the agenda was approved.

Skindingsrude Property

Sherry Stanek and Alan Marshall from First English Lutheran Church were present. The church voted to demolish Skindingsrude Funeral Home which they own. It is expensive to update, so a task force has been looking at possible options. It might be used as greens space, meditation garden and/or parking. It is part of the Main Street Historic District and on the State Historic Register. It was suggested that the church contact the Wisconsin Historical Society to see if there are any restrictions on demolition.

Approval of Minutes

Linda Loomer moved to approve the May 5, 2010 minutes with a second by Kathleen Lashley. Motion approved.

Next Landmark's Commission Meeting

The next meeting is set for July 7, at 5 P.M in the City Manager's Conference Room at the Whitewater Municipal Building.

**OLD BUSINESS**Whitewater Depot Renovation

Everything has to go to DOT for approval. Work will begin in Feb 2011 and work will probably take a year. It doesn't appear that Landmarks approval will be needed.

James and Ella Rockefeller House

The status of the James and Ella Rockefeller House at 837 South Janesville Road, owned by Russell Walton is in question due to a Highway 59 intersection change. At the May meeting of the commission, we looked at a memorandum of agreement between the Federal Highway Administration and The Wisconsin State Historic Preservation Office that was signed by Kevin Brunner in March. It was not clear if this MOA is in effect. At this point it appears that demolition may be the option that the owner and DOT are pursuing. If so, we need to find out if there will be a way to document the property for historical purposes. Could we get a grant to aid with documentation?

Certified Local Government Reports

Mariann and Michelle Smith are working on these reports to be submitted to the state.

Birge Fountain figures

There is concern that the Maid is not in a protected spot in the Cultural Arts Center. Allen Luckett feels that a case could be built to keep it safe and undamaged. Perhaps the Dolphins could be put in the new library expansion. The Landmarks feels that even if these items do not have an artistic value, they do have historical value.

## Landmarks Commission By-Laws

It was agreed that we work on this at the September 2010 meeting.

### Friends of the Mounds

Mariann attended the City Council Meeting on June 1 and talked about the survey of the mounds on May 20<sup>th</sup>. The state archeologist first put in stakes to mark the mounds. GPS coordinates now indicate the boundaries. A new path now is set that doesn't cross over any mounds. A tour of several state mounds is set for next Saturday, June 12<sup>th</sup>. The Friends are meeting on Thursday, June 10<sup>th</sup>.

### Indians Mounds Task Force

The Task Force met with the Park and Rec Board, Friends of the Mounds and interested citizens on Monday, May 10, for 1 hour and 45 minutes. The name, Whitewater Effigy Mounds Preserve was agreed upon as the name to submit to the city council for approval. At this point public notification of the name change is going on, in accordance with open meeting law after which the council will take the name under consideration

### Whitewater Historic Preservation Day

The first Whitewater Historic Preservation Day was held on May 22<sup>nd</sup>. Tours were given of the Mounds every hour from 8 – 12 P.M. A costumed presenter at the Stone Stable, Jim Boisvert, in the guise of Zera Mead, talked about the stable. Kathleen Hass Lashley talked about the significance of the building. Ginny Coburn and JerryWendt spoke about the grass roots committee that moved and rebuilt the stable. Approximately thirty people attended the walking tour. There were 5 tours at Sable House. Kathy Fleming of the Hamilton House suggested a tour of churches next year. Pastor Wendt was interested and would be willing to participate. It was suggested that we have a committee work on this and set a date by October. It was agreed to keep the event in May during Historic Preservation Month. The Historic Starin Park Neighborhood Assn (Fremont and Franklin-Esterly proposed historic districts) might also be interested in a tour.

## **NEW BUSINESS**

### Designation of future local landmarks

While doing research, Mariann discovered that the Pescheret Building had once been nominated as a local landmark. For some reason it was not approved. It was suggested that the owners be approached to see if they were interested in pursuing local landmark status at this time. The Pescheret house applied before and we have all of the paperwork.

Vivian Henderson, owner of a historic home at the corner of Gault and Harper has contacted the Commission, requesting local landmark status for her home. It was a school.

### Education

There is a need for a new Local Landmarks booklet. Linda Loomer will collect for what has already been published

### Future Agenda Items

- A. Congregational Church Clock Tower
- B. Whitewater Historical Survey Recommendations
- C. Leaflets and Educational Materials
- D. Report on new provisions of Chapter 17

### Adjournment

Kathleen moved for adjournment. Seconded by Linda Loomer. Motion carried. Meeting adjourned at 6:48.

Respectfully submitted,

Carol Christ  
Secretary

**RESOLUTION APPROVING THE PURCHASE OF  
372 NORTH FREMONT STREET, WHITEWATER, WISCONSIN**

**WHEREAS**, the owners of 372 North Fremont Street, Whitewater, Wisconsin, have requested that the City of Whitewater consider purchasing the property for the purpose of expansion of Starin Park, and

**WHEREAS**, the acquisition of 372 North Fremont Street will improve the quality of the park and increase opportunities for the public's use and enjoyment of the park, and

**WHEREAS**, the City of Whitewater Park and Recreation Board has recommended that the City of Whitewater purchase 372 North Fremont Street for the purpose of expanding Starin Park, and

**WHEREAS**, Ninety-five thousand Three Hundred Eleven and 00/100ths (\$95,311.00) Dollars is a fair market price for the property, and

**WHEREAS**, the purchase of 372 North Fremont Street is in the best interest of the citizens of the City of Whitewater.

Now, therefore, **BE IT RESOLVED** that, subject to the approval of the City of Whitewater Plan and Architectural Review Commission approval, the City Manager and the City Clerk are hereby authorized to sign any and all documents necessary to purchase the property located at 372 North Fremont Street for the price of Ninety-Five Thousand Three Hundred Eleven and 00/100ths (\$95,311.00) Dollars.

Resolution introduced by Councilmember \_\_\_\_\_, who moved its adoption. Seconded by Councilmember \_\_\_\_\_.

AYES:

NOES:

ABSENT:

ADOPTED:

\_\_\_\_\_  
Michele R. Smith, City Clerk

\_\_\_\_\_  
Kevin Brunner, City Manager

**RESOLUTION SUPPORTING THE ENFORCEMENT OF MUNICIPAL ORDINANCES  
12.24.020 (APPROVED TREES), 12.24.030 (TRIMMING AND REMOVAL BY CITY) AND  
12.24.040 (DANGEROUS OR DISEASED TREES A NUISANCE)**

WHEREAS, the City of Whitewater, Walworth and Jefferson Counties, Wisconsin, and the Whitewater Common Council have adopted municipal ordinances 12.24.020 (Approved Trees), 12.24.030 (Trimming and Removal by City) and 12.24.040 (Dangerous or Diseased Trees a Nuisance); and

WHEREAS, the City of Whitewater wishes to properly maintain its public right-of-ways in order to maintain the security and/or usefulness of its public streets, sidewalks, sewers and street lights; and

WHEREAS, Whitewater city staff requests Common Council direction on the enforcement of the above ordinances that are intended to provide for proper maintenance of its public streets, sidewalks, sewers and street lights;

NOW THEREFORE BE IT RESOLVED, by the Common Council of the City of Whitewater , Walworth and Jefferson Counties, Wisconsin that all previous actions other than ordinance amendments of the Common Council with regard to enforcement of Ordinances 12.24.020. 12.24.030 and 12.24.040 are hereby withdrawn, and

BE IT FURTHER RESOLVED that the City Manager, Director of Neighborhood Services, Public Works Director and City Forester enforce these ordinances so that the public right-of-ways can be properly maintained in the future.

Resolution introduced by Councilmember \_\_\_\_\_, who moved its adoption.  
Seconded by Councilmember \_\_\_\_\_.

\_\_\_\_\_  
Kevin M. Brunner, City Manager

\_\_\_\_\_  
Michele R. Smith, City Clerk

are not necessary above and beyond merely not wanting a sidewalk.

(1) In calculating the percentage of property owners who have signed the petition, only one signature shall be counted per tax parcel. Individuals or entities owning more than one tax parcel may sign separately for each tax parcel owned. The signature of all record owners of a tax parcel shall be required for the vote of that tax parcel to be counted.

(2) Those submitting said petition must do so within thirty days after receiving notification that sidewalk is required on their street.

(c) Individual property owners, upon receipt of an order from the sidewalk administrator, shall have the right to petition the council for a variance or exception from this chapter. Variances may be not requested by individual property owners by reason of merely not wanting sidewalk.

(d) All exceptions or variances from this chapter shall require a two-thirds vote of the council. (Ord. 1015 §2(part), 1983).

#### Chapter 12.24

#### STREET TREES

#### Sections:

- 12.24.010 Forester designated-Planting regulations.
- 12.24.020 Approved trees.
- 12.24.030 Trimming and removal by city.
- 12.24.040 Dangerous or diseased trees a nuisance.
- 12.24.050 Abuse or mutilation of trees.
- 12.24.060 State statutes adopted.
- 12.24.070 Storing dead elm wood unlawful.
- 12.24.080 Penalty for violation.

#### 12.24.010 Forester designated-Planting regulations.

(a) The director of park/recreation/forestry is designated as the city forester and will be charged with the enforcement of this chapter.

(b) Permission to Plant Trees. No trees or shrubs shall hereafter be planted in or removed from any public street or other public place in the city without permission from the city forester.

(c) Street Tree Plan. All trees and shrubs hereafter planted in any public street or other public place in the city shall conform as to species and location to the street tree plan which is made a part of this chapter.

(d) No new street tree shall be shall be planted nearer than thirty feet from any other live and healthy street tree on the same side of the street, and no street tree shall be planted nearer than twenty-five feet from the point of intersection of public street right-of-way lines or ten feet from any driveway edge. On streets with a right-of-way width of sixty feet or more, new street trees shall be planted not less than eight feet, nor more than nine feet from the street curb or pavement edge, unless otherwise specified by the city forester. New trees to be planted on private property by the city, or by private landowners to meet street tree planting requirements in cases that are first approved by the city forester, must be five to twelve feet behind sidewalks, and must adhere to the requirements of Section 19.06.120(H) of the Whitewater Municipal Code. (Ord. 1619A §1, 2006; Ord. 1291 §§1, 2, 1994; Ord. 1001 §2, 1982; prior code §6.01(10) (part)). (Ord. No. 1618B, § 1, 12-19-2006)

12.24.020 Approved trees.

No tree shall be planted in any public street unless it has been approved by the University of Wisconsin College of Agriculture and Life Sciences or as approved by the city forester. (Ord. 1001 §1, 1982).

12.24.030 Trimming and removal by city.

(a) The city forester or his duly authorized representative may cause to be trimmed, sprayed, pruned, or removed any trees, shrubs, plants or other vegetation in any public street right-of-way, whether such right-of-way includes physical public street improvements or not, or on other city-owned land, if one or more of the following conditions exists:

(1) The city decides that public improvements are required in said street right-of-way or other public lands, including but not limited to any of the street improvements listed in Section 18.04.070 of the Whitewater Municipal Code, and further that the city forester determines that the safe and practical installation of such public improvements requires the trimming, spraying, pruning, or removal of said vegetation.

(2) The vegetation interferes with the function or condition of existing public or utility improvements located within, over, or under the public street right-of-way or other city-owned lands.

(3) A condition described in Section 12.24.040 exists, and the property owner does not take remedial action as directed by the city forester within the required timeframe.

(4) The vegetation is both located within the required triangular vision space as described in Section 19.51.010 of the Whitewater Municipal Code and violates the planting height criteria specified in that section.

(5) The vegetation is both located within the required vision triangle for private driveways abutting public streets as described in Section 19.06.120 of the Whitewater Municipal Code and violates the planting height criteria specified in Section 19.51.010.

(6) The vegetation impedes the visibility of pedestrian, bicycle, or automobile traffic that is adjacent to a private property or is entering or leaving a private property.

(7) The vegetation negatively affects the efficient provision of utility service, emergency services, mail delivery, or other essential public services.

(b) City trimming, spraying, pruning, or removal of vegetation in any public street right-of-way or other city-owned land shall be at the expense of the city, except that where the adjoining private property owner planted such vegetation after January 1, 2007, city trimming, spraying, pruning, or removal of such vegetation shall be at the expense of the adjoining private property owner. This exception shall apply where the adjoining private property owner is a developer who platted the vegetation at the direction of the city.

(c) In the interpretation of this section, priority shall be placed on the preservation of healthy street trees. Tunneling, grading, directional boring, or other alternatives will be considered prior to removal. Removal of vegetation under this section may be undertaken where the city forester determines that other actions short of removal will not satisfactorily address the condition, issue, or problem. Light pole placement will be determined by several criteria including the location of existing trees.

(d) Existing plantings in city rights-of-way shall be removed only when imminent sidewalk and/or infrastructure construction or public safety issues create the need. In the event of sidewalk and/or infrastructure construction, or light pole installation, every effort will be made to save healthy mature trees if they are in the proposed terrace area proper and not where the proposed sidewalk will be. (Ord. 1619A §2, 2006; Ord. 1291 §3, 1994; prior code §6.01(10)(b)).

(Ord. No. 1618B, § 2, 12-19-2006)

12.24.040 Dangerous or diseased trees a nuisance.

(a) Any tree or shrub growing in a public street, alley or any public place, or in private property, which is endangering or which in any way may endanger the security or usefulness of any public street, sewer, street light, or sidewalk, or which is diseased and may spread said disease to other trees, is a public nuisance, and the city may require the property owner to remove, trim, or spray such tree on private property. Failure of the property owner to remove, trim or spray such tree on private property after thirty' days written notice by mail has been given by the city is a violation of this chapter.

(b) Every seven days after said thirty days have elapsed that the property owner continues to fail to remove, trim, or spray such tree(s) on private property is a new violation.

(c) Certificate of Compliance Required. Any property owner ordered hereunder to remove, trim, or spray a tree on private property shall file a certificate of compliance with the city forester within seven days after such ordered removal, trimming or spraying has been completed. The certificate of compliance shall be on forms provided by the city forester. Failure of the property owner to file the certificate within the prescribed time is a violation of this chapter.

(d) Appeals. Appeals from orders made hereunder may be made by filing written notice thereof with the city clerk within five days after such order is received, stating in substance that appeal is being made from such order to the city council. The clerk shall thereupon call such appeal to the attention of the city council at the next regular or special meeting, at which meeting the appellant and the city forester may present evidence. Action taken by the

city council after such hearing shall be conclusive. (Ord. 1291 §4, 1994; Ord. 725 §1, 1972; Ord. 701 §1, 1971; prior code §6.01(10)(c)).

12.24.050 Abuse or mutilation of trees.

It is a violation of this chapter to abuse, destroy or mutilate any tree, shrub, or plant in any public street, or any other public place, or to attach or place any rope or wire (other than one used to support a young or broken tree), sign, poster, handbill or other thing to or on any tree growing in a public place, or to cause or permit any wire charged with electricity to come in contact with any such tree, or to allow any gaseous liquid or solid substance which is harmful to such trees to come in contact with their roots or leaves. (Prior code §6.01(10)(d)).

12.24.060 State statutes adopted.

Section 27.09 of the Wisconsin Statutes of 1957 is hereby adopted and by reference made a part of this chapter with the same force and effect as though set forth in full herein, except as to such provisions which are in conflict with the provisions of this chapter. (Prior code §6.01(10)(e)).

12.24.070 Storing dead elm wood unlawful.

The city is threatened with infestation of elm tree disease and as a control measure against such infestation it is unlawful for any person, firm or corporation to store dead elm wood in the city. (Prior code §6.01(10)(f)(part)).

12.24.080 Penalty for violation.

Any person, firm or corporation fending against any of the provisions of this chapter shall forfeit and pay a penalty of not less than seventy-five dollars nor more than one hundred dollars, plus costs of prosecution and replacement cost of tree; and in default of payment of such penalty, shall be imprisoned in the county jail not to exceed thirty days. (Ord. 1291 §5, 1994; Ord. 983 §55, 1982).

## RESOLUTION \_\_\_\_-2010

ESTABLISHING PUBLIC PARTICIPATION PROCEDURES  
FOR PERIODIC AMENDMENTS TO COMPREHENSIVE PLAN

WHEREAS, the City of Whitewater on February 2, 2010 adopted the City of Whitewater Comprehensive Plan, under the authority of and procedures established by §66.1001(4), Wisconsin Statutes; and

WHEREAS, the City may from time to time consider amendments to that 2010 Comprehensive Plan document in instances when the Plan becomes irrelevant or contradictory to emerging policy or trends, does not provide adequate information or guidance on an issue, or does not reflect revised City positions or policies regarding pending development proposals; and

WHEREAS, §66.1001(4)(a), Wisconsin Statutes, requires that the governing body of the local governmental unit adopt written procedures designed to foster public participation at every stage of the comprehensive plan preparation or amendment process, and that such written procedures shall provide for wide distribution of draft plan materials, an opportunity for the public to submit written comments on the plan materials, and a process for the governing body to respond to such comments; and

WHEREAS, the City of Whitewater believes that meaningful public involvement in processes designed to periodically consider and adopt amendments to its Comprehensive Plan is important to ensure that the resulting Plan and adopted amendments meet the wishes and expectations of the public; and

WHEREAS, the attached "Public Participation Strategy and Procedures for Amendments to the City of Whitewater Comprehensive Plan" includes procedures to foster public participation, ensure distribution of draft plan materials, provide opportunities for written comments on such materials, and provide mechanisms to respond to such comments.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Whitewater hereby adopts the procedures included in the "Public Participation Strategy and Procedures for Amendments to the City of Whitewater Comprehensive Plan" as its public participation procedures for periodic amendments to the City's Comprehensive Plan, meeting the requirements of §66.1001(4)(a), Wisconsin Statutes.

Resolution Adopted: \_\_\_\_\_, 2010

\_\_\_\_\_  
Kevin Brunner, City Manager

ATTEST:

\_\_\_\_\_  
Michele R. Smith, City Clerk

**PUBLIC PARTICIPATION STRATEGY AND PROCEDURES FOR  
AMENDMENTS TO THE CITY OF WHITEWATER COMPREHENSIVE PLAN  
(PREPARED JULY 2010)**

Introduction

A key required component of Section 66.1001 of Wisconsin Statutes—the State’s comprehensive planning legislation—is to actively involve community stakeholders throughout the process to prepare, update, or amend a local comprehensive plan. Public participation helps to ensure that the resulting comprehensive plan accurately reflects the vision, goals, and values of the citizens of a community.

Section 66.1001(4)(a) of Wisconsin Statutes requires the City of Whitewater to adopt, by resolution, written procedures designed to foster public participation at every stage in the preparation or subsequent amendment of its comprehensive plan. The written procedures must provide for wide distribution of the comprehensive plan, an opportunity for the public to submit written comments on the plan, and provisions for local response to such comments.

This document is intended to fulfill this statutory requirement. It outlines the procedures that will be followed to consider and adopt periodic amendments to the City’s February 2, 2010 Comprehensive Plan until the year 2020, when the City must prepare and adopt a full update to its Comprehensive Plan under Wisconsin Statutes.

Key Goals Addressed by this Public Participation Strategy

- Provide opportunities for people to participate in processes to consider and adopt amendments to the City’s Comprehensive Plan.
- Adopt plan amendments that reflect the ideas, desires, and objectives of most residents and property owners.
- Use the City’s Plan Commission as a foundation for guiding the plan amendment process.
- Meet the requirements of Wisconsin’s Smart Growth legislation.
- Recognize that the goals expressed above must be balanced with the need to complete the comprehensive plan amendments within a reasonable timeframe.

Public Participation Techniques

The City will, at a minimum, use the following techniques to obtain public input during each plan amendment process:

- Ensure that all Plan Commission and City Council meetings to consider and adopt Comprehensive Plan amendments are open to the public, and are noticed as required by State open meeting regulations.
- Provide at least some opportunity at all public meetings for public comment, at the discretion of the Plan Commission or City Council. Some meetings will be specifically intended to encourage wide participation from the public. Other meetings will be primarily intended to be work sessions for the Plan Commission, City Council, or some

combination. With respect to the latter, a public comment period will be included at the end of the work session, the beginning of the work session, or both. This will allow the Commission or Council to concentrate on completing tasks without interruption, while still allowing the public an appropriate opportunity to observe and provide comments.

- Hold at least one formal public hearing on the proposed comprehensive plan amendments and the adopting ordinance prior to adoption. All members of the public will have an opportunity to present testimony and offer comments at the public hearing. The public hearing will be noticed and held per the requirements of Wisconsin Statutes, Section 66.1001.

#### Opportunities for Comments on the Draft Comprehensive Plan Amendments

The City will have available copies of draft plan amendment materials at the City Hall during normal business hours. The City will also provide copies of the draft and final plan amendments to adjacent and overlapping governments and non-metallic mineral interests as required by statute, and to members of the participating public as requested. The City may charge for public copies an amount equal to the costs of time and materials to produce such copies.

Public comments will be solicited and responded to at every stage of the plan amendment process. Written comments on the comprehensive plan amendments may also be delivered, mailed, faxed, or e-mailed to the City Clerk. The City will respond to written comments via mail, e-mail, fax, telephone, meeting, and/or through consideration of appropriate changes to the comprehensive plan, or to the proposed amendments to the comprehensive plan.

O-a1

**ORDINANCE NO.  
AN ORDINANCE CREATING WHITEWATER MUNICIPAL CODE  
SECTION 11.08.125  
ENTITLED SPEED LIMIT IN ALLEYS**

The Common Council of the City of Whitewater, Walworth and Jefferson Counties, Wisconsin, do hereby ordain as follows:

**SECTION 1:** Whitewater Municipal Code Chapter 11.08, Section 11.08.125 Speed Limit in Alleys is hereby created to read as follows:

11.08.125 Speed Limit in Alleys.

The speed limit in all alleys in the City of Whitewater shall be ten (10) miles per hour effective upon the posting of signage to that effect in the alley.

**SECTION 2:** This ordinance shall take effect upon passage and publication as provided by law.

Ordinance introduced by Councilmember \_\_\_\_\_, who moved its adoption.

Seconded by Councilmember \_\_\_\_\_.

AYES:

NOES:

ABSENT:

ADOPTED:

\_\_\_\_\_  
Kevin Brunner, City Manager

\_\_\_\_\_  
Michele R. Smith, City Clerk

ORDINANCE NO. \_\_\_\_\_

**ORDINANCE CREATING CHAPTER 19.485  
LARGE RETAIL AND COMMERCIAL SERVICE DEVELOPMENT  
STANDARDS**

The Common Council of the City of Whitewater, Walworth and Jefferson Counties, Wisconsin, do hereby ordain as follows:

Section 1: Whitewater Municipal Code, Chapter 19.27.030(P) [B-1 district conditional uses], is hereby repealed and recreated to read as follows:

P. Large Retail and Commercial Service Developments, as described and regulated in Chapter 19.485.

Section 2: Whitewater Municipal Code, Chapter 19.33.030(P) [B-3 district conditional uses], is hereby repealed and recreated to read as follows:

P. Large Retail and Commercial Service Developments, as described and regulated in Chapter 19.485.

Section 3: Whitewater Municipal Code, Chapter 19.485, Large Retail and Commercial Service Development Standards is hereby created to read as follows:

**19.485.010 Title**

This section shall be known, cited, and referred to as the Large Retail and Commercial Service Development ordinance.

**19.485.020 Description**

A Large Retail and Commercial Service Development is a development comprised of one or more contiguous parcels or building sites for a single retail or commercial service enterprise or for multiple such enterprises within which the total combined floor and surface area of all indoor retail and/or commercial activities, associated enclosed or outdoor storage, and associated outdoor display exceeds 20,000 square feet. The requirements of Chapter 19.485 are applicable to any new, altered or expanded establishment or group of establishments that meet or exceed the above floor and surface area threshold, where a complete application for conditional use permit or PCD zoning is filed after the effective date of this ordinance. The vacant building provisions set forth in 19.485.040 F. 18. shall also apply to Large Retail and Commercial Service Developments that were constructed prior to the effective date of this ordinance.

**19.485.30 Conditional Use Permit or PCD Approval Required.**

A. Aside from where allowed under an approved PCD district, Large Retail and Commercial Service Developments shall require a conditional use permit

48 within any district in which they are allowed per other chapters in this Title.  
49 All additions to structures, parking, or storage areas that are part of an  
50 approved Large Retail and Commercial Service Development shall require an  
51 amendment to the conditional use permit or the previously approved PCD  
52 plans, per the associated requirements for such amendments in this Title.

53  
54 B. Subsequent changes to individual land uses listed as permitted uses within the  
55 applicable zoning district (for example, a new tenant in a pre-existing retail  
56 space) are permitted without amendment to the associated Large Retail and  
57 Commercial Development conditional use permit or PCD specific  
58 implementation plan, unless said conditional use permit or PCD plan placed  
59 restrictions on such change of use.

60  
61 C. Subsequent individual land uses following initial approval of the development  
62 allowed only by conditional use permit in the zoning district or approved PCD  
63 specific implementation plan may be allowed only under a subsequent  
64 conditional use permit for the specific use, regardless of whether said use  
65 entails modifications to the building and/or site layout.

66  
67 **19.485.040 Regulations.**

68  
69 In addition to applicable zoning district standards and other applicable standards  
70 of this Title, each Large Retail and Commercial Service Development shall meet the  
71 following additional standards, as may be applicable given the size of each such  
72 Development:

73  
74 A. **Large Retail and Commercial Service Development Questionnaire.** A Large  
75 Retail and Commercial Service Development questionnaire shall be fully  
76 completed when a development reaches or exceeds the defined threshold for such  
77 a questionnaire established in Figure 19.485(2). The completed Large Retail and  
78 Commercial Service Development questionnaire shall specifically address  
79 compatibility with the City's comprehensive plan and detailed neighborhood,  
80 recreation, and other applicable plans, and follow the format included as Figure  
81 19.485(3), subject to amendments by the Zoning Administrator as appropriate,  
82 and with attachments included as the Administrator determines necessary.

83  
84 B. **Traffic Impact Analysis.** A traffic impact analysis is required when a  
85 development reaches or exceeds the defined threshold for such an analysis  
86 outlined in Figure 19.485(2), and may be required by the City Director of Public  
87 Works for projects below that threshold if there is initial evidence to suggest that  
88 existing roads in the area may not be adequate to accommodate additional traffic  
89 demands. The traffic impact analysis shall be completed in accordance with  
90 standards approved by the City Director of Public Works, or where he/she does  
91 not approve a particular standard, with the most current revision of the Traffic  
92 Impact Analysis Guidelines published by the State of Wisconsin Department of  
93 Transportation. Where the Traffic Impact Analysis indicates that the proposed

94 development may cause off-site public roads, intersections, or interchanges to  
95 function below level of service (LOS) D, then the City may deny the application,  
96 may require a size reduction in the proposed development, and/or may require the  
97 developer to construct and/or pay for required off-site improvements to achieve  
98 LOS D for a planning horizon of a minimum of ten years following full build-out  
99 of the Development. All such Developments shall have direct access to an arterial  
100 or collector street. Vehicle access shall be designed to accommodate peak on-site  
101 traffic volumes without disrupting traffic on public streets or impairing pedestrian  
102 safety. This shall be accomplished through adequate parking lot design and  
103 capacity; access drive entry throat length, width, design, location, and number;  
104 traffic control devices; and/or sidewalks. The site design shall provide direct  
105 transportation connections to adjacent land uses and sites if required by the City.  
106

107 **C. Economic and Fiscal Impact Analysis.** An economic and fiscal impact analysis  
108 is required when a Development reaches or exceeds the defined threshold for such  
109 an analysis outlined in Figure 19.485(2). The economic and fiscal impact analysis  
110 shall include all of the items identified in Figure 19.485(4) and meet the following  
111 requirements:  
112

- 113 1. The analysis shall identify and assess the economic and fiscal impacts on the  
114 City.  
115
- 116 2. The analysis shall propose measures to mitigate adverse impacts and/or  
117 maximize positive impacts, including provision of infrastructure or public  
118 service improvements sufficient to support the Development. Any adverse  
119 impacts that cannot be mitigated shall be identified. Mitigation measures to be  
120 implemented by the applicant shall be identified.  
121
- 122 3. If required by the Zoning Administrator, the applicant shall provide the  
123 necessary funding to the City to hire a consultant of the City's choice, with  
124 appropriate experience to complete and present an objective economic and  
125 fiscal impact analysis to the City.  
126

127 **D. Detailed Neighborhood Plan.** A detailed neighborhood plan is required when a  
128 Development reaches or exceeds the defined threshold for such a plan outlined in  
129 Figure 19.485(2). Such neighborhood plan shall cover any undeveloped areas  
130 within a 1,500 foot radius from the boundaries of the Development site (except  
131 where a lesser radius is approved by the Zoning Administrator) and be prepared to  
132 a recognized scale. The detailed neighborhood plan must be completed by the  
133 City or applicant prior to the application for conditional use permit or rezoning,  
134 and submitted or referenced with such application. The detailed neighborhood  
135 plan shall include a map of sufficient detail to establish the potential future mix  
136 and development of land uses based on the City's comprehensive plan and the  
137 relationship of surrounding lands to the Large Retail and Commercial Service  
138 Development with regard to provision of streets, driveways, bicycle/pedestrian  
139 routes, utilities, stormwater management, landscape transitions, setbacks, and

140 community design and character, and general layout, all in a manner that is  
141 consistent with the City's comprehensive plan.

142

143 E. **Facilities and Associated Features.** The following requirements are applicable  
144 when a Large Retail and Commercial Service Development reaches or exceeds  
145 the defined threshold for such facilities and associated features outlined in Figure  
146 19.485(2):

147

148 1. Building Location.

149

150 Wherever practical, as determined by the Plan and Architectural Review  
151 Commission based on the particular setting, the primary building within the  
152 Development shall be located close to the public street, including parking to  
153 the side or rear of that building. Where such primary building is proposed to  
154 be distant from the public street, the Commission may require that the overall  
155 development design include smaller buildings on pads or outlots closer to the  
156 street. All buildings on outlots shall have an orientation and architectural  
157 quality that relates to the primary building. Placement and orientation of all  
158 buildings must facilitate appropriate land use transitions and appropriate  
159 traffic flow to adjoining roads and to neighboring commercial areas,  
160 commercial sites, and neighborhoods, and must forward community character  
161 objectives described in the City's comprehensive plan. Also see Section  
162 19.485.040 E.7. below for requirements associated with the location of  
163 parking lots.

164

165 2. Building Materials.

166

167 Exterior building materials shall be of comparable aesthetic quality on all  
168 sides. Building materials such as glass, brick, stone, tinted and decorative  
169 concrete block are preferred, with wood, stucco, and exterior insulation and  
170 finish systems (EIFS) also permitted, as determined appropriate by the Plan  
171 and Architectural Review Commission. Decorative architectural metal with  
172 concealed fasteners or decorative tilt-up concrete panels may be approved  
173 only if integral to the overall design of the building. Windows shall be  
174 prominently incorporated into the building design for both aesthetic and  
175 daylighting effect.

176

177 3. Building Design.

178

179 The building exterior shall complement other buildings in the vicinity (except  
180 those buildings identified for redevelopment), and shall meet the following:

181

182 a. The building shall employ varying façade setbacks, heights, roof  
183 treatments, doorways, window openings, and other structural or decorative  
184 elements to reduce apparent size and scale of the building and to add  
185 architectural interest.

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- b. A minimum of 20 percent of the building's facades that are visible from a public street shall employ actual façade protrusions or recesses with a depth of at least six feet. No uninterrupted façade without protrusions or recesses shall extend more than 100 feet in length.
  - c. A minimum of 20 percent of all of the combined linear roof eave or parapet lines of the structure shall employ differences in height, with such differences being six feet or more as measured eave to eave or parapet to parapet.
  - d. Roofs with particular slopes may be required to complement existing buildings in the vicinity or otherwise establish a particular aesthetic objective.
  - e. Ground floor facades that face public streets shall have some combination of arcades (a series of outdoor spaces located under a roof or overhang and supported by columns or arches), display windows, entry areas, awnings, or other such features along no less than 50 percent of the horizontal length of such façades.
  - f. The integration of windows into building design is required. Windows shall be transparent glass wherever the Plan and Architectural Review Commission determines it practical. The use of blinds, spandrel (reflecting) glass, or display windows shall be acceptable where there is a determination that opacity is required. Backlighting of such windows may be required in such instances.
  - g. Building facades that are visible to the public shall include a repeating pattern that includes no less than three of the following elements: (i) color change, (ii) texture change, (iii) material modular change, (iv) expression of architectural or structural bay through a change in plane no less than 24 inches in width, such as an offset, reveal or projecting rib. At least one of these elements shall repeat horizontally.
4. Building Entrances.
- Public building entrances shall be clearly defined and highly visible on the building's exterior design, and shall be emphasized by, and be the focal point for, on-site traffic flow patterns. Two or more of the following design features shall be incorporated into all public building entrances: canopies or porticos, overhangs, projections, arcades, peaked roof forms, arches, or outdoor patios.
5. Building Colors.

231 Building facade colors shall be non-reflective, subtle, neutral, or earth tone.  
232 The use of high intensity colors, metallic colors, fluorescent colors or black on  
233 facades shall be prohibited. Building trim and architectural accent elements  
234 may feature bright colors or black, but such colors shall be muted, not  
235 metallic, not fluorescent, and not specific to particular uses or tenants.  
236 Standard corporate and trademark colors shall be permitted only on signage,  
237 unless such corporate colors meet the preceding building façade color  
238 standards.

239  
240 6. Screening.

- 241  
242 a. All ground-mounted and wall-mounted mechanical equipment, refuse  
243 containers and any permitted outdoor storage shall be fully concealed from  
244 on-site and off-site ground level views, with materials identical to those  
245 used on the building exterior facades.
- 246  
247 b. All rooftop mechanical equipment shall be screened by parapets, upper  
248 stories, and/or strategic placement relative to exterior walls or roofs, so as  
249 to not be visible from public streets adjacent or within 1,000 feet of the  
250 subject property.
- 251  
252 c. Loading docks shall be completely screened from surrounding public  
253 streets and properties. Said screening may be accomplished through  
254 loading areas internal to buildings, screen walls which match the building  
255 exterior in materials and design, fully opaque landscaping at time of  
256 planting, or combinations.
- 257  
258 d. Gates and fencing may be used for security and access, but not for  
259 screening, and they shall be of high aesthetic quality. Decorative metal  
260 picket fencing and screening is acceptable. Chain link, wire mesh, or wood  
261 fencing is unacceptable, except that decorative, heavy-duty wood gates  
262 may be used.

263  
264 7. Parking.

- 265  
266 a. All parking lots shall be designed in accordance with Chapter 19.51 of this  
267 Title.
- 268  
269 b. Parking lots in which the number of spaces significantly exceeds the  
270 minimum number of parking spaces required for the specific use or uses in  
271 Section 19.51.130 shall be allowed only with specific and reasonable  
272 justification provided by the applicant within the application.
- 273  
274 c. Parking lots shall be designed to create distinct parking areas of not more  
275 than 120 parking stalls each through use of landscaped and curbed  
276 medians and islands, a minimum of ten feet in width from back-of-curb to

277 back-of-curb. Each landscaped island shall be a minimum of 360 square  
278 feet in landscaped area; and landscaped islands shall be spaced at intervals  
279 no greater than one island per every 20 spaces in that aisle. Each  
280 landscaped island shall be planted with a minimum of one deciduous tree.  
281

- 282 d. Wherever site conditions allow, the Plan and Architectural Review  
283 Commission may require some or all parking to be oriented to the side  
284 and/or rear of the primary building within the Development, allowing the  
285 building to be located closer to the public street. Applicants proposing to  
286 locate the majority of parking between the primary building and the public  
287 street shall submit information along with their application identifying the  
288 reasons why more or all parking may not be located to the side or rear of  
289 the principal building, either through a change in parking location, change  
290 in building location, or both.  
291

292 8. Bicycle and Pedestrian Facilities.  
293

- 294 a. The entire Development shall provide for safe pedestrian and bicycle  
295 access to all uses within the Development, connections to existing and  
296 planned public sidewalks and other pedestrian and bicycle facilities, and  
297 connections to adjacent properties.  
298
- 299 b. Pedestrian walkways shall be provided from all building entrances to  
300 existing or planned public sidewalks or other pedestrian and bicycle  
301 facilities. The minimum width for sidewalks adjacent to buildings shall be  
302 eight feet; and the minimum width for sidewalks elsewhere in the  
303 Development shall be five feet.  
304
- 305 c. Sidewalks internal to the Development shall have adjoining landscaping  
306 along at least 50 percent of their length, and may be required to be  
307 provided with pedestrian-scale lighting.  
308
- 309 d. Crosswalks within parking and driveway areas shall be distinguished from  
310 driving surfaces to enhance pedestrian safety by using different pavement  
311 materials, color, and/or texture in combination with signage.  
312
- 313 e. The Development shall provide secure, attractive, integrated bicycle  
314 parking. For Developments with fewer than 100 motor vehicle parking  
315 stalls, the minimum number of bicycle parking spaces shall not be less  
316 than 10 percent of the number vehicle parking stalls. For Developments  
317 with 100 or more motor vehicle parking stalls, the minimum number of  
318 bicycle parking spaces shall not be less than 5 percent of the number of  
319 motor vehicle parking stalls. The inverted-U type bike rack is the preferred  
320 design, except where the City or applicant is attempting to advance a  
321 particular design theme for the area. Each inverted-U may count as two  
322 bicycle parking spaces.

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- f. All bicycle parking racks shall be located within 50 feet of the main building entrance (except where secondary bicycle parking areas are located close to a separate employee entrance) and placed in a visible, well-lit, hard-surfaced, and accessible location at least 30 inches from the nearest building wall. At least one-half of all bicycle parking spaces shall be covered by a building canopy, arcade, or other shelter.
  
- g. The Development shall provide exterior pedestrian furniture in appropriate locations at a minimum rate of one seat for every 20,000 square feet of floor area (per the measurement method in Section 19.485.020). In addition, a minimum of four seats shall be located within the store, with a clear view through exit doors to a passenger pick-up or drop-off area.

9. Central Areas and Features.

Each Development exceeding 80,000 square feet in floor area (per the measurement method in Section 19.485.020) shall provide central area(s) or feature(s) such as a patio/seating area, pedestrian plaza with benches, outdoor playground area, water feature, and/or another such deliberately designated outdoor area or focal point that adequately enhance the Development or community. Such area shall be openly accessible to the public, connected to the public and private sidewalk system, designed with materials compatible with the primary building and remainder of the site, and maintained over the life of the Development.

10. Cart Returns.

A minimum of one 200-square foot cart return area (corral) shall be provided for every 100 parking spaces. Cart corrals shall be of durable, non-rusting, all season construction, and shall be designed and colored to be compatible with the building and parking lot light standards. There shall be no exterior cart return or cart storage areas located within 25 feet of any building.

11. Outdoor Display Areas.

Exterior sales and display areas—whether permanent or seasonal—shall be permitted only where clearly depicted on the approved site plan associated with the Development. All exterior display areas shall be separated from motor vehicle routes by a physical barrier visible to drivers and pedestrians, and by a minimum of ten feet. Display areas on sidewalks directly in front of buildings building must maintain a minimum walkway width of eight feet between the display items and any vehicle drives.

12. Outdoor Storage Uses and Areas.

369 Exterior storage structures or uses, including the parking or storage of service  
370 vehicles, trailers, equipment, containers, crates, pallets, merchandise,  
371 materials, fork lifts, trash, recyclables, and all other items shall be permitted  
372 only where clearly depicted and labeled on the approved site plan. Such  
373 outdoor storage uses and areas shall be appropriately screened as required by  
374 Title 19.

375  
376 13. Landscaping.

377  
378 On-site landscaping shall be provided at time of building occupancy (except  
379 as allowed under Section 19.66.060), shall meet all applicable landscaping  
380 guidelines approved by the City Council or Plan and Architectural Review  
381 Commission, and shall be maintained per the requirements of such guidelines  
382 and Title 19 over the life of the Development.

383  
384 14. Lighting.

385  
386 On-site exterior lighting shall meet all the standards of Title 19. In addition,  
387 the color and design of pole lighting standards shall be compatible with the  
388 primary building in the development and the public lighting in the area, and  
389 shall be uniform throughout the entire Development site.

390  
391 15. Signage.

392  
393 In addition to meeting the applicable requirements of Title 19, a signage plan  
394 for all exterior signage shall provide for coordinated and complementary  
395 exterior sign locations, configurations, and colors throughout the  
396 Development. Combined signs for multiple users may be required instead of  
397 multiple individual signs. The City may require the use of muted corporate  
398 colors on signage if proposed colors are not compatible with the City's design  
399 objectives for the area.

400  
401 16. Environmental Sustainability, Natural Resources Protection, and Stormwater  
402 Management.

403  
404 Natural Resources shall be protected in accordance with Title 19. In general,  
405 existing natural features shall be integrated into the site design as a site and  
406 community amenity. Each project shall meet the erosion control and  
407 stormwater management standards found in Title 16 of the Municipal Code  
408 and other applicable City ordinances.

409  
410 Each Development shall intentionally incorporate into site and building design  
411 elements that contribute to the long-term environmental sustainability of the  
412 Development and the City, as such terms are described in the City's  
413 comprehensive plan. Each Development shall provide at least one-half of the  
414 following sustainability features:

- 415 a. Reuse an existing, previously developed building and/or site.
- 416 b. Utilize one or more rain gardens or bioswales, as described in the City
- 417 of Whitewater Landscaping Guidelines, to capture and manage
- 418 stormwater.
- 419 c. Install a green roof or roof-top garden.
- 420 d. Incorporate stormwater management facilities that are designed to both
- 421 serve their primary function and appear as natural features that can
- 422 serve as attractive focal points for the Development.
- 423 e. Install native/naturalized landscaping that minimizes requirements for
- 424 irrigation/watering and provides natural habitat.
- 425 f. Install systems that allow for the capture and later use of rainwater to
- 426 water landscaping and for other permitted functions.
- 427 g. Deliberately design/retrofit the primary building with energy efficient
- 428 systems, such as lighting, refrigeration, and HVAC systems.
- 429 h. Integrate solar, geothermal, wind, or other on-site energy generation
- 430 into the site and/or building design.
- 431 i. Utilize paving and/or roof materials with a solar reflectance index of at
- 432 least 29 for a minimum of 50% of the combined pavement and roof
- 433 area on the site.
- 434 j. Purchase a minimum of 50% of the Development's energy from
- 435 renewable sources, such as wind or solar.
- 436 k. Recycle of a minimum of 75% of the waste generated during
- 437 building/site construction.
- 438 l. Utilize a minimum of 25% recycled materials for building
- 439 construction.
- 440 m. Utilize a minimum of 50% regional materials for building construction
- 441 (extracted, harvested, or recovered, and manufacturing from within
- 442 500 miles of the development site).
- 443 n. No more than two additional sustainability features not listed above
- 444 but approved by the Plan and Architectural Review Commission to
- 445 meet the City's sustainability objectives, not including any feature
- 446 already required by another section of this Chapter.
- 447

448 17. Vacation of Existing Buildings in Large Retail and Commercial Service  
449 Developments.

- 450
- 451 a. Where any Large Retail or Commercial Service Development that has
- 452 50,000 or more square feet of floor area is vacated because the
- 453 commercial use (sale of goods or merchandise at the building)
- 454 conducted thereon is being relocated to a different building, the party
- 455 shall be subject to the following provisions:
- 456 i. The party that vacated the site shall not impose limits on the
- 457 type of reuse of the vacated site through conditions of sale or
- 458 lease.

- 459 ii. The development agreement for the new Development at the
- 460 new site shall include provisions therein whereby the developer
- 461 of the new site commits to the requirements contained herein.
- 462
- 463 b. In addition to the above, any building within Large Retail or
- 464 Commercial Service Development that has 20,000 or more square feet
- 465 of floor area and is vacated for any reason shall be subject to the
- 466 following provisions:
- 467 i. The owner must file with the City a written statement as to the
- 468 names, phone numbers, and addresses for all persons who are in
- 469 control of the property and building.
- 470 ii. The owner shall be required to meet the requirements defined in
- 471 Figure 19.485(1), based on the amount of time the building
- 472 remains vacant:
- 473
- 474

**Figure 19.485(1): Steps for Addressing Building Vacancy**

Period of Time Building is Vacant	Requirement
Within 1 Year of Vacancy	Install a fire department Knox Box for annual fire inspection.
Within 3 Years of Vacancy	City may require owner to paint the building a neutral color.
Within 5 Years of Vacancy	City may require the removal of all hard surfaces, with the exception of the main driveway and fire lane around the building, restore the former hard surfaced areas with black dirt and grass, or any combination of the above.

- 475
- 476 iii. Within the first quarter of each year of vacancy, the owner shall
- 477 provide the Zoning Administrator with a statement as to the
- 478 condition of the building and prospects for removal or re-
- 479 occupancy of the building(s).
- 480 iv. At any time following vacancy, the City may utilize other
- 481 enforcement options available to it to ensure property maintenance
- 482 and upkeep of the building and site.
- 483 v. Temporary occupancy of the building(s) and/or the exterior
- 484 grounds for period of 365 consecutive days or less shall not be
- 485 considered to remove the vacancy status of the building under this
- 486 section.
- 487
- 488 18. Development Agreement. The developer shall enter into a development
- 489 agreement with the City which shall include the payment of all utilities
- 490 including but not limited to stormwater, sanitary sewer, and street
- 491 infrastructure. Off-site improvements may also be required as part of the
- 492 development agreement.

493            19. Exceptions. In the event the applicant desires a deviation or exception from  
 494            the requirements of this Section, the applicant shall present justification for  
 495            such deviation or exception, including but not limited to preexisting  
 496            conditions on a redevelopment site, which may be approved or denied by the  
 497            Plan and Architectural Review Commission.  
 498

499    **Figure 19.485(2): Thresholds for Large Retail and Commercial Service**  
 500    **Development Requirements**

<b>Requirement</b>	<b>Large Scale Retail and Commercial Development Threshold (per measurement method in Section 19.485.020)</b>
Complete Compatibility Report (fits City's comprehensive plan and/or other adopted plans?)	>20,000 sq. ft.
Complete questionnaire	>20,000 sq. ft.
Provide required Facilities and Associated Features (materials, landscape, etc)	>20,000 sq. ft.
3rd party Traffic Impact Analysis required	>50,000 sq. ft.
3rd party Economic and Fiscal Impact Analysis required	>80,000 sq. ft.
Detailed Neighborhood Plan required	>80,000 sq. ft.

501  
 502  
 503

504 Figure 19.485(3): Large Retail and Commercial Service Development Questionnaire

Person filling out this form		
Address		
Phone Number		
Date		
<b>I. Project Contacts</b>		
Property Owner		
Property Representative	Owner	
Developer		
Developer Representative		
Prime Representative	Contractor	
Civil Representative	Engineering	
Architectural Representative		
Land Representative	Planner	
Landscape Representative	Architect	
Exterior Representative	Lighting	
<b>II. Existing Site Conditions</b>		
A. Total Site Area (inclusive of all areas within parcel boundary):	_____ acres	_____ sf.
B. Environmental Corridor Components:	_____ acres	_____ sf.
Surface Water	_____ acres	_____ sf.
Wetlands	_____ acres	_____ sf.
100-Year Floodplain	_____ acres	_____ sf.
Steep Slopes (equal to or greater than 12%)	_____ acres	_____ sf.

505  
506

<b>III. Relationship to Adopted Plans and Policies.</b> Describe how the proposed development is compatible with the following:	
<b>A. City of Whitewater Comprehensive Plan:</b>	
Future Land Use Map	
Future Transportation Plan Map	
Future Community Facilities Plan Map	
Applicable Goals, Policies and Objectives	
Agricultural, Natural, and Cultural Resources Chapter	
Economic Development Chapter	
Sustainability Provisions	
Other Applicable Provisions of Comprehensive Plan	
<b>B. City Park and Open Space Plan</b>	
<b>C. Detailed Neighborhood Plan Covering Area</b>	
<b>D. Intergovernmental Agreements</b>	
<b>E. Wisconsin DOT Plans and Policies</b>	
<b>F. Wisconsin DNR Plans and Policies</b>	
<b>G. Other Pertinent Plans and Policies as Indicated by City</b>	

IV. Proposed Development Characteristics			
A. General Description of Proposed Development and Land Use Mix:			
B. Proposed Modifications to Existing Site Conditions:			
TOTAL SITE	Acres to be Converted	Acres Not to be Converted	Total
Surface Water Areas			
Wetland Areas			
Floodplain Areas			
Steep Slopes (12%+)			
Woodland Areas			
Total Environmental Corridor			
Crop & Livestock Operation Areas			
Other Open Areas			
Total Existing Development Area			
Existing Building Coverage Area			
Existing Paved Area			
Existing Lawn & Landscaped Area			
C. Proposed Development Areas:			
Total Site Area		sq. ft.	acres
Area of Building Footprint		sq. ft.	acres
Area of Total Paving		sq. ft.	acres
Area of Pervious Paving		sq. ft.	acres
Area of Lawn & Landscaping (not storm)		sq. ft.	acres
Area of Stormwater Management		sq. ft.	acres
Area of Impervious Surface		sq. ft.	acres
Area of Semi-Pervious Surface		sq. ft.	acres
Area of Pervious Surface		sq. ft.	acres
Total Building Floor Area		sq. ft.	
First Floor Building Area		sq. ft.	
Upper Floor Building Area		sq. ft.	
Useable Basement Area		sq. ft.	

**Figure 19.485(4): Economic and Fiscal Impact Analysis Requirements**

1. For the project, estimate the following:
a. Types of jobs created.
b. Number of full-time (40 hrs/wk) and part time (less than 40 hrs/wk) jobs created.
c. The impact of the project on the overall local job market at year one and year five.
2. Estimate the amount of City and Walworth/Jefferson County labor to be used in the construction of the project and in permanent employment.
3. Include an analysis indicating the market proposed for the project and the area from which patrons will be attracted.
4. Evaluate the impact of the proposed project on commercial and/or retail vacancy rates in the proposed market area.
5. Estimate to what extent, if any, the proposed project would increase or reduce the proposed market area's economic base by eliminating existing businesses, creating new ones, or allowing existing ones to expand.
6. Compare and evaluate the projected costs and benefits to the community resulting from the project including:
a. Projected costs arising from increased demand for and required improvements to public services and infrastructure.
b. Value of improvements to public services and infrastructure to be provided by the project.
c. Projected property tax revenues to be generated by the project in the first year, after five years, and at build-out.
d. Projected impact of the project in the first five years on land values (both residential and commercial) and potential direct and indirect increase or loss in property tax revenues.
7. Projected lifespan of building(s) and reuse opportunities should the proposed use(s) vacate the building(s) in the future.

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Ordinance introduced by Councilmember \_\_\_\_\_, who moved its adoption. Seconded by Councilmember \_\_\_\_\_.

AYES:  
NOES:  
ABSENT:  
ADOPTED:

\_\_\_\_\_  
Kevin Brunner, City Manager

\_\_\_\_\_  
Michele R. Smith, City Clerk

**Debbie Hilgen**

---

**From:** Wally McDonell [wkm@hmattys.com]  
**Sent:** Friday, July 16, 2010 9:44 AM  
**To:** Michele Smith; Debbie Hilgen  
**Subject:** FW: Council packet addition.

*This electronic mail transmission and any attachments are confidential and may be privileged. They should be read or retained only by the intended recipient. If you have received this transmission in error, please notify the sender immediately and delete the transmission from your system.*

Wallace K. McDonell  
Harrison, Williams, McDonell, & Swatek, LLP  
452 W. Main Street  
P.O. Box 59  
Whitewater, WI 53190  
phone: 262-473-7900  
fax: 262-473-7906  
e-mail: [wkm@hmattys.com](mailto:wkm@hmattys.com)

---

**From:** Chris Peterson  
**Sent:** Friday, July 16, 2010 9:30 AM  
**To:** Wally McDonell  
**Subject:** FW: Council packet addition.

I sent this to Kevin also.

---

**From:** Chris Peterson  
**Sent:** Friday, July 16, 2010 9:26 AM  
**To:** 'kbrunner@ci.whitewater.wi.us'  
**Subject:** Council packet addition.

Dear Kevin:

Please include this email with the Council packet as backup to the amendment to Section 5.19.060(14).

To: City Council

The Council will consider amending Section 5.19.060(14). This amendment was requested by the Police Department and supported by the City staff. The amendment requires any alcohol licensed premises owner, who at any time serves alcohol beverages in his or her sidewalk café, to be required to have the area roped off or otherwise enclosed at all times. As currently written, the ordinance only requires it to be enclosed when alcohol was being served, but the Police Department has had some enforcement problems because it did not know whether or not alcohol was being served at some of the premises that were not roped off and, therefore, made it difficult to enforce the ordinance.

*Chris*

Harrison & McDonell  
P.O. Box 59  
Whitewater, WI 53190  
262-473-7900

ORDINANCE AMENDING CHAPTER 5.19, SECTION 5.19.060 14  
CONCERNING SIDEWALK CAFES  
( 07-15-10 – 4:20 p.m.)

The Common Council of the City of Whitewater, Walworth and Jefferson Counties, do hereby ordain as follows:

SECTION 1: Whitewater Municipal Code Chapter 5.19, Section 5.19.060 14 is hereby amended to read as follows:

If alcohol is served in the sidewalk café on any date or at any time, the area encompassing the sidewalk café shall be roped off or otherwise enclosed by a freestanding barrier on all dates and at all times while in use, even when alcohol is not being served. The barrier shall be at least three feet high. The barrier can include, but is not limited to, attractive fence segments, flowers/plants, artwork and decorative menu boards. The neighborhood services director shall approve the barrier to assure that it is safe and visually appealing.

Ordinance introduced by Councilmember \_\_\_\_\_, who moved its adoption. Seconded by Councilmember \_\_\_\_\_.

AYES:

\_\_\_\_\_  
Michele R. Smith, City Clerk

NOES:

ABSENT:

\_\_\_\_\_  
Kevin Brunner, City Manager

ADOPTED:

Debbie Hilgen

---

**From:** Wally McDonell [wkm@hmattys.com]  
**Sent:** Friday, July 16, 2010 9:44 AM  
**To:** Michele Smith; Debbie Hilgen  
**Subject:** FW: Council pack additions

*This electronic mail transmission and any attachments are confidential and may be privileged. They should be read or retained only by the intended recipient. If you have received this transmission in error, please notify the sender immediately and delete the transmission from your system.*

Wallace K. McDonell  
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phone: 262-473-7900  
fax: 262-473-7906  
e-mail: [wkm@hmattys.com](mailto:wkm@hmattys.com)

---

**From:** Chris Peterson  
**Sent:** Friday, July 16, 2010 9:29 AM  
**To:** Wally McDonell  
**Subject:** FW: Council pack additions

Kevin has this one.

---

**From:** Chris Peterson  
**Sent:** Friday, July 16, 2010 9:27 AM  
**To:** 'kbrunner@ci.whitewater.wi.us'  
**Subject:** Council pack additions

Dear Kevin:

Please include this email with the Council packet related to the ordinance amending 5.19.030(5).

To: City Council

The Council will consider amending Ordinance 5.19.030(5) concerning regulations for sidewalk café permits at its July 20 meeting. This ordinance requires any party who is requesting a sidewalk café as part of its alcohol license to submit a copy of their sidewalk café permit application with the request. This way, the Council will have full information concerning the details of the sidewalk café before acting on the request for an amendment to their alcohol license. This amendment is supported by the City staff.

*Chris*

Harrison & McDonell  
P.O. Box 59  
Whitewater, WI 53190  
262-473-7900

ORDINANCE AMENDING SECTION 5.19.030(5)  
SIDEWALK CAFÉ PERMIT  
CONCERNING CONDITIONAL USE PERMIT REQUIREMENTS  
(07-15-10 – 4:00 p.m.)

The Common Council of the City of Whitewater, Walworth and Jefferson Counties, Wisconsin, do hereby ordain as follows:

SECTION 1: Whitewater Municipal Code Chapter 5.19, Section 5.19.030(5), is hereby amended to read as follows:

If the City Council expands the description of the licensed premises in the applicant's alcohol license to include a sidewalk café area, the applicant's current conditional use permit, that allows sale of alcoholic beverages by the drink, shall be deemed to allow the serving of alcohol in the sidewalk café area, and the applicant will not be required to obtain an amended conditional use permit for the sidewalk café area. Notice of the Council meeting at which the alcohol license premises expansion will be considered shall be sent in writing to all Plan Commission members personally and to all owners of record (and to the address of the property if different than the owner's) of properties abutting and within 300 feet of the property that is involved in the application. Unintentional failure to accomplish these notifications shall not invalidate the procedures. A full copy of the alcohol licensee's sidewalk café permit application shall accompany any request by an applicant to the City Council to include a sidewalk café in its described alcohol licensed premises.

Ordinance introduced by Councilmember \_\_\_\_\_, who moved its adoption. Seconded by Councilmember \_\_\_\_\_.

AYES:

NOES:

ABSENT:

ADOPTED:

\_\_\_\_\_  
Michele R. Smith, City Clerk

\_\_\_\_\_  
Kevin Brunner, City Manager

ORDINANCE CREATING CHAPTER 5.18  
OUTDOOR PRIVATE PROPERTY CAFÉ PERMIT

07-29-10 Draft – 1:45 p.m.

The Common Council of the City of Whitewater, Walworth and Jefferson Counties, Wisconsin, do hereby ordain as follows:

SECTION 1: Chapter 5.18 OUTDOOR PRIVATE PROPERTY CAFÉ PERMIT, is hereby created to read as follows:

Chapter 5.18 OUTDOOR PRIVATE PROPERTY CAFÉ PERMIT.

(This Chapter applies to private outdoor private property cafes, it does not regulate sidewalk cafes.)

5.18.010 Purpose.

5.18.020 Definitions.

5.18.030 Permit required.

5.18.040 Permit application.

5.18.050. Permit fees.

5.18.060. Outdoor private property café standards.

5.18.070. Alcohol licensing and service of alcohol beverages.

5.18.080. Liability and insurance.

5.18.090. Revocation or suspension.

5.18.100. Appeal.

5.18.110. Penalty.

5.18.010 Purpose.

To further encourage the revitalization of the downtown and other areas of the city, including the development of social and economic activity, the city council finds and determines:

1. That there exists a need for outdoor eating facilities in certain areas of the city to provide a unique environment for relaxation, social interaction, and food and beverage consumption.
2. That outdoor private property cafés will permit enhanced use of the private property for outdoor food and beverage consumption, and will promote economic activity in the area.
3. That the existence of outdoor private property cafés encourages additional outdoor food and beverage consumption. Therefore, a need exists for regulations and standards for the existence and operation of outdoor private property cafés to ensure a safe environment.
4. That the establishment of permit conditions and safety standards for outdoor private property cafés is necessary to protect and promote public health, safety, and welfare.

5.18.020 Definitions.

"Outdoor private property cafe" shall mean creating an outdoor facility on part of a premises used for the purpose of consuming food or beverages.

## 5.18.030 Permit required.

1. An applicant may apply to the neighborhood services director or his or her designee for a permit to allow an establishment to operate an outdoor private property café. The neighborhood services director or designee may approve, approve with conditions or restrictions, or deny a permit where necessary to protect the public health, safety or welfare; to prevent a nuisance from developing or continuing, or due to violation of this section, the city code of ordinances, or applicable state or federal law.
2. Before a permit may be issued, the application and site plan shall be reviewed for approval by the City Fire Department and City Building Inspector.
3. Each permit shall be effective for one year from July 1 until June 30.
4. The permit issued may be transferred to a new owner only for the location and area listed in the permit. The transferred permit shall be valid only for the remainder of the period for which it was originally issued. A new certificate of insurance must be filed with the City before the permit transfer.
5. A property shall be exempt from the requirements of this Chapter if its outdoor private property café has an existing outdoor private property café approved by a City of Whitewater zoning permit.
6. If the City Council expands the description of the alcohol licensed premises in the applicant's alcohol license to include an outdoor private property café area, the applicant's current conditional use permit, that allows sale of alcohol beverages by the drink, shall be deemed to allow the serving of alcohol in the outdoor private property café area, and the applicant will not be required to obtain an amended conditional use permit for the outdoor private property café area. Any request by an applicant to the City Council to amend the described premises under its alcohol license shall include a copy of its application for an outdoor private property café permit. The City staff shall send a notice of the council meeting, at which the request will be acted on, to all plan commission members; to the owners of record according to the tax bills (and to the address of the property, if different than the owner's) of premises within 300 feet of the licensed establishment. Unintentional failure to accomplish these notifications shall not invalidate the procedures.

## 5.18.040 Permit application.

Application for a permit to operate an outdoor private property café shall be submitted to the department of public works and shall include at least the following information:

1. Completed city application form.
2. Copy of a current certificate of commercial liability insurance in the amount of at least \$100,000.00 per occurrence.
3. A general layout drawing which accurately depicts the dimensions of the existing premises site, the proposed location of the outdoor private property café, size and number of tables, chairs, steps, planters, and umbrellas, location of doorways, trees, light poles and any other obstructions, either existing or proposed, within the outdoor private property cafe area. This layout shall be submitted on eight and one-half-inch by eleven-inch paper, suitable for reproduction.

## 5.18.050. Permit fees.

There shall be no application fee or renewal of permit fee for outdoor private property café permits.

5.18.060. Outdoor private property café standards.

The following standards, criteria, conditions, and restrictions shall apply to all outdoor private property cafés, provided, however, that the neighborhood services director or designee may impose additional conditions and restrictions to protect and promote the public health, safety, or welfare, to prevent a nuisance from developing or continuing, and to comply with this section, the City of Whitewater code of ordinances, and all applicable state and federal laws.

1. Outdoor private property cafés are restricted to the property to which the permit is issued.
2. Tables, chairs, umbrellas or other fixtures in the outdoor private property café:
  - a. Shall not be placed within five feet of fire hydrants, alleys, or bike racks. Shall not be placed within five feet of a pedestrian crosswalk or corner curb cut.
  - b. Shall not block designated ingress, egress, or fire exits from or to the establishment, or any other structures.
  - c. Shall be maintained in a clean, sanitary and safe manner.
3. Outdoor private property cafés shall be located in such a manner that a distance of not less than four feet is maintained at all times as a clear pedestrian path in and out of the outdoor private property café area (occasional reduction to 36 inches may be allowed by the Neighborhood Services Director to accommodate trees, light poles, street signs or other permanent structures.) For the purpose of the minimum clear path, trees, light poles and all similar obstacles shall be considered obstructions.
4. The outdoor private property café, along with any sidewalk or roadway immediately adjacent to it, shall be maintained in a neat and orderly manner at all times. Debris shall be removed as required during the day and again at the close of each business day.
5. Plant tubs may be located in the outdoor private property café with the approval of the neighborhood services director or designee. Plant tubs shall be maintained in a safe, neat, clean, and presentable manner.
6. Umbrellas and other decorative material shall be made of treated wood, canvas, cloth, or similar material that is manufactured to be fire-resistant. No portion of an umbrella shall be less than six feet eight inches above the ground.
7. Signs to be used in the outdoor private property café shall be in accordance with chapter 19.54 of the city code of ordinances. However, the neighborhood services director may allow temporary easel signs.
8. No food preparation, food or beverage storage, refrigeration apparatus, or equipment shall be allowed in the outdoor private property café unless authorized by the neighborhood services director.
9. No amplified entertainment shall be allowed in the outdoor private property café unless authorized by the neighborhood services director as part of a special event.
10. A copy of the site plan, as approved in conjunction with the current outdoor private property café permit, shall be maintained on the permittee's premise and shall be available for inspection by city personnel at all times.

11. The outdoor private property café permit covers only the outdoor private property café area described in the permit. Indoor operations will be governed by other applicable regulations.
12. Outdoor private property cafés shall not operate after 10:00 p.m. or before 7:00 a.m.
13. The City Manager, Chief of Police, the Neighborhood Services Director or their designees may temporarily order the termination of the outdoor private property café for public health and safety reasons.
14. If alcohol is served in the outdoor private property café on any date or at any time, the area encompassing the outdoor private property café shall be roped off or otherwise enclosed by a freestanding barrier on all dates and times while in use, even when alcohol is not being served. The barrier shall be at least three feet high. The barrier can include, but is not limited to, attractive fence segments, flowers/plants, artwork and decorative menu boards. The neighborhood services director shall approve the barrier to assure that it is safe and visually appealing.
15. The city, its officers and employees, shall not be responsible for outdoor private property café fixtures that are relocated or damaged.

5.18.070. Alcohol licensing and service of alcohol beverages.

1. A permittee may sell and serve alcohol beverages in an outdoor private property café only if the permittee complies with all the requirements for obtaining an alcohol beverage license, and the outdoor private property café area is listed on the alcohol beverage license application as being an part of the licensed premises.
2. Alcohol may be served at outdoor private property cafés under the following conditions:
  - a. The permittee has a valid and appropriate retail alcohol beverage license for the principal premises.
  - b. The retail alcohol beverage license premises description includes the outdoor private property café in the description of the licensed premises as an extended area.
  - c. The retail alcohol beverage license permits the sale of the type of alcohol beverages to be served in the outdoor private property café.
  - d. The alcohol beverages are sold by the licensee or licensee's employees.
  - e. Alcohol beverages are served by the licensee or the licensee's employees in compliance with alcohol beverage laws, ordinances and regulations.
  - f. The permittee shall be responsible for policing the outdoor private property café area to prevent underage persons from entering or remaining in the outdoor private property café, except when underage persons are allowed to be present on the licensed premises under applicable laws.
  - g. The permittee shall not allow patrons of the outdoor private property café to bring alcohol beverages into the outdoor private property café from another location, other than the licensed premises, nor to carry open containers of alcohol beverages, served in the outdoor private property café, outside the outdoor private property café area.
  - h. At times of closing or during times when consumption of alcohol beverages is prohibited, permittee shall remove from the outdoor private property café area all containers used for or containing alcohol beverages. No container of alcohol beverages shall be present in the outdoor private property café between 10:00 p.m. and 7:00 a.m.

5.18.080. Revocation or suspension.

The approval of an outdoor private property café permit is conditional at all times. An outdoor private property café permit may be revoked or suspended by the neighborhood services director or designee where necessary based on a violation of this ordinance or to protect the public health, safety, or welfare, to prevent a nuisance from developing or continuing, in emergency situations, or due to noncompliance with this section, the city code of ordinances, or applicable state or federal law.

5.18.090. Appeal.

A revocation, suspension, or denial of a permit may be appealed by the permittee to the common council. If the neighborhood services director's decision is appealed, the common council shall hold a hearing and either grant, grant with conditions, or deny the permit. The permit holder or applicant shall be notified of the common council appeal meeting and shall have the right to be heard prior to a decision.

5.18.100. Penalty.

The penalty for violation of this section shall be a forfeiture of not less than \$50.00 or more than \$200.00 per day for each violation, together with the costs of prosecution.

Ordinance introduced by Councilmember \_\_\_\_\_, who moved its adoption. Seconded by Councilmember \_\_\_\_\_.

AYES:

NOES:

\_\_\_\_\_  
Michele R. Smith, City Clerk

ABSENT:

\_\_\_\_\_  
Kevin Brunner, City Manager

ADOPTED:

**ORDINANCE NO. \_\_\_\_\_**  
**ORDINANCE REPEALING WHITEWATER MUNICIPAL**  
**CODE SECTION 7.72.030 – CARRYING DANGEROUS WEAPON**

The Common Council of the City of Whitewater, Walworth and Jefferson  
Counties, Wisconsin, do hereby ordain as follows:

**SECTION 1.** Due to recent Supreme Court decisions and a Wisconsin Attorney  
General opinion that indicate that Whitewater Municipal Code Section 7.72.030 is  
unenforceable, Whitewater Municipal Code Section 7.72.030 Carrying Dangerous  
Weapon is hereby repealed.

Ordinance introduced by Councilmember \_\_\_\_\_, who  
moved its adoption. Seconded by Councilmember \_\_\_\_\_.

AYES:

\_\_\_\_\_  
Kevin Brunner, City Manager

NOES:

ABSENT:

\_\_\_\_\_  
Michele R. Smith, City Clerk

ADOPTED:



## City of Whitewater Tax Increment District No. 4 Cash Flow Proforma Analysis

Assumptions	
Annual Inflation During Life of TID.....	0.00%
2009 gross tax rate (per \$1000 equal value) – pro rata.....	\$19.65
2010-2017 estimated gross tax rate (per \$1000 equal value) – pro rata.....	\$19.44
Investment rate for Investment Proceeds.....	0.70%
Data above dashed line are actual	

Background Data							Revenues		
(a)	(b)	(c)	(d)	(e)	(f)	(g)	(h)	(i)	(j)
Val. Date	TIF District Valuation	Value of Exempt Computers	Inflation Increment	Increment	TIF Increment Over Base	Tax Rate	Tax Revenue	Investment Proceeds	Total Revenues
	(January 1)	(December 31)						(2)	
	Base Value								
1990	\$21,728,300								
2005	\$22,445,300								
2003	\$77,704,300	\$1,045,000			\$57,297,900				
2004	\$77,981,200	\$1,172,100			\$70,980,000				
2005	\$81,536,200	\$786,400			\$63,194,800				
2006	\$84,853,700	\$1,029,400			\$72,628,700	\$19.24			
2007	\$84,044,600	\$809,200			\$76,660,200	\$19.46			
2008	\$86,286,300	\$897,300			\$76,603,200	\$19.65			
2009	\$86,151,200	\$897,300		\$0	\$77,573,200	\$19.65	\$1,506,373	\$0	\$1,506,373
2010	\$89,121,200	\$897,300	\$0	\$400,000	\$77,973,200	\$19.44	\$1,504,973	\$1,346	\$1,506,319
2011	\$89,521,200	\$897,300	\$0	\$400,000	\$78,373,200	\$19.44	\$1,508,023	\$0	\$1,508,023
2012	\$89,921,200	\$897,300	\$0	\$3,900,000	\$82,273,200	\$19.44	\$1,515,799	\$0	\$1,515,799
2013	\$103,821,200	\$897,300	\$0	\$6,940,000	\$89,213,200	\$19.44	\$1,523,575	\$0	\$1,523,575
2014	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,599,391	\$0	\$1,599,391
2015	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$0	\$1,734,305
2016	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$0	\$1,734,305
2017	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$0	\$1,734,305
2018									
2019									
2020									
2021									
2022									
2023									
2024									
2025									
2026									
2027									
2028									
2029									
				\$4,106,600	\$12,510,000		\$14,361,048	\$1,346	\$14,362,394

9/18/1990 TID Inception  
9/18/2012 Final Year to incur TIF related costs.  
9/18/2017 Maximum legal life of TID (27 Years)

(1) Per City, Estimates as of July 16, 2010.  
(2) Includes investment earnings from all sources

## City of Whitewater Tax Increment District No. 4 Cash Flow Proforma Analysis

Val. Date	Expenditures			TID Status			
	(k) Principal	(l) Interest	(m) Existing Debt Service	(n) Annual Balance	(o) Developer PILOT Payments	(p) Year End Cumulative Balance	(q) Cost Recovery
					(1)	(December 31)	
2003							2003
2004							2004
2005							2005
2006							2006
2007							2007
2008							2008
2009						\$192,241	2009
2010	\$1,375,000	\$591,454	\$1,956,454	(\$450,145)	\$74,389	(\$163,515)	2010
2011	\$1,585,000	\$556,695	\$2,141,695	(\$633,672)	\$166,889	(\$650,298)	2011
2012	\$1,740,000	\$499,275	\$2,239,275	(\$723,476)	\$166,889	(\$1,206,885)	2012
2013	\$2,000,000	\$434,993	\$2,434,993	(\$911,417)	\$166,889	(\$1,851,413)	2013
2014	\$2,260,000	\$360,785	\$2,620,785	(\$1,021,394)	\$166,889	(\$2,805,918)	2014
2015	\$2,010,000	\$276,617	\$2,286,617	(\$552,312)	\$166,889	(\$3,191,341)	2015
2016	\$1,505,000	\$204,133	\$1,709,133	\$25,172	\$166,889	(\$2,999,279)	2016
2017	\$1,475,000	\$147,797	\$1,622,797	\$111,508	\$166,889	(\$2,720,882)	2017
2018	\$180,000	\$91,182	\$271,182		\$148,093		2018
2019	\$185,000	\$86,210	\$271,210		\$112,968		2019
2020	\$190,000	\$80,618	\$270,618		\$92,500		2020
2021	\$195,000	\$74,628	\$269,628		\$92,500		2021
2022	\$205,000	\$68,291	\$273,291		\$92,500		2022
2023	\$210,000	\$61,495	\$271,495		\$92,500		2023
2024	\$220,000	\$54,329	\$274,329		\$92,500		2024
2025	\$230,000	\$46,607	\$276,607		\$92,500		2025
2026	\$235,000	\$38,309	\$273,309		\$92,500		2026
2027	\$245,000	\$29,603	\$274,603		\$92,500		2027
2028	\$255,000	\$20,366	\$275,366		\$92,500		2028
2029	\$265,000	\$10,421	\$275,421		\$92,500		2029
	<b>\$16,565,000</b>	<b>\$9,723,816</b>	<b>\$20,288,816</b>		<b>\$2,428,675</b>		

C-1

## City of Whitewater Tax Increment District No. 4 Cash Flow Proforma Analysis

Assumptions	
Annual Inflation During Life of TID.....	0.00%
2009 gross tax rate (per \$1000 equal value) – pro rata.....	\$19.65
2010-2017 estimated gross tax rate (per \$1000 equal value) – pro rata.....	\$19.44
Investment rate for Investment Proceeds.....	0.70%
Data above dashed line are actual	

Background Data							Revenues		
(a)	(b)	(c)	(d)	(e)	(f)	(g)	(h)	(i)	(j)
Val. Date	TIF District Valuation	of Exempt Computers Value	Inflation Increment	Increment	TIF Increment Over Base	Tax Rate	Tax Revenue	Investment Proceeds	Total Revenues
	(January 1)	(December 31)						(2)	
	Base Value								
1990	\$21,728,300								
2005	\$22,445,300								
2003	\$77,704,300	\$1,045,000			\$57,297,900				
2004	\$77,981,200	\$1,172,100			\$70,980,000				
2005	\$91,535,200	\$785,400			\$83,194,800				
2006	\$84,853,700	\$1,029,400			\$72,628,700	\$18.24			
2007	\$94,044,600	\$609,200			\$76,660,200	\$18.46			
2008	\$98,296,300	\$897,300			\$76,603,200	\$19.65			
2009	\$98,151,200	\$897,300	\$0	\$970,000	\$77,573,200	\$19.65	\$1,506,373	\$0	\$1,506,373
2010	\$99,121,200	\$897,300	\$0	\$400,000	\$77,973,200	\$19.44	\$1,504,973	\$1,346	\$1,506,319
2011	\$99,521,200	\$897,300	\$0	\$400,000	\$78,373,200	\$19.44	\$1,508,023	\$2,965	\$1,510,988
2012	\$99,921,200	\$897,300	\$0	\$3,900,000	\$82,273,200	\$19.44	\$1,515,799	\$3,595	\$1,519,394
2013	\$103,821,200	\$897,300	\$0	\$6,940,000	\$89,213,200	\$19.44	\$1,523,575	\$4,069	\$1,527,644
2014	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,599,391	\$3,145	\$1,602,536
2015	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$1,702	\$1,736,006
2016	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$966	\$1,735,270
2017	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$0	\$1,734,305
2018	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$0	\$1,734,305
2019	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$0	\$1,734,305
2020	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$5,241	\$1,739,545
2021	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$10,882	\$1,745,186
2022	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$21,858	\$1,756,163
2023	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$32,866	\$1,767,190
2024	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$44,003	\$1,778,308
2025	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$55,178	\$1,789,483
2026	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$66,416	\$1,800,721
2027	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$77,755	\$1,812,060
2028									
2029									
				\$4,108,600	\$12,610,000		\$31,704,094	\$332,006	\$32,036,100

9/18/1990 TID Inception

9/18/2012 Final Year to incur TIF related costs.

9/18/2017 Maximum legal life of TID (27 Years)

9/18/2027 Maximum life under Distressed TID Designation

(1) Per City. Estimates as of July 16, 2010.

(2) Includes investment earnings from all sources

## City of Whitewater Tax Increment District No. 4 Cash Flow Proforma Analysis

EXAMPLE REFUNDING	
<b>\$4,225,000</b>	
G.O. Refunding Bonds Dated September 1, 2010	
Reoffering Premium.....	\$28,972
Deposit to Refunding.....	\$4,197,025
Cost of Issuance.....	\$57,700
Rounding.....	(\$753)

Val. Date	Expenditures						TID Status				
	(k)	(l)	(m)	(n)	(o)	(p)	(q)	(r)	(s)	(t)	
	Existing Debt Service	Less: Refunded Debt Service	Principal (9/1)	Interest (3/1 & 9/1)	Debt Service	Combined Debt Service	Annual Balance	Developer PILOT Payments	Year End Cumulative Balance (December 31)	Cost Recovery	
2003											
2004											
2005											
2006											
2007											
2008											
2009											
2010	\$1,956,464	(\$607,025)				\$1,349,439	\$156,880	\$74,389	\$192,241	\$423,510	
2011	\$2,141,895	(\$688,680)		\$132,856	\$132,856	\$1,587,871	(\$76,884)	\$166,889		\$513,515	
2012	\$2,239,275	(\$753,655)		\$132,856	\$132,856	\$1,618,476	(\$99,083)	\$166,889		\$581,322	
2013	\$2,434,993	(\$741,310)		\$132,856	\$132,856	\$1,826,539	(\$298,894)	\$166,889		\$449,317	
2014	\$2,620,785	(\$778,020)		\$132,856	\$132,856	\$1,975,621	(\$373,085)	\$166,889		\$243,121	
2015	\$2,286,617	(\$411,390)		\$132,856	\$132,856	\$2,008,083	(\$272,077)	\$166,889		\$137,934	
2016	\$1,709,133	(\$410,190)	\$905,000	\$132,856	\$1,037,856	\$2,336,799	(\$601,529)	\$166,889		(\$296,706)	
2017	\$1,622,797	(\$407,940)	\$930,000	\$107,969	\$1,037,969	\$2,252,826	(\$518,521)	\$166,889		(\$648,338)	
2018	\$271,182		\$955,000	\$80,069	\$1,035,069	\$1,306,261	\$428,054	\$148,093		(\$72,191)	
2019	\$271,210		\$705,000	\$50,225	\$755,225	\$1,026,435	\$707,870	\$112,968		\$748,647	
2020	\$270,818		\$730,600	\$25,550	\$755,550	\$1,026,168	\$713,377	\$92,500		\$1,554,524	
2021	\$269,628					\$269,628	\$1,475,558	\$92,500		\$3,122,582	Expenditures Recovered
2022	\$273,291					\$273,291	\$1,482,872	\$92,500		\$4,697,954	Expenditures Recovered
2023	\$271,495					\$271,495	\$1,495,665	\$92,500		\$6,286,150	Expenditures Recovered
2024	\$274,329					\$274,329	\$1,503,979	\$92,500		\$7,862,629	Expenditures Recovered
2025	\$276,507					\$276,607	\$1,512,876	\$92,500		\$9,488,005	Expenditures Recovered
2026	\$273,309					\$273,309	\$1,527,411	\$92,500		\$11,107,917	Expenditures Recovered
2027	\$274,603					\$274,603	\$1,537,457	\$92,500		\$12,737,874	Expenditures Recovered
	\$275,366					\$275,366		\$92,500			
	\$275,421					\$275,421		\$92,500			
	<u>\$20,268,816</u>	<u>(\$4,796,210)</u>	<u>\$4,225,000</u>	<u>\$1,080,950</u>	<u>\$5,265,950</u>	<u>\$20,778,556</u>				<u>\$2,428,675</u>	

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Preliminary - August 17th Award G.O. Bonds Refunding  
 Combined Refinancing: Extend TID#4 Debt

## City of Whitewater Summary of Refinancing

Calendar Year	BEFORE REFUNDING									AFTER REFUNDING												TOTAL DEBT SERVICE	DEBT SERVICE SAVINGS	
	TIP#4 \$4,230,000 G.O. Refunding Bonds Dated January 1, 1999			General Fund \$1,850,000 G.O. Refunding Bonds Dated February 1, 2001			TIP#4 \$2,650,000 G.O. Refunding Bonds Dated April 1, 2001			\$4,230,000 G.O. Refunding Bonds Dated January 1, 1999			\$1,850,000 G.O. Refunding Bonds Dated February 1, 2001			\$2,650,000 G.O. Refunding Bonds Dated April 1, 2001			\$5,100,000 G.O. Refunding Bonds Dated September 1, 2010					
	PRINCIPAL (9/1)	RATE	INTEREST (3/1 & 9/1)	PRINCIPAL (9/1)	RATE	INTEREST (3/1 & 9/1)	PRINCIPAL (9/1)	RATE	INTEREST (3/1 & 9/1)	PRINCIPAL (9/1)	RATE	INTEREST (3/1 & 9/1)	PRINCIPAL (9/1)	RATE	INTEREST (3/1 & 9/1)	PRINCIPAL (9/1)	RATE	INTEREST (3/1 & 9/1)	PRINCIPAL (9/1)	RATE	INTEREST (3/1 & 9/1)			
2010	\$290,000	4.300%	119,675	\$180,000	4.375%	\$46,815	\$225,000	4.400%	\$64,375	\$925,865	***	4.300%	\$59,838	\$180,000	4.375%	\$46,815	***	4.400%	\$32,188	\$190,000	1.750%	\$150,244	\$318,840	\$607,025
2011	\$300,000	4.300%	107,205	\$180,000	4.300%	\$38,940	\$225,000	4.500%	\$51,475	\$905,620	***	4.300%	\$0	***	4.300%	\$0	***	4.500%	\$0	\$185,000	2.000%	\$146,519	\$331,919	\$565,376
2012	\$315,000	4.300%	94,305	\$180,000	4.400%	\$31,200	\$300,000	4.600%	\$44,350	\$964,855	***	4.300%	\$0	***	4.400%	\$0	***	4.600%	\$0	\$180,000	2.000%	\$143,219	\$323,219	\$622,936
2013	\$330,000	4.300%	80,780	\$180,000	4.500%	\$23,280	\$300,000	4.700%	\$30,550	\$944,590	***	4.300%	\$0	***	4.500%	\$0	***	4.700%	\$0	\$175,000	2.000%	\$139,619	\$314,619	\$621,371
2014	\$345,000	4.400%	66,570	\$160,000	4.600%	\$15,150	\$350,000	4.700%	\$16,450	\$973,200	***	4.400%	\$0	***	4.600%	\$0	***	4.700%	\$0	\$145,000	2.250%	\$106,119	\$281,119	\$658,581
2015	\$360,000	4.500%	51,390	\$150,000	4.600%	\$6,900				\$958,290	***	4.500%	\$0	***	4.600%	\$0	***			\$905,000	2.750%	\$132,856	\$1,037,856	\$287,171
2016	\$375,000	4.600%	35,190							\$410,190	***	4.600%	\$0							\$950,000	3.000%	\$107,969	\$1,037,969	\$627,666
2017	\$390,000	4.600%	17,940							\$407,940	***	4.600%	\$0							\$955,000	3.125%	\$80,069	\$1,035,069	\$630,029
2018																				\$705,000	3.500%	\$50,225	\$755,225	(\$1,035,069)
2019																				\$730,000	3.500%	\$25,550	\$755,550	(\$755,225)
2020																								(\$755,550)
	<b>\$2,705,000</b>		<b>\$573,035</b>	<b>\$1,050,000</b>		<b>\$162,315</b>	<b>\$1,400,000</b>		<b>\$210,200</b>	<b>\$6,100,550</b>		<b>\$0</b>	<b>\$59,838</b>	<b>\$180,000</b>		<b>\$46,815</b>		<b>\$0</b>	<b>\$32,188</b>	<b>\$5,100,000</b>		<b>\$1,112,788</b>	<b>\$6,531,628</b>	<b>(\$431,078)</b>

**CALLABLE MATURITIES**  
 Bonds callable 9/1/10 or any interest payment date  
 Maximum Maturity: 1/1/2019

Maximum Maturity: 4/1/2001

\*\*\* REFUNDED WITH 2010 ISSUE.

ROUNDING AMOUNT..... \$698  
 GROSS SAVINGS (LOSS)..... (\$430,379)  
 PRESENT VALUE SAVINGS..... \$193,887  
 PV SAVINGS %..... 8.897%

Sources Of Funds	
Par Amount of Bonds	\$5,100,000
Reoffering Premium	\$37,373
<b>Total Sources</b>	<b>\$5,137,373</b>
Uses Of Funds	
Deposit to Current Refunding Fund	\$5,067,025
Total Underwriter's Discount (0.800%)	\$40,800
Rating Agency Fee (Estimated)	\$9,600
Bond Counsel (Estimated)	\$9,500
Financial Advisory Fee	\$7,500
Roundoff Amount	\$698
Official Statement & Clearing Expenses	\$2,350
<b>Total Uses</b>	<b>\$5,137,373</b>

# City of Whitewater Summary of Refinancing

Calendar Year	BEFORE REFUNDING						AFTER REFUNDING						DEBT SERVICE SAVINGS		
	TIF#4 \$4,230,000 G.O. Refunding Bonds Dated January 1, 1999			TIF#4 \$2,650,000 G.O. Refunding Bonds Dated April 1, 2001			\$4,230,000 G.O. Refunding Bonds Dated January 1, 1999		\$2,650,000 G.O. Refunding Bonds Dated April 1, 2001		\$4,225,000 G.O. Refunding Bonds Dated September 1, 2010			TOTAL NEW DEBT SERVICE	
	PRINCIPAL (9/1)	RATE	INTEREST (3/1 & 9/1)	PRINCIPAL (9/1)	RATE	INTEREST (3/1 & 9/1)	PRINCIPAL (9/1)	INTEREST (3/1 & 9/1)	PRINCIPAL (9/1)	INTEREST (3/1 & 9/1)	PRINCIPAL (9/1)	RATE		INTEREST (3/1 & 9/1)	
2010	\$290,000	4.300%	119,675	\$225,000	4.400%	\$64,375	***	\$59,838	***	\$32,188				\$92,025	\$607,025
2011	\$300,000	4.300%	107,205	\$225,000	4.500%	\$54,475	***	\$0	***	\$0	1.750%	\$132,856	\$132,856	\$132,856	\$553,824
2012	\$315,000	4.300%	94,305	\$300,000	4.600%	\$44,350	***	\$0	***	\$0	2.000%	\$132,856	\$132,856	\$132,856	\$620,799
2013	\$330,000	4.300%	80,760	\$300,000	4.700%	\$30,550	***	\$0	***	\$0	2.000%	\$132,856	\$132,856	\$132,856	\$608,454
2014	\$345,000	4.400%	66,570	\$350,000	4.700%	\$16,450	***	\$0	***	\$0	2.000%	\$132,856	\$132,856	\$132,856	\$645,164
2015	\$360,000	4.500%	51,390				***	\$0			2.250%	\$132,856	\$132,856	\$132,856	\$278,534
2016	\$375,000	4.600%	35,190				***	\$0			\$905,000	2.750%	\$132,856	\$1,037,856	(\$627,666)
2017	\$390,000	4.600%	17,940				***	\$0			\$930,000	3.000%	\$107,969	\$1,037,969	(\$630,029)
2018											\$955,000	3.125%	\$80,069	\$1,035,069	(\$1,035,069)
2019											\$705,000	3.500%	\$50,225	\$755,225	(\$755,225)
2020											\$730,000	3.500%	\$25,550	\$755,550	(\$755,550)
	<u>\$2,705,000</u>		<u>\$573,035</u>	<u>\$1,400,000</u>		<u>\$210,200</u>	<u>\$4,888,235</u>	<u>\$0</u>	<u>\$59,838</u>	<u>\$0</u>	<u>\$32,188</u>	<u>\$4,225,000</u>	<u>\$1,060,950</u>	<u>\$5,377,975</u>	<u>(\$489,740)</u>

CALLABLE MATURITIES  
 Bonds callable 9/1/10 or any interest payment date  
 Maximum Maturity: 1/1/2019      Maximum Maturity: 4/1/2021

\*\*\* REFUNDED WITH 2010 ISSUE.

ROUNDING AMOUNT..... (\$753)  
 GROSS SAVINGS (LOSS)..... (\$490,493)  
 PRESENT VALUE SAVINGS..... \$138,455  
 PV SAVINGS %..... 3.373%

# City of Whitewater Summary of Refinancing

Calendar Year	BEFORE REFUNDING				AFTER REFUNDING						DEBT SERVICE SAVINGS	
	General Fund \$1,850,000 G.O. Refunding Bonds Dated February 1, 2001			TOTAL DEBT SERVICE	\$1,850,000 G.O. Refunding Bonds Dated February 1, 2001			\$875,000 G.O. Refunding Bonds Dated September 1, 2010				TOTAL NEW DEBT SERVICE
	PRINCIPAL (9/1)	RATE	INTEREST (3/1 & 9/1)		PRINCIPAL (9/1)	RATE	INTEREST (3/1 & 9/1)	PRINCIPAL (9/1)	RATE	INTEREST (3/1 & 9/1)		
2010	\$180,000	4.375%	\$46,815	\$226,815	\$180,000	4.375%	\$46,815				\$226,815	\$0
2011	<b>\$180,000</b>	4.300%	\$38,940	\$218,940	***	4.300%	\$0	\$190,000	1.750%	\$17,388	\$207,388	\$11,553
2012	<b>\$180,000</b>	4.400%	\$31,200	\$211,200	***	4.400%	\$0	\$185,000	2.000%	\$14,063	\$199,063	\$12,138
2013	<b>\$180,000</b>	4.500%	\$23,280	\$203,280	***	4.500%	\$0	\$180,000	2.000%	\$10,363	\$190,363	\$12,918
2014	<b>\$180,000</b>	4.600%	\$15,180	\$195,180	***	4.600%	\$0	\$175,000	2.000%	\$6,763	\$181,763	\$13,418
2015	<b>\$150,000</b>	4.600%	\$6,900	\$156,900	***	4.600%	\$0	\$145,000	2.250%	\$3,263	\$148,263	\$8,638
	<b>\$1,050,000</b>		<b>\$162,315</b>	<b>\$1,212,315</b>	<b>\$180,000</b>		<b>\$46,815</b>	<b>\$875,000</b>		<b>\$51,838</b>	<b>\$1,153,653</b>	<b>\$58,663</b>

CALLABLE MATURITIES  
Bonds callable 9/1/10 or any interest payment date

\*\*\* REFUNDED WITH 2010 ISSUE.

ROUNDING AMOUNT.....	<b>\$1,451</b>
GROSS SAVINGS.....	<b>\$60,114</b>
PRESENT VALUE SAVINGS.....	<b>\$56,840</b>
PV SAVINGS %.....	<b>6.533%</b>

# City of Whitewater Summary of Refinancing

Calendar Year	BEFORE REFUNDING				AFTER REFUNDING								TOTAL NEW DEBT SERVICE	DEBT SERVICE SAVINGS
	\$3,395,000 Waterworks System Revenue Bonds Dated September 15, 2000				\$3,395,000 Waterworks System Revenue Bonds Dated September 15, 2000				\$1,240,000 Waterworks System Revenue Refunding Bonds Dated September 7, 2010					
	PRINCIPAL (10/1)	RATE	INTEREST (4/1 & 10/1)	TOTAL	PRINCIPAL (10/1)	RATE	INTEREST (4/1 & 10/1)	TOTAL	PRINCIPAL (10/1)	RATE	INTEREST (4/1 & 10/1)	TOTAL		
2010	\$245,000	4.900%	\$84,785	\$329,785	***	4.900%	\$42,393	\$42,393					\$42,393	\$287,393
2011	\$255,000	5.000%	\$72,780	\$327,780	***	5.000%			\$230,000	2.500%	\$34,480	\$264,480	\$264,480	\$63,300
2012	\$270,000	5.100%	\$60,030	\$330,030	***	5.100%			\$245,000	2.500%	\$26,575	\$271,575	\$271,575	\$58,455
2013	\$280,000	5.100%	\$46,260	\$326,260	***	5.100%			\$245,000	2.500%	\$20,450	\$265,450	\$265,450	\$60,810
2014	\$300,000	5.200%	\$31,980	\$331,980	***	5.200%			\$255,000	2.500%	\$14,325	\$269,325	\$269,325	\$62,655
2015	\$315,000	5.200%	\$16,380	\$331,380	***	5.200%			\$265,000	3.000%	\$7,950	\$272,950	\$272,950	\$58,430
	<u>\$1,665,000</u>		<u>\$312,215</u>	<u>\$1,977,215</u>	<u>\$0</u>		<u>\$42,393</u>	<u>\$42,393</u>	<u>\$1,240,000</u>		<u>\$103,780</u>	<u>\$1,343,780</u>	<u>\$1,386,173</u>	<u>\$591,043</u>

**CALLABLE MATURITIES**  
Bonds callable 10/1/10 or any interest payment date

\*\*\* REFUNDED WITH 2010 ISSUE.  
\*\*\* October 1, 2010 PAYOFF DATE

LESS TRANSFER FROM PRIOR ISSUE D/S FUND.....	(\$287,393)
LESS CHANGE IN DSR REQUIREMENT.....	(\$207,980)
EST. INVESTMENT EARNINGS <sup>(1)</sup> .....	\$228
ROUNDING AMOUNT.....	\$4,386
<b>GROSS SAVINGS.....</b>	<b>\$100,283</b>
PRESENT VALUE SAVINGS.....	\$71,881
PV SAVINGS %.....	4.317%

(1) Calculated from 9/7/10 to 10/1/10 at recent LGIP rate of 0.20%.

Sources Of Funds	
Par Amount of Bonds	\$1,240,000
Transfers from Prior Issue DSR Funds	\$331,980
Transfers from Prior Debt Service Funds	\$287,393
Reoffering Premium	\$16,456
<b>Total Sources</b>	<b>\$1,875,828</b>
Uses Of Funds	
Amount Needed for Payoff on 10/1/10	\$1,707,393
Deposit to Debt Service Reserve Fund	\$124,000
Total Underwriter's Discount (1.000%)	\$12,400
Bond Counsel (Estimated)	\$10,000
Rating Agency Fee (Estimated)	\$7,900
Financial Advisory Fee	\$7,500
Roundng Amount	\$4,386
POS/Official Statement	\$2,250
<b>Total Uses</b>	<b>\$1,875,828</b>

## City of Whitewater Tax Increment District No. 4 Cash Flow Proforma Analysis

Assumptions	
Annual Inflation During Life of TID.....	0.00%
2009 gross tax rate (per-\$1000 equal, value) -- pro rata.....	\$19.65
2010-2017 estimated gross tax rate (per \$1000 equal, value) -- pro rata.....	\$19.44
Investment rate for Investment Proceeds.....	0.70%
Data above dashed line are actual	

Background Data							Revenues		
(a)	(b)	(c)	(d)	(e)	(f)	(g)	(h)	(i)	(j)
Val. Date	TIF District Valuation	Value of Exempt Computers (December 31)	Inflation Increment	Increment	TIF Increment Over Base	Tax Rate	Tax Revenue	Investment Proceeds	Total Revenues
	(January 1) Base Value			(1)				(2)	
1990	\$21,728,300								
2005	\$22,445,300								
2003	\$77,704,300	\$1,045,000			\$57,297,900				
2004	\$77,881,200	\$1,172,100			\$70,860,000				
2005	\$81,536,200	\$786,400			\$63,194,800				
2006	\$84,853,700	\$1,029,400			\$72,626,700	\$18.24			
2007	\$84,044,600	\$809,200			\$76,660,200	\$18.46			
2008	\$88,296,300	\$897,300			\$76,603,200	\$18.65			
2009	\$98,151,200	\$897,300		\$970,000	\$77,573,200	\$19.65	\$1,506,373	\$0	\$1,506,373
2010	\$99,121,200	\$897,300	\$0	\$400,000	\$77,973,200	\$19.44	\$1,504,573	\$1,346	\$1,506,319
2011	\$99,521,200	\$897,300	\$0	\$400,000	\$78,373,200	\$19.44	\$1,508,023	\$3,738	\$1,511,761
2012	\$99,921,200	\$897,300	\$0	\$3,900,000	\$82,273,200	\$19.44	\$1,515,799	\$5,027	\$1,520,826
2013	\$103,821,200	\$897,300	\$0	\$6,940,000	\$89,213,200	\$19.44	\$1,523,575	\$6,095	\$1,529,670
2014	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,599,391	\$5,788	\$1,605,159
2015	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$4,926	\$1,739,231
2016	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$4,796	\$1,739,100
2017	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$2,363	\$1,736,668
2018	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$502	\$1,734,806
2019	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$4,257	\$1,738,562
2020	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$9,752	\$1,744,056
2021	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$15,143	\$1,749,448
2022	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$24,993	\$1,759,298
2023	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$34,886	\$1,769,191
2024	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$44,863	\$1,779,168
2025	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$54,892	\$1,789,197
2026	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$64,980	\$1,799,285
2027	\$110,761,200	\$897,300	\$0		\$89,213,200	\$19.44	\$1,734,305	\$75,167	\$1,809,472
2028									
2029									
				\$4,106,600	\$12,610,000		\$31,704,094	\$363,494	\$32,067,589

9/18/1990 TID Inception  
 9/18/2012 Final Year to incur TIF related costs. (1) Per City. Estimates as of July 16, 2010. Includes Elkhorn Road PILOT payment.  
 9/18/2017 Maximum legal life of TID (27 Years) (2) Includes investment earnings from all sources  
 9/18/2027 Maximum life under Distressed TID Designation

C-1

## City of Whitewater Tax Increment District No. 4 Cash Flow Proforma Analysis

EXAMPLE REFUNDING	EXAMPLE NEW MONEY
<b>\$4,225,000</b>	<b>\$985,000</b>
G.O. Refunding Bonds Dated September 1, 2010	G.O. Corp. Purpose Bonds Dated December 1, 2010
Reoffering Premium..... \$28,972	Reoffering Premium..... \$8,767
Deposit to Refunding..... \$4,197,025	Capitalized Interest..... \$110,481
Cost of Issuance..... \$57,700	Deposit to Projects..... \$850,000
Rounding..... (\$753)	Cost of Issuance..... \$30,030
	Rounding..... \$1,256

Val. Date	Expenditures									TID Status			
	(k)	(l) Less: Refunded	(m)	(n)	(o)	(p)	(q)	(r)	(s)	(t)	(u) Developer PILOT	(v) Year End Cumulative	(w)
	Existing Debt Service	Debt Service	Principal (9/1)	Interest (3/1 & 9/1)	Debt Service	Principal (9/1)	Interest (3/1 & 9/1)	Debt Service	Combined Debt Service	Annual Balance	Payments	Balance (December 31)	Cost Recovery
2003													
2004													
2005													
2006													
2007													
2008													
2009												\$192,241	
2010	\$1,958,484	(\$307,025)							\$1,349,439	\$156,880	\$74,389	\$533,991	
2011	\$2,141,695	(\$686,680)		\$132,856	\$132,856		\$30,131	\$30,131	\$1,518,003	(\$106,242)	\$290,382	\$718,131	
2012	\$2,239,275	(\$753,655)		\$132,856	\$132,856		\$40,175	\$40,175	\$1,658,651	(\$137,825)	\$290,382	\$870,688	
2013	\$2,434,993	(\$741,310)		\$132,856	\$132,856		\$40,175	\$40,175	\$1,866,714	(\$337,044)	\$290,382	\$824,026	
2014	\$2,620,785	(\$778,020)		\$132,856	\$132,856		\$40,175	\$40,175	\$2,015,795	(\$410,637)	\$290,382	\$703,770	
2015	\$2,286,617	(\$411,390)		\$132,856	\$132,856		\$40,175	\$40,175	\$2,048,258	(\$309,027)	\$290,382	\$685,125	
2016	\$1,709,133	(\$410,190)	\$905,000	\$132,856	\$1,037,856		\$40,175	\$40,175	\$2,376,974	(\$637,873)	\$290,382	\$337,834	
2017	\$1,622,797	(\$407,940)	\$930,000	\$107,969	\$1,037,969		\$40,175	\$40,175	\$2,293,001	(\$556,333)	\$290,382	\$71,683	
2018	\$271,182		\$955,000	\$80,069	\$1,035,069		\$40,175	\$40,175	\$1,346,426	\$388,381	\$148,093	\$608,156	
2019	\$271,210		\$705,000	\$50,225	\$755,225		\$40,175	\$40,175	\$1,066,610	\$671,952	\$112,968	\$1,393,076	
2020	\$270,818		\$730,000	\$25,550	\$755,550		\$40,175	\$40,175	\$1,066,343	\$677,713	\$92,500	\$2,163,290	
2021	\$269,628					\$125,000	\$40,175	\$165,175	\$434,803	\$1,314,645	\$92,500	\$3,570,434	Expenditures Recovered
2022	\$273,291					\$130,000	\$35,175	\$165,175	\$438,466	\$1,320,832	\$92,500	\$4,983,766	Expenditures Recovered
2023	\$271,495					\$135,000	\$29,975	\$164,975	\$436,470	\$1,332,721	\$92,500	\$6,408,987	Expenditures Recovered
2024	\$274,329					\$140,000	\$24,575	\$164,575	\$438,994	\$1,340,284	\$92,500	\$7,841,751	Expenditures Recovered
2025	\$276,507					\$145,000	\$18,975	\$163,975	\$440,582	\$1,348,615	\$92,500	\$9,282,866	Expenditures Recovered
2026	\$273,309					\$150,000	\$13,175	\$163,175	\$438,484	\$1,362,800	\$92,500	\$10,738,167	Expenditures Recovered
2027	\$274,603					\$160,000	\$6,800	\$166,800	\$441,403	\$1,368,059	\$92,500	\$12,198,736	Expenditures Recovered
	\$275,366								\$275,366		\$92,500		
	\$275,421								\$275,421		\$92,500		
	<b>\$20,288,816</b>	<b>(\$4,796,210)</b>	<b>\$4,225,000</b>	<b>\$1,080,950</b>	<b>\$5,285,950</b>	<b>\$985,000</b>	<b>\$560,556</b>	<b>\$1,545,556</b>	<b>\$22,324,112</b>		<b>\$3,293,123</b>		

Amended

Sweet \* C-2

AL ALCOHOL BEVERAGE LICENSE APPLICATION

to municipal clerk. Read instructions on reverse side.

a license period beginning 07/01/2010 ending: 06/30/2011

THE GOVERNING BODY of the: } Whitewater
Town of
Village of
City of
County of Walworth Aldermanic Dist. No.

CHECK ONE Individual Partnership Limited Liability Company Corporation/Nonprofit Organization

Complete A or B. All must complete C.

A. Individual or Partnership:

Full Name(s) (Last, First and Middle Name) Home Address Post Office & Zip Code
The Sweetspot coffee shoppe

B. Full Name of Corporation/Nonprofit Organization/Limited Liability Company

Address of Corporation/Limited Liability Company (if different from licensed premises)
All Officer(s) Director(s) and Agent of Corporation and Members/Managers and Agent of Limited Liability Company:
Title Name (Inc. Middle Name) Home Address Post Office & Zip Code
President/Member Lacey Reschwald 938 W Congers St. Whitewater
Vice President/Member Duane Reschwald
Secretary/Member
Treasurer/Member
Agent
Directors/Managers

C. 1. Trade Name The Sweetspot Coffee Shoppe Business Phone Number 262-473-8080
2. Address of Premises 226 W. Whitewater St Post Office & Zip Code NW, WI 53190

- 3. Does the applicant understand that they must purchase alcohol beverages only from Wisconsin wholesalers? Yes No
4. Premises description: Describe building or buildings where alcohol beverages are to be sold and stored. The applicant must include all rooms including living quarters, if used, for the sales, service, and/or storage of alcohol beverages and records. (Alcohol beverages may be sold and stored only on the premises described.) First floor room area measuring 876 sq. ft. in front area 54 sq. ft. in back area plus porch and basement area measuring 514 sq. ft. in bldg.
5. Legal description (omit if street address is given above)
6. a. Since filing of the last application, has the named licensee, any member of a partnership licensee, or any member, officer, director, manager or agent for either a limited liability company licensee, corporation licensee, or nonprofit organization licensee been convicted of any offenses (excluding traffic offenses not related to alcohol) for violation of any federal laws, any Wisconsin laws, any laws of other states, or ordinances of any county or municipality? If yes, complete reverse side Yes No
b. Are charges for any offenses presently pending (excluding traffic offenses not related to alcohol) against the named licensee or any other persons affiliated with this license? If yes, explain fully on reverse side Yes No
7. Except for questions 6a and 6b, have there been any changes in the answers to the questions as submitted by you on your last application for this license? If yes, explain. Yes No
8. Was the profit or loss from the sale of alcohol beverages for the previous year reported on the Wisconsin Income or Franchise Tax return of the licensee? If not, explain. Yes No
9. Does the applicant understand a Wisconsin Seller's Permit must be applied for and issued in the same name as that shown under Section A or B above? [phone (608) 266-2778] Yes No
10. Does the applicant understand that alcohol beverage invoices must be kept at the licensed premises for 2 years from the date of invoice and made available for inspection by law enforcement? Yes No
11. Is the applicant indebted to any wholesaler beyond 15 days for beer or 30 days for liquor? Yes No

READ CAREFULLY BEFORE SIGNING: Under penalty provided by law, the applicant states that each of the above questions has been truthfully answered to the best of the knowledge of the signers. Signers agree to operate this business according to law and that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another. (Individual applicants and each member of a partnership applicant must sign, corporate officer(s), members/managers of Limited Liability Companies must sign.)

SUBSCRIBED AND SWORN TO BEFORE ME
this 10th day of May 2010
Deborah M. Hepler (Clerk/Notary Public)
Lacey Reschwald (Officer of Corporation/Member/Manager of Limited Liability Company/Partner/Individual)
My commission expires 1/20/13
(Additional Partner(s)/Member/Manager of Limited Liability Company if Any)

Table with 3 columns: Date received and filed with municipal clerk, Date reported to council/board, Date license granted; License number issued, Date license issued, Signature of Clerk / Deputy Clerk

AT-115 (R 3-09) TO P.O. 5/11/10 DH

TO WHOM IT MAY CONCERN:

We agree to surrender our Class B Beer and Liquor License to John Cordio, contingent upon consummation of the sale of the license to John Cordio and contingent upon our securing of a Class B Beer License and a Class C Wine License for The Sweet Spot.

LM Reichwald 7/19/10  
Lacey Reichwald

DSO 7/19/10

**ALCOHOL BEVERAGE LICENSE APPLICATION**

municipal clerk. Read instructions on reverse side.

license period beginning: 7 1 2010 ending: 6 30 2011  
(MM DD YYYY) (MM DD YYYY)

TO THE GOVERNING BODY of the: Whitewater  
 Town of  
 Village of  
 City of

County of Walworth Aldermanic Dist. No. \_\_\_\_\_ (if required by ordinance)

CHECK ONE  Individual  Partnership  Limited Liability Company  
 Corporation/Nonprofit Organization

Complete A or B. All must complete C.

A. Individual or Partnership:  
 Full Name(s) (Last, First and Middle Name) Home Address Post Office & Zip Code

B. Full Name of Corporation/Nonprofit Organization/Limited Liability Company  
 Address of Corporation/Limited Liability Company (if different from licensed premises)  
 All Officer(s) Director(s) and Agent of Corporation and Members/Managers and Agent of Limited Liability Company:

Title	Name (Inc. Middle Name)	Home Address	Post Office & Zip Code
President/Member	<u>John A. Cordio</u>	<u>2701 W. Schrieber Rd</u>	<u>W66 W1 5319</u>
Vice President/Member	<u>Michelle M. Cordio</u>	<u>u</u>	<u>u</u>
Secretary/Member	<u>u</u>	<u>u</u>	<u>u</u>
Treasurer/Member	<u>MAX F. Cordio</u>	<u>u</u>	<u>u</u>
Agent	<u>John A. Cordio</u>		

C. 1. Trade Name BEER HERE Business Phone Number 262 472 9088  
 2. Address of Premises 617 E. Mills St Post Office & Zip Code W66 W1 5319

3. Does the applicant understand that they must purchase alcohol beverages only from Wisconsin wholesalers?  Yes  No
4. Premises description: Describe building or buildings where alcohol beverages are to be sold and stored. The applicant must include all rooms including living quarters, if used, for the sales, service, and/or storage of alcohol beverages and records. (Alcohol beverages may be sold and stored only on the premises described.) 56 x 20 wood
5. Legal description (omit if street address is given above): \_\_\_\_\_
6. a. Since filing of the last application, has the named licensee, any member of a partnership licensee, or any member, officer, director, manager or agent for either a limited liability company licensee, corporation licensee, or nonprofit organization licensee been convicted of any offenses (excluding traffic offenses not related to alcohol) for violation of any federal laws, any Wisconsin laws, any laws of other states, or ordinances of any county or municipality? If yes, complete reverse side  Yes  No
- b. Are charges for any offenses presently pending (excluding traffic offenses not related to alcohol) against the named licensee or any other persons affiliated with this license? If yes, explain fully on reverse side  Yes  No
7. Except for questions 6a and 6b, have there been any changes in the answers to the questions as submitted by you on your last application for this license? If yes, explain.  Yes  No
8. Was the profit or loss from the sale of alcohol beverages for the previous year reported on the Wisconsin Income or Franchise Tax return of the licensee? If not, explain.  Yes  No
9. Does the applicant understand a Wisconsin Seller's Permit must be applied for and issued in the same name as that shown under Section A or B above? [phone (608) 266-2776]  Yes  No
10. Does the applicant understand that alcohol beverage invoices must be kept at the licensed premises for 2 years from the date of invoice and made available for inspection by law enforcement?  Yes  No
11. Is the applicant indebted to any wholesaler beyond 15 days for beer or 30 days for liquor?  Yes  No

READ CAREFULLY BEFORE SIGNING: Under penalty provided by law, the applicant states that each of the above questions has been truthfully answered to the best of the knowledge of the signers. Signers agree to operate this business according to law and that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another. (Individual applicants and each member of a partnership applicant must sign; corporate officer(s), members/managers of Limited Liability Companies must sign.)

SUBSCRIBED AND SWORN TO BEFORE ME  
 this 5th day of April, 20 10  
Deborah M. Helgen  
(Clerk/Notary Public)  
 My commission expires 1/20/13

[Signature]  
(Officer of Corporation/Member/Manager of Limited Liability Company /Partner/Individual)  
[Signature]  
(Officer of Corporation/Member/Manager of Limited Liability Company /Partner)  
[Signature]  
(Additional Partner(s)/Member/Manager of Limited Liability Company if Any)

TO BE COMPLETED BY CLERK

Date received and filed with municipal clerk	Date reported to council/board	Date license granted
License number issued	Date license issued	Signature of Clerk / Deputy Clerk

TO P.D. 4/8/10 DH

Applicant's Wisconsin Seller's Permit Number: <u>4560000 42730903</u>	
Federal Employer Identification Number (FEIN): <u>391719323</u>	
LICENSE REQUESTED	
TYPE	FEE
<input type="checkbox"/> Class A beer	\$
<input checked="" type="checkbox"/> Class B beer	\$
<input type="checkbox"/> Wholesale beer	\$
<input checked="" type="checkbox"/> Class C wine	\$
<input type="checkbox"/> Class A liquor	\$
<input type="checkbox"/> Class B liquor	\$
<input type="checkbox"/> Reserve Class B liquor	\$
Publication fee	\$
<b>TOTAL FEE</b>	<b>\$</b>



Neighborhood Services • Code Enforcement / Zoning and Department of Public Works  
312 W. Whitewater Street / P.O. Box 178, Whitewater, WI 53190  
(262) 473-0540 • Fax (262) 473-0549  
[www.ci.whitewater.wi.us](http://www.ci.whitewater.wi.us)

### NOTICE OF PUBLIC HEARING

TO ALL INTERESTED PARTIES:

A meeting of the PLAN AND ARCHITECTURAL REVIEW COMMISSION of the City of Whitewater will be held at the Municipal Building, Community Room, located at 312 W. Whitewater Street on the 9th day of August 2010 at 6:00 p.m. to hold a public hearing for consideration of an amendment to the Conditional Use Permit to include a "Class B" Liquor License (to be transferred from the Sweetspot to John Cordio) to serve beer and liquor at 617 E. Milwaukee Street (Beer Here) and for creation of an outdoor café.

The proposal is on file in the office of the Zoning Administrator at 312 W. Whitewater Street and is open to public inspection during office hours Monday through Friday, 8:00 a.m. to 4:30 p.m.

This meeting is open to the public. COMMENTS FOR, OR AGAINST THE PROPOSED PROJECT MAY BE SUBMITTED IN PERSON OR IN WRITING.

For information, call (262) 473-0540

A handwritten signature in black ink, appearing to read "Bruce Parker", is written over a horizontal line.

Bruce Parker, Zoning Administrator

A1274-1, A4231-1, ES-9A  
FRAWLEY ENTERPRISES WHITEWATER  
PO BOX 630  
WHITEWATER WI 53190

/A127400002  
PATRICK M FLEMING  
PO BOX 215  
WHITEWATER WI 53190

/A288100001  
DENNIS C & JUDY A FERO  
429 S. PRINCE ST  
WHITEWATER WI 53190

/A288100002  
JOHN A CORDIO  
2701 N. SCHARINE RD  
WHITEWATER WI 53190

/A288100003  
STEPHEN W GODFREY  
N7599 LARRYS RD  
WHITEWATER WI 53190

/ES 00009  
BONITA J VEIUM  
233 S. ESTERLY ST  
WHITEWATER WI 53190

/ES 00017  
DAVE W & KARI A REYNOLDS  
N386 COLD SPRING RD  
WHITEWATER WI 53190

/ES 00018  
FRANK CORDIO, JR  
222 S. ESTERLY ST  
WHITEWATER WI 53190

/ES 00018A  
BLANCA RODRIGUEZ  
512 E NORTH ST  
WHITEWATER WI 53190

/ES 00019  
RUSSELL G & SANDRA K ASBURY  
638 E. CLAY ST  
WHITEWATER WI 53190

/ES 00022  
JOHN TODD & ALICIA MARY ENGLEMAN  
2647 N 4203RD RD  
SHERIDAN IL 60551

/ES 00023  
ALLAN T & SHERYL A STARK  
578 E CLAY ST  
WHITEWATER WI 53190

ES-24, ES-24A, ES-24B  
MARY LYNN LABELLE TRUST  
558 E CLAY ST  
WHITEWATER WI 53190

/ES 00035A  
HARTMANN ENTERPRISES LLC  
336 INDIAN MOUND PKWY  
WHITEWATER WI 53190

/ES 00036A  
GARY MICKELSON  
545 E. MILWAUKEE ST  
WHITEWATER WI 53190

/WUP 00321A  
STATE OF WISCONSIN  
DEPT OF TRANSPORTATION  
MADISON WI 53702

617 E MILWAUKEE

A1274-2  
OCCUPANT  
214 S NEWCOMB ST  
WHITEWATER, WI 53190

A2881-3  
OCCUPANT  
212 ESTERLY ST  
WHITEWATER, WI 53190

A2881-3  
OCCUPANT  
214 ESTERLY ST  
WHITEWATER, WI 53190

ES-18A  
OCCUPANT  
222 ESTERLY ST  
WHITEWATER, WI 53190

ES-22  
OCCUPANT  
622 CLAY ST  
WHITEWATER, WI 53190

ES-36A  
CHUCK'S TATOO  
545 E MILWAUKEE ST  
WHITEWATER, WI 53190

OCCUPANT 617  
E MILWAUKEE

**NOTICE:** The Plan Commission meetings are scheduled on the 2nd Monday of the month. All complete plans must be in by 9:00 a.m. four weeks prior to the meeting. If not, the item will be placed on the next available Plan Commission meeting.

CITY OF WHITEWATER  
CONDITIONAL USE PERMIT APPLICATION PROCEDURE

1. File the application with the Code Enforcement Director's Office at least four weeks prior to the meeting. \$100.00 fee. Filed on 7-12-10.
2. Class 1 Notice published in Official Newspaper on 7-29-10.
3. Notices of the Public Hearing mailed to property owners on 7-27-10.
4. Plan Commission holds the PUBLIC HEARING on 8-9-10. They will hear comments of the Petitioner and comments of property owners. Comments may be made in person or in writing.
5. At the conclusion of the Public Hearing, the Plan Commission makes a decision.

PLEASE COMPLETE THE FOLLOWING APPLICATION.

Refer to Chapter 19.66 of the City of Whitewater Municipal Code of Ordinances, entitled CONDITIONAL USES, for more information on the application.

Twenty complete sets of all plans should be submitted. All plans should be drawn to a scale of not less than 50 feet to the inch; represent actual existing and proposed site conditions in detail; and indicate the name, address, and phone number of the applicant, land owner, architect, engineer, landscape designer, contractor, or others responsible for preparation. It is often possible and desirable to include two or more of the above 8 plans on one map. The Zoning Administrator or Plan and Architectural Review Commission may request more information, or may reduce the submittal requirements. If any of the above 10 plans is not submitted, the applicant should provide a written explanation of why it is not submitted.

## SITE PLAN SUBMITTAL REQUIREMENTS

This checklist must be completed before making application for a City of Whitewater Zoning/Building Permit. If not complete, the application will be returned to the owner and will not proceed until all information and forms are complete.

Drawings must be legible and drawn to scale not less than 1/4" per foot unless noted.

Address of Project 617 E. Milwaukee St  
 Zoning of Property B1

1. **Site Plan**, including the location and dimensions of all buildings, parking, loading, vehicle and pedestrian circulation, signs, walls, fences, other structures, outdoor storage areas, mechanicals, and dumpsters. Adjacent streets and uses and methods for screening parking, loading, storage, mechanical, and dumpster areas should be shown. Statistics on lot area, green space percentage, and housing density should be provided. The Plan Commission encourages compliance with its adopted parking lot curbing policy.
2. **Natural Features Inventory Map**, showing the existing limits of all water bodies, wetlands, floodplains, existing trees with trunks more than 4 inches in diameter, and any other exceptional natural resource features on all or part of the site.
3. **Landscape Plan**, prepared by a professional, and showing an overhead view of all proposed landscaping and existing landscaping to remain. The species, size at time of planting, and mature size should be indicated for all plantings. Areas to be left in green space should be clearly delineated. The Plan Commission encourages compliance with its adopted landscaping guidelines, available from the Zoning Department.
4. **Grading and drainage plan**, meeting the City's stormwater management ordinance if required. The plan should show existing and proposed surface elevations on the site at two foot intervals or less, and proposed stormwater management improvements, such as detention/retention facilities where required. Stormwater calculations may be required.
5. **Utilities plan**, showing locations and sizes of existing and proposed connections to sanitary sewer, water, and storm sewer lines, along with required easements. Sampling manholes may be required for sanitary sewer. The City's noise ordinance must be met.
6. **Building elevations**, showing the dimensions, colors, and materials used on all sides of the building. The Plan Commission encourages variety and creativity in building colors and architectural styles, while respecting the character of the surrounding neighborhood.
7. **Sign plan**, meeting the City's sign ordinance, and showing the location, height, dimensions, color, materials, lighting and copy area of all signage.
8. **Lighting plan**, meeting the City's lighting ordinance, and showing the location, height, type, orientation, and power of all proposed outdoor lighting—both on poles and on buildings. Cut sheets and photometric plans may be required for larger projects.

9

**Floor plan which shows:**

- A. The size and locations of:
  - 1) Rooms;
  - 2) Doors;
  - 3) Windows;
  - 4) Structural features - size, height and thickness of wood, concrete and/or masonry construction;
  - 5) Exit passageways (hallways) and stairs (including all stair dimensions - riser height, tread width, stair width, headroom and handrail heights);
  - 6) Plumbing fixtures (bathroom, kitchen, etc.) - lavatory, water closet, water heater, softener, etc.;
  - 7) Chimney(s) - include also the type of construction (masonry or factory built);
  - 8) Heating equipment;
  - 9) Cooling equipment (central air conditioning, if provided);
  - 10) Attic and crawl space access; and
  - 11) Fire separation between dwelling and garage.
  - 12) Electrical service entrance/transformer location.

10. **Elevation drawings which show:**

- A. Information on exterior appearance (wood, stone, brick, block, colors);
- B. Indicate the location, size and configuration of doors, windows, roof chimneys and exterior grade level.
- C. Indicate color of Trim \_\_\_\_\_, Siding \_\_\_\_\_, Roofing \_\_\_\_\_.
- D. Electrical service entrance/transformer location.

11. **Type of Project:**

- A. Single family;
- B. Duplex;
- C. Multifamily # units \_\_\_\_\_;  
 Condominium # units \_\_\_\_\_;  
 Sorority # units \_\_\_\_\_;  
 Fraternity # units \_\_\_\_\_;
- D. Office/Store;
- E. Industrial;
- F. Parking lot # of stalls \_\_\_\_\_;
- G. Other; *FENCE IN AREA / WITH PICNIC TABLES / POP UP CALOPEE*  
*Fence 6' High (white)*

City of Whitewater  
Application for Conditional Use Permit

IDENTIFICATION AND INFORMATION ON APPLICANT(S):

Applicant's Name: John Cordio  
 Applicant's Address: 2701 N. SCHWABE RD WHITWATER  
 Phone # 262-949-0788

Owner of Site, according to current property tax records (as of the date of the application):  
John Cordio

Street address of property: 617 E MILW ST

Legal Description (Name of Subdivision, Block and Lot or other Legal Description):  
Lot 2 No. 2881 VOL 15 OF C.S. DASP RL  
LOCATED 1/2 SE 1/4 SEC 4 T4N R15E 15115 SQ FT  
CITY OF WW TAX KEY: 1A288100002

Agent or Representative assisting in the Application (Engineer, Architect, Attorney, etc.)

Name of Individual: \_\_\_\_\_  
 Name of Firm: \_\_\_\_\_  
 Office Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_

Name of Contractor: STALLINGS

Has either the applicant or the owner had any variances issued to them, on any property? YES  NO   
 If YES, please indicate the type of variance issued and indicate whether conditions have been complied with.

EXISTING AND PROPOSED USES:

Principal Use: BAR Current Land Use: \_\_\_\_\_

Accessory or Secondary Uses: NONE

Proposed Use (Describe need for conditional use):  
THE FENCE IN AREA WOULD SERVE AS SMOKING  
AREA ALSO WOULD LIKE TO SERVE BEER & FOOD  
IN THIS AREA. TIME TO DRINK OUTSIDE  
WOULD BE 8AM TILL CLOSE. ALSO AT THIS  
TIME ASKING FOR TRANSFER OF LICENSE FROM  
SWEET SPOT TO BEER HERE (617 E. MILW ST)

No. of occupants proposed to be accommodated: 12-20

No. of employees: 2

Zoning District in which property is located: R1

Section of City Zoning Ordinance that identifies the proposed land use as a Conditional Use in the Zoning District in which the property is located: \_\_\_\_\_

**PLANS TO ACCOMPANY APPLICATION**

Applications for permits shall be accompanied by drawings of the proposed work, drawn to scale, showing, when necessary, floor plans, sections, elevations, structural details, computations and stress diagrams as the building official may require.

**PLOT PLAN**

When required by the building official, there shall be submitted a plot plan in a form and size designated by the building official for filing permanently with the permit record, drawn to scale, with all dimension figures, showing accurately the size and exact location of all proposed new construction and the relation to other existing or proposed buildings or structures on the same lot, and other buildings or structures on adjoining property within 15 feet of the property lines. In the case of demolition, the plot plan shall show the buildings or structures to be demolished and the buildings or structures on the same lot that are to remain.

**STANDARDS**

STANDARD	APPLICANT'S EXPLANATION
<p>A. That the establishment, maintenance, or operation of the Conditional Use will not create a nuisance for neighboring uses or substantially reduces value of other property.</p>	<p><i>HAVE COND USE PERMIT FOR BAR NOW, LOOKING TO EXPAND FOR SMOKING AREA. ALSO SERVING BEER + FOOD</i></p>
<p>B. That utilities, access roads, parking, drainage, landscaping, and other necessary site improvements are being provided.</p>	<p><i>WILL NOT BE AFFECTED</i></p>
<p>C. That the conditional use conforms to all applicable regulations of the district in which it is located, unless otherwise specifically exempted in this ordinance.</p>	<p><i>CONFORMS</i></p>
<p>D. That the conditional use conforms to the purpose and intent of the City Master Plan.</p>	<p><i>CONFORMS</i></p>

**CONDITIONS**

The City of Whitewater Zoning Ordinance authorizes the Plan Commission to place conditions on approved conditional uses. Conditions can deal with the points listed below. Be aware that there may be discussion at the Plan Commission in regard to placement of such conditions upon your property. You may wish to supply pertinent information.

"Conditions" such as landscaping, architectural design, type of construction, construction commencement and completion dates, setbacks, lighting, fencing, plantation, deed restrictions, highway access restrictions, increased yards or parking requirements may be required by the Plan and Architectural Review Commission upon its finding that these are necessary to fulfill the purpose and intent of this Ordinance.

"Conditional Uses" may be subject to time limits or requirements for periodic reviews where such requirements relate to review standards.

JAC

\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
Date

**APPLICATION FEES:**

*Fee for Conditional Use Application: \$100*

Date Application Fee Received by City 7-12-10 Receipt No. 6. 608737

Received by J. Wegner

**TO BE COMPLETED BY CODE ENFORCEMENT/ZONING OFFICE:**

Date notice sent to owners of record of opposite & abutting properties: 7-27-10

Date set for public hearing before Plan & Architectural Review Board: 8-9-10

**ACTION TAKEN:**

Conditional Use Permit: \_\_\_\_\_ Granted \_\_\_\_\_ Not Granted by Plan & Architectural Review Commission.

**CONDITIONS PLACED UPON PERMIT BY PLAN AND ARCHITECTURAL REVIEW COMMISSION:**

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_  
Signature of Plan Commission Chairman

\_\_\_\_\_  
Date

**AGREEMENT OF SERVICES**

**REIMBURSABLE BY THE PETITIONER/APPLICANT.** The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission, Board of Zoning Appeals and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal. The City may apply the charges for these services to the Petitioner and/or property owner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner, but which are not paid, may be assigned by the City as a special assessment to the subject property. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the proposed application (Architectural Review, B.Z.A., Planning, Zoning Change):

\_\_\_\_\_, the applicant/petitioner for

(Owner's Name): \_\_\_\_\_, dated: \_\_\_\_\_,

Phone # \_\_\_\_\_, tax key #(s) \_\_\_\_\_,

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g. filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Whitewater, in the judgement of its staff, to obtain additional professional service(s) (e.g. engineering, surveying, planning, legal) than normally would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this \_\_\_\_ day of \_\_\_\_\_, 200\_\_.

\_\_\_\_\_  
(Signature of Applicant/Petitioner)

\_\_\_\_\_  
(Printed Name of Applicant/Petitioner)

\_\_\_\_\_  
(Signature of Owner of Property & Date Signed)

\_\_\_\_\_  
(Printed Name of Owner of Property)

WOULD LIKE TO EXPAND MY LICENSE PREMISE TO  
INCLUDE THE 1275 SQ-FT. AREA OUT S. DOOR"  
AT THE TIME I WOULD LIKE TO ASK FOR  
TRANSFER OF LICENSE FROM "SWEET SPOT"  
TO BEER HERE (67 E. MAIN ST)



1350 310' W. 8319 FT  
ESTER ST.

REMOVE TREE  
REMOVE CURB  
REMOVE ASPHALT DRIVE

GRASS  
CONCRETE DRIVE

GRASS  
EXISTING SHURB  
EXISTING SHURB  
EXISTING SHURB  
EXISTING SHURB

COMM. BLDG.

STORAGE

REDUCE WITH BLACK TOP

NO PARKING 11:00

SMALL HAND CAR

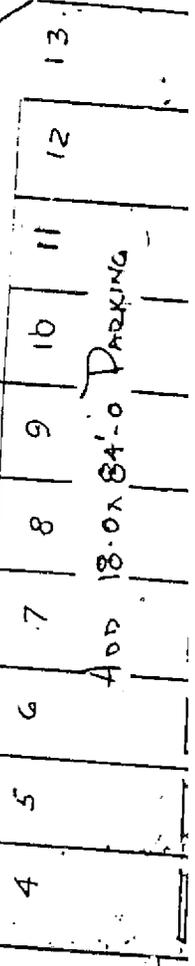
2

SIDEWALK

SPRING  
EVER GREEN  
SHRUBS  
EXISTING

ASPHALT DRIVE & PARKING

120.00 FT N54° 40' 35 E



Highway 12  
6.17 E. MILW.

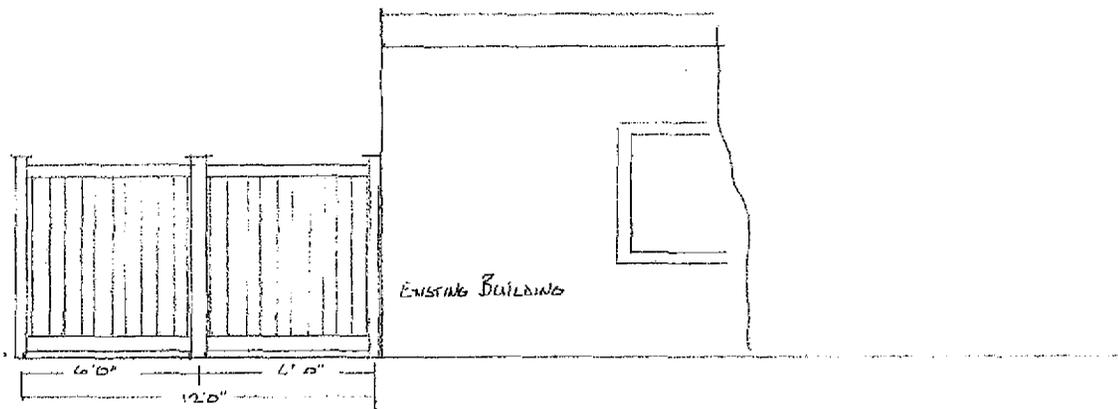
100 FT

Grass

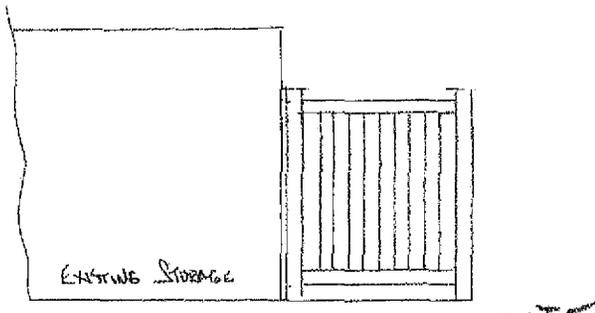


0.00 FT

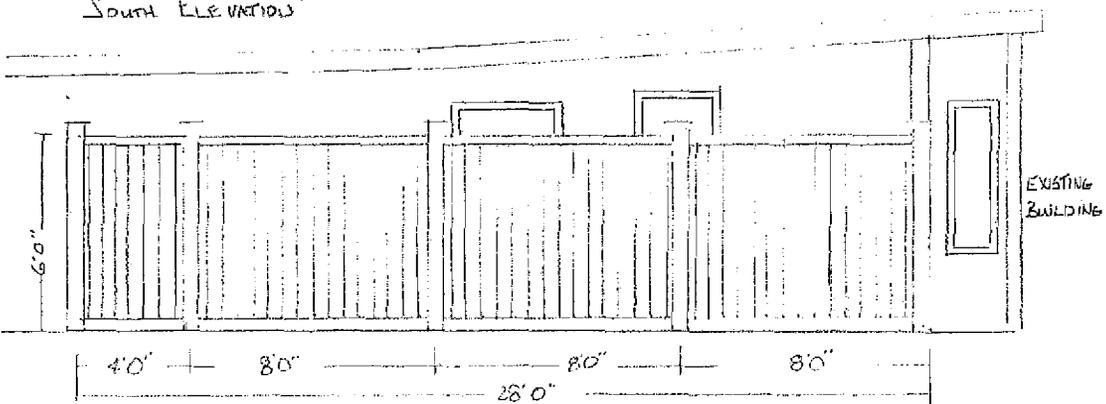




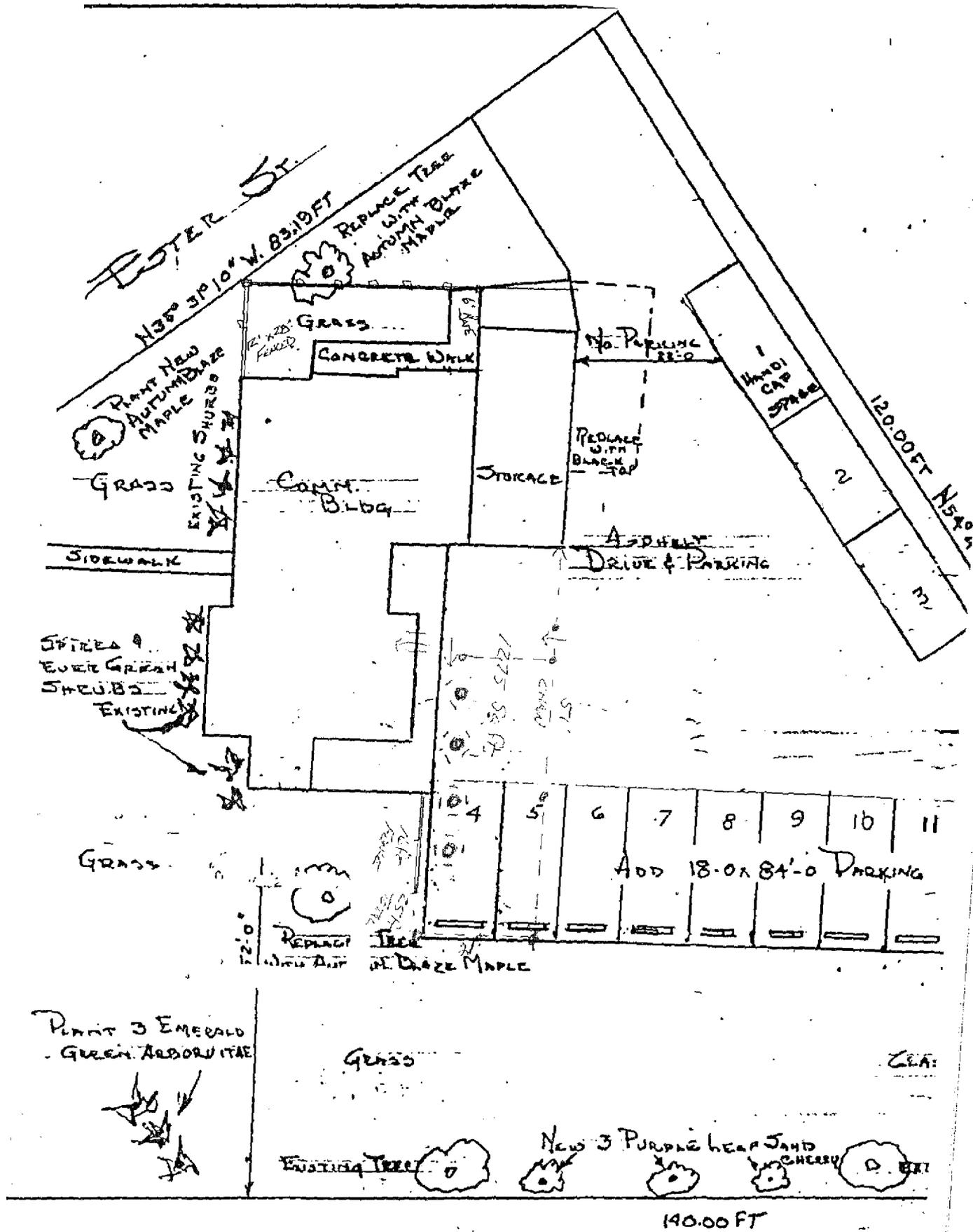
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



CHAIR ——— WHITE  
 BENCH ——— WHITE  
 POST ——— WHITE  
 TABLE CHAIR WITH UMBRELLA

**ORIGINAL ALCOHOL BEVERAGE LICENSE APPLICATION**

Submit to municipal clerk.

For the license period beginning 08/26 20 10 ;  
ending 06/30 20 11

TO THE GOVERNING BODY of the:  Town of } Whitewater  
 Village of }  
 City of }

County of \_\_\_\_\_ Aldermanic Dist. No. \_\_\_\_\_ (if required by ordinance)

1. The named  INDIVIDUAL  PARTNERSHIP  LIMITED LIABILITY COMPANY  
 CORPORATION/NONPROFIT ORGANIZATION

hereby makes application for the alcohol beverage license(s) checked above.

2. Name (individual/partners give last name, first, middle; corporations/limited liability companies give registered name): Roaring Fork LLC  
3103 N Oakland Ave Milwaukee WI 53211

An "Auxiliary Questionnaire," Form AT-103, must be completed and attached to this application by each individual applicant, by each member of a partnership, and by each officer, director and agent of a corporation or nonprofit organization, and by each member/manager and agent of a limited liability company. List the name, title, and place of residence of each person.

Title	Name	Home Address	Post Office & Zip Code
President/Member	<u>President Michael O Franke</u>	<u>32179 Oakland Rd</u>	<u>Washotah 53058</u>
Vice President/Member	_____	_____	_____
Secretary/Member	_____	_____	_____
Treasurer/Member	_____	_____	_____
Agent	<u>COO Ron Stokes</u>	<u>14781 W Wilbur Dr</u>	<u>New Berlin 53151</u>
Directors/Managers	_____	_____	_____

3. Trade Name Qdoba Mexican Grill Business Phone Number 414-962-4200 x103  
4. Address of Premises 1114 W Main St Post Office & Zip Code Whitewater 53190

5. Is individual, partners or agent of corporation/limited liability company subject to completion of the responsible beverage server training course for this license period?  Yes  No  
6. Is the applicant an employe or agent of, or acting on behalf of anyone except the named applicant?  Yes  No  
7. Does any other alcohol beverage retail licensee or wholesale permittee have any interest in or control of this business?  Yes  No  
8. (a) Corporate/limited liability company applicants only: Insert state WI and date 1998 of registration.  
(b) Is applicant corporation/limited liability company a subsidiary of any other corporation or limited liability company?  Yes  No  
(c) Does the corporation, or any officer, director, stockholder or agent or limited liability company, or any member/manager or agent hold any interest in any other alcohol beverage license or permit in Wisconsin? see attached  Yes  No

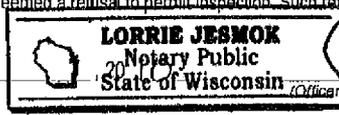
(NOTE: All applicants explain fully on reverse side of this form every YES answer in sections 5, 6, 7 and 8 above.)

9. Premises description: Describe building or buildings where alcohol beverages are to be sold and stored. The applicant must include all rooms including living quarters, if used, for the sales, service, and/or storage of alcohol beverages and records. (Alcohol beverages may be sold and stored only on the premises described.) 1st fl of 20x24 masonry bldg plus 10x15 patio area  
10. Legal description (omit if street address is given above): on N. side of bldg at 1114 W Main St City of Whitewater  
11. (a) Was this premises licensed for the sale of liquor or beer during the past license year? Whitewater City WI  Yes  No  
(b) If yes, under what name was license issued?  
12. Does the applicant understand they must file a Special Occupational Tax return (TTB form 5630.5) before beginning business? [phone 1-800-937-8864]  Yes  No  
13. Does the applicant understand a Wisconsin Seller's Permit must be applied for and issued in the same name as that shown in Section 2, above? [phone (608) 266-2776]  Yes  No  
14. Is the applicant indebted to any wholesaler beyond 15 days for beer or 30 days for liquor?  Yes  No

READ CAREFULLY BEFORE SIGNING: Under penalty provided by law, the applicant states that each of the above questions has been truthfully answered to the best of the knowledge of the signers. Signers agree to operate this business according to law and that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another. (Individual applicants and each member of a partnership applicant must sign; corporate officer(s), members/managers of Limited Liability Companies must sign.) Any lack of access to any portion of a licensed premises during inspection will be deemed a refusal to permit inspection. Such refusal is a misdemeanor and grounds for revocation of this license.

SUBSCRIBED AND SWORN TO BEFORE ME

this 8th day of July  
Lorrie Jesmok  
(Clerk/Notary Public)



Ron Stokes  
(Officer of Corporation/Member/Manager of Limited Liability Company/Partner/Individual)  
(Officer of Corporation/Member/Manager of Limited Liability Company/Partner)

My commission expires March 2, 2014

(Additional Partner(s)/Member/Manager of Limited Liability Company if Any)

**TO BE COMPLETED BY CLERK**

Date received and filed with municipal clerk	Date reported to council/board	Date provisional license issued	Signature of Clerk / Deputy Clerk
Date license granted	Date license issued	License number issued	

PRELIMINARY EXCERPT OF:

CITY OF WHITEWATER  
PLAN AND ARCHITECTURAL REVIEW COMMISSION  
Whitewater Municipal Building Community Room  
July 12, 2010

**ABSTRACTS/SYNOPSIS OF THE ESSENTIAL ELEMENTS OF THE OFFICIAL  
ACTIONS OF THE PLAN AND ARCHITECTURAL REVIEW COMMISSION**

Chairperson Torres called the meeting of the Plan and Architectural Review Commission to order at 6:00 p.m.

PRESENT: Binnie, Dalee, Torres, Coburn, Miller, Stone, Meyer (Alternate). ABSENT: Zaballos. OTHERS: Wallace McDonell/City Attorney, Mark Roffers/City Planner, Bruce Parker/Zoning Administrator, Wegner/Secretary.

**PUBLIC HEARING FOR CONSIDERATION OF A CONDITIONAL USE PERMIT FOR  
A CLASS "B" BEER LICENSE FOR ROARING FORK LLC., TO SERVE BEER BY  
THE BOTTLE OR GLASS AT 1114 W. MAIN STREET (QDOBA MEXICAN GRILL).**

Chairperson Torres opened the public hearing for consideration of a conditional use permit application for a Class "B" Beer License for Roaring Fork LLC., to serve beer by the bottle or glass at 1114 W. Main Street (Qdoba Mexican Grill).

The City Planners recommended approval of the conditional use permit for the sale of beer or liquor by the bottle or glass for the Qdoba restaurant at 1114 W. Main Street, subject to the following conditions as amended at the meeting:

1. The outdoor patio shall be operated in accordance with the following standards:
  - a. The outdoor patio shall be maintained in a neat and orderly manner at all times. Debris and all alcohol containers shall be removed from the patio and surrounding areas as necessary during the day and again at the close of each business day.
  - b. Alcohol may be served on the outdoor patio only under the following conditions:
    - i. Alcohol is served by the licensee or the licensee's employees in compliance with alcohol beverage laws, ordinances, and regulations.
    - ii. Alcohol is sold and served by the licensee or licensee's employees and sold or served only to patrons that will be seated at tables in the outdoor patio.
    - iii. The business owner does not allow patrons of the outdoor patio to bring alcohol into the outdoor patio from another off-premise location, nor to carry containers of alcohol served in the outdoor patio to areas outside of the outdoor patio area (except into the building).

- iv. The area from which the alcohol is dispensed shall be located indoors. No service bar, or any other or drink preparation, storage area, refrigeration apparatus, is located on the outdoor patio.
  - v. No alcohol is served or consumed on the patio after 12 a.m. or before 10 a.m.
  - vi. All tables located in the outdoor dining area shall be match one another and have compatible chairs/stools. All tables and chairs/stools shall be durable and weather resistant, and shall not advertise the business or any product, whether such product is available at the business or not. Umbrellas and other decorative material shall be made of treated wood, canvas, cloth, or similar material that is manufactured to be fire resistant.
2. Alcohol may be served inside the restaurant up until the restaurant closes in the evening, or until bar time, whichever is earlier.
  3. The property shall comply at all times with the City's noise ordinance, and may be inspected by the City at any time to ensure such compliance.

The conditional use permit for the sale of beer by the bottle or glass shall run with the business owner (Roaring Fork, LLC) and not the land.

Moved by Binnie and Coburn to approve the conditional use permit for a Class "B" Beer License for Roaring Fork LLC., to serve beer by the bottle or glass at 1114 W. Main Street (Qdoba Mexican Grill) subject to the conditions of the City Planners as amended at the meeting. Motion approved by unanimous roll call vote.

Respectfully submitted,



Jane Wegner

Secretary

Rick C-5

RENEWAL ALCOHOL BEVERAGE LICENSE APPLICATION

Submit to municipal clerk. Read instructions on reverse side.

For the license period beginning: July 1, 2010 ending: June 30, 2011

TO THE GOVERNING BODY of the: Town of Village of City of Whitewater

County of Walworth Aldermanic Dist. No. (if required by ordinance)

CHECK ONE Individual Partnership Limited Liability Company Corporation/Nonprofit Organization

Complete A or B. All must complete C.

A. Individual or Partnership:

Full Name(s) (Last, First and Middle Name) Home Address Post Office & Zip Code Richard A. Hartmann 336 Indian Mound Pkwy Whitewater, WI 53190

B. Full Name of Corporation/Nonprofit Organization/Limited Liability Company

Address of Corporation/Limited Liability Company (if different from licensed premises)

All Officer(s) Director(s) and Agent of Corporation and Members/Managers and Agent of Limited Liability Company:

Table with columns: Title, Name (Inc. Middle Name), Home Address, Post Office & Zip Code. Rows for President/Member, Vice President/Member, Secretary/Member, Treasurer/Member, Agent, Directors/Managers.

C. 1. Trade Name Rick's Eastside Pub + Grill

Business Phone Number 262-473-9879

2. Address of Premises 561 E. Milwaukee St.

Post Office & Zip Code Whitewater, WI 53190

3. Does the applicant understand that they must purchase alcohol beverages only from Wisconsin wholesalers? Yes No

4. Premises description: Describe building or buildings where alcohol beverages are to be sold and stored. The applicant must include all rooms including living quarters, if used, for the sales, service, and/or storage of alcohol beverages and records. (Alcohol beverages may be sold and stored only on the premises described.) 40' x 60' bldg. 2 Restrooms, Kitchen Area

5. Legal description (omit if street address is given above): 40' bar, 2 Walk in Coolers all located in South half of bldg.

6. a. Since filing of the last application, has the named licensee, any member of a partnership licensee, or any member, officer, director, manager or agent for either a limited liability company licensee, corporation licensee, or nonprofit organization licensee been convicted of any offenses (excluding traffic offenses not related to alcohol) for violation of any federal laws, any Wisconsin laws, any laws of other states, or ordinances of any county or municipality? If yes, complete reverse side Yes No

b. Are charges for any offenses presently pending (excluding traffic offenses not related to alcohol) against the named licensee or any other persons affiliated with this license? If yes, explain fully on reverse side Yes No

7. Except for questions 6a and 6b, have there been any changes in the answers to the questions as submitted by you on your last application for this license? If yes, explain. Yes No

8. Was the profit or loss from the sale of alcohol beverages for the previous year reported on the Wisconsin Income or Franchise Tax return of the licensee? If not, explain. Yes No

9. Does the applicant understand a Wisconsin Seller's Permit must be applied for and issued in the same name as that shown under Section A or B above? [phone (608) 266-2776] Yes No

10. Does the applicant understand that alcohol beverage invoices must be kept at the licensed premises for 2 years from the date of invoice and made available for inspection by law enforcement? Yes No

11. Is the applicant indebted to any wholesaler beyond 15 days for beer or 30 days for liquor? Yes No

READ CAREFULLY BEFORE SIGNING: Under penalty provided by law, the applicant states that each of the above questions has been truthfully answered to the best of the knowledge of the signers. Signers agree to operate this business according to law and that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another. (Individual applicants and each member of a partnership applicant must sign; corporate officer(s), members/managers of Limited Liability Companies must sign.)

SUBSCRIBED AND SWORN TO BEFORE ME

this 26th day of April, 2010

Richard A. Hartmann (Signature)

(Officer of Corporation/Member/Manager of Limited Liability Company /Partner/Individual)

Deborah M. Helgeson (Signature)

(Officer of Corporation/Member/Manager of Limited Liability Company /Partner)

My commission expires 1/20/13

(Additional Partner(s)/Member/Manager of Limited Liability Company if Any)

TO BE COMPLETED BY CLERK

Table with 3 columns: Date received and filed with municipal clerk, Date reported to council/board, Date license granted; License number issued, Date license issued, Signature of Clerk / Deputy Clerk.

requesting licensure of outside area east of building... south of tavern. DR Whitewater

**APPLICATION FOR SIDEWALK CAFÉ PERMIT**PERMIT VALID FROM JULY 1<sup>ST</sup> – JUNE 30<sup>TH</sup>

APPLICATION IS HEREBY MADE FOR A REVOCABLE SIDEWALK CAFÉ PERMIT  
TO OPERATE A SIDEWALK CAFÉ IN ACCORDANCE WITH CHAPTER 5.19  
OF THE CITY OF WHITEWATER, WI CODE OF ORDINANCES

**BUSINESS INFORMATION**

Permit # \_\_\_\_\_

Business Name:

Rick's Eastside Pub & Grill

Company Name: \_\_\_\_\_

Business Address:

561 E. Milwaukee St. Whitewater  
Street City State Zip

Mailing Address:

SAME

Street City State Zip

Business Phone:

262-473-9879

Current Zoning Classification:

B-3**APPLICANT INFORMATION**

Name:

Richard alan Hartmann Title: Owner  
First Middle Last

Home Address:

336 Indian Mound Whitewater  
Street City State Zip

Phone:

262-473-6975

E-Mail:

rehartmann@att.net

cell phone

920-723-8575**DIRECTIONS**

Bring the following to the Department of Public Works window located on the second floor of the Whitewater Municipal Center on 312 W. Whitewater Street, Whitewater, WI 53190:

- Completion of Application for Sidewalk Café Permit
- Site Plan Layout (to be reviewed by Neighborhood Services and Police Department).
- Description of items to be placed outside (standards are on next page)
- Copy of a current certificate of commercial liability insurance in the amount of at least \$100,000 per occurrence. Original Certificate of Comprehensive General Liability Insurance for at least \$100,000 which names the City of Whitewater as additional insured and covered area includes the sidewalk café
- A copy of applicable valid Wisconsin Seller's Permit
- A copy of applicable valid Alcohol Beverage License (only if alcohol is to be served)

**BASIC INFORMATION**

DO FOOD SALES GENERATE MORE THAN 30% GROSS RECEIPTS?

Yes

No

\*\* WILL YOU BE SERVING ALCOHOLIC BEVERAGES?

Yes

No

*\*\* If you answered "Yes" you will have to change your Alcohol Beverage License to include the sidewalk café. Please contact the City Clerk to make the necessary arrangements before Alcoholic Beverages can be sold.*

**SITE PLAN LAYOUT SPECIFICATIONS**

- Must be to scale
- Must be on 8-1/2" X 11" paper
- Must depict existing sidewalk area and adjacent private property
- Must depict proposed sidewalk café with placement of:
  - chairs
  - tables
  - planters
  - umbrellas
  - other items to be placed in sidewalk café
- Must depict existing trees, doorways, steps, parking meters, sidewalk benches, trash receptacles, light poles and any other sidewalk obstructions
- Must show 4 feet of unobstructed sidewalk for public use

**DESCRIPTION OF PLACED ITEMS OUTSIDE**

- Must have picture or description of all proposed
  - tables
  - chairs
  - umbrellas
  - barriers ( fencing , planters )
  - all other objects to be placed on sidewalk
- Description or picture must be accompanied by dimensions

**APPLICATION FOR A SIDEWALK CAFÉ PERMIT**

In specific consideration for the City granting a sidewalk café permit to the applicant named below, the permit holder shall pay, indemnify and hold harmless the City and their respective agents, guests, invitees and employees from all suits, actions, claims, demands, damages, losses and other reasonable expenses and cost of every kind and description including attorney's fees to which the City, or its officers, agents or employees may be subject to as a result of the grant of this permit.

I hereby state that I have answered all of the preceding questions and that the information contained herein is true and correct to the best of my knowledge and belief. In addition, that I have read, understand and will comply with Chapter 5.19, Sidewalk Café Permit, and all other applicable laws.

Richard Hartmann 7/29/18

Signature of Applicant

Date

Richard Hartmann

Print Name

**OFFICIAL USE ONLY**

To be filled out by City Clerk / City Council. Date \_\_\_\_ (circle one) Approved Disapproved

Comments: \_\_\_\_\_  
\_\_\_\_\_

To be filled out by Police Department. Date \_\_\_\_ (circle one) Approved Disapproved

To be filled out by Neighborhood Services Director (circle one) Approved Disapproved  
Date \_\_\_\_\_

Conditions/Restrictions/Reason for Denial: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



Neighborhood Services • Code Enforcement / Zoning and Department of Public Works  
312 W. Whitewater Street / P.O. Box 178, Whitewater, WI 53190  
(262) 473-0540 • Fax (262) 473-0549  
www.ci.whitewater.wi.us

### NOTICE OF PUBLIC HEARING

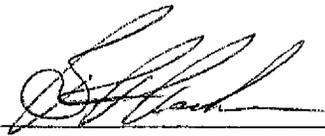
TO ALL INTERESTED PARTIES:

A meeting of the PLAN AND ARCHITECTURAL REVIEW COMMISSION of the City of Whitewater will be held at the Municipal Building, Community Room, located at 312 W. Whitewater Street on the 9th day of August 2010 at 6:00 p.m. to hold a public hearing for consideration of an amendment to the Conditional Use Permit for creation of an outdoor café to be located at 561 E. Milwaukee Street (Rick's Eastside Pub & Grill) for Rick Hartmann.

The proposal is on file in the office of the Zoning Administrator at 312 W. Whitewater Street and is open to public inspection during office hours Monday through Friday, 8:00 a.m. to 4:30 p.m.

This meeting is open to the public. COMMENTS FOR, OR AGAINST THE PROPOSED PROJECT MAY BE SUBMITTED IN PERSON OR IN WRITING.

For information, call (262) 473-0540

  
\_\_\_\_\_  
Bruce Parker, Zoning Administrator

/A 43200001  
MICHAEL W FOELKER  
515 E. MILWAUKEE ST  
WHITEWATER WI 53190

/A1274-1, A4231-1  
FRAWLEY ENTERPRISES WHITEWATER  
PO BOX 630  
WHITEWATER WI 53190

/A136600001  
PAT MCCORMICK  
555 E. CLAY ST  
WHITEWATER WI 53190

/A141100001  
GWENDOLYN FRIESS  
565 CLAY ST  
WHITEWATER WI 53190

/A141100002  
ROBERT J,CAROL M  
& JAMES R MCLERNON  
N3748 BOWERS RD  
LAKE GENEVA WI 53147

/A288100001  
DENNIS C & JUDY A FERRO  
429 S. PRINCE ST  
WHITEWATER WI 53190

/A288100002  
JOHN A CORDIO  
2701 N. SCHARINE RD  
WHITEWATER WI 53190

/A288100003  
STEPHEN W GODFREY  
N7599 LARRYS RD  
WHITEWATER WI 53190

/A392500002  
RONALD R SCHILT  
545 E. CLAY ST  
WHITEWATER WI 53190

/A392500004  
MIKE & MELISSA JUONI  
541 E. CLAY ST  
WHITEWATER WI 53190

/ES 00014  
KATHLEEN L WAFLE  
11121 PIONEER RD  
WHITEWATER WI 53190

/ES 00016  
DAVE W REYNOLDS  
N386 COLD SPRING RD  
WHITEWATER WI 53190

/ES 00017  
DAVE W & KARI A REYNOLDS  
N386 COLD SPRING RD  
WHITEWATER WI 53190

/ES 00018  
FRANK CORDIO, JR  
222 S. ESTERLY ST  
WHITEWATER WI 53190

/ES 00018A  
BLANCA RODRIGUEZ  
512 E NORTH ST  
WHITEWATER WI 53190

/ES 00019  
RUSSELL G & SANDRA K ASBURY  
638 E. CLAY ST  
WHITEWATER WI 53190

/ES 00022  
JOHN TODD & ALICIA MARY ENGLEMAN  
2647 N 4203RD RD  
SHERIDAN IL 60551

/ES 00023  
ALLAN T & SHERYL A STARK  
578 E CLAY ST  
WHITEWATER WI 53190

/ES-24, ES-24A, ES-24B  
MARY LYNN LABELLE TRUST  
558 E CLAY ST  
WHITEWATER WI 53190

/ES 00025  
ERNEST R & MARGARET N STAEBLER  
TRUST  
419 E CLAY ST  
WHITEWATER WI 53190

/ES 00026  
MARTHA E MESKE  
530 E. CLAY ST  
WHITEWATER WI 53190

/ES 00027  
EUNICE KINCAID  
4366 WINDSOR RD  
WINDSOR WI 53598

/ES 00030  
PHYLLIS J WOLSKE  
229 S. DANN ST  
WHITEWATER WI 53190

/ES 00031  
MPKSP PROPERTIES LLC  
N515 HOWARD RD  
WHITEWATER WI 53190

/ES 00035A  
HARTMANN ENTERPRISES LLC  
336 INDIAN MOUND PKWY  
WHITEWATER WI 53190

/ES 00036  
STAEBLER PROPERTIES LLC  
535 E. MILWAUKEE ST  
WHITEWATER WI 53190

/ES 00036A  
GARY MICKELSON  
545 E. MILWAUKEE ST  
WHITEWATER WI 53190

/WUP 00321A  
STATE OF WISCONSIN  
DEPT OF TRANSPORTATION  
MADISON WI 53702

**561 E MILWAUKEE**

A-432-2  
OCCUPANT  
209 S DANN STREET  
WHITEWATER, WI 53190

A2881-3  
OCCUPANT  
212 S ESTERLY STREET  
WHITEWATER, WI 53190

A-1411-2  
OCCUPANT  
581 E CLAY STREET  
WHITEWATER, WI 53190

A-1411-2  
OCCUPANT  
583 E CLAY STREET  
WHITEWATER, WI 53190

ES-16  
OCCUPANT  
532 E MILWAUKEE STREET  
WHITEWATER, WI 53190

ES-17  
OCCUPANT  
542 E MILWAUKEE STREET  
WHITEWATER, WI 53190

ES-18A  
OCCUPANT  
232 S ESTERLY STREET  
WHITEWATER, WI 53190

ES-19,20  
OCCUPANT  
638 E CLAY STREET  
WHITEWATER, WI 53190

ES-22  
OCCUPANT  
622 E CLAY STREET  
WHITEWATER, WI 53190

ES-27  
OCCUPANT  
522 E CLAY STREET  
WHITEWATER, WI 53190

*561 E Milwaukee*

**NOTICE:** The Plan Commission meetings are scheduled on the 2nd Monday of the month. All complete plans must be in by 9:00 a.m. four weeks prior to the meeting. If not, the item will be placed on the next available Plan Commission meeting.

CITY OF WHITEWATER  
CONDITIONAL USE PERMIT APPLICATION PROCEDURE

1. File the application with the Code Enforcement Director's Office at least four weeks prior to the meeting. \$100.00 fee. Filed on 7-29-10.
2. Class 1 Notice published in Official Newspaper on 7-29-10.
3. Notices of the Public Hearing mailed to property owners on 7-27-10.
4. Plan Commission holds the PUBLIC HEARING on 8-9-10. They will hear comments of the Petitioner and comments of property owners. Comments may be made in person or in writing.
5. At the conclusion of the Public Hearing, the Plan Commission makes a decision.

PLEASE COMPLETE THE FOLLOWING APPLICATION.

Refer to Chapter 19.66 of the City of Whitewater Municipal Code of Ordinances, entitled CONDITIONAL USES, for more information on the application.

Twenty complete sets of all plans should be submitted. All plans should be drawn to a scale of not less than 50 feet to the inch; represent actual existing and proposed site conditions in detail; and indicate the name, address, and phone number of the applicant, land owner, architect, engineer, landscape designer, contractor, or others responsible for preparation. It is often possible and desirable to include two or more of the above 8 plans on one map. The Zoning Administrator or Plan and Architectural Review Commission may request more information, or may reduce the submittal requirements. If any of the above 10 plans is not submitted, the applicant should provide a written explanation of why it is not submitted.

## SITE PLAN SUBMITTAL REQUIREMENTS

This checklist must be completed before making application for a City of Whitewater Zoning/Building Permit. If not complete, the application will be returned to the owner and will not proceed until all information and forms are complete.

Drawings must be legible and drawn to scale not less than 1/4" per foot unless noted.

Address of Project \_\_\_\_\_

Zoning of Property \_\_\_\_\_

1. **Site Plan**, including the location and dimensions of all buildings, parking, loading, vehicle and pedestrian circulation, signs, walls, fences, other structures, outdoor storage areas, mechanicals, and dumpsters. Adjacent streets and uses and methods for screening parking, loading, storage, mechanical, and dumpster areas should be shown. Statistics on lot area, green space percentage, and housing density should be provided. The Plan Commission encourages compliance with its adopted parking lot curbing policy.
2. **Natural Features Inventory Map**, showing the existing limits of all water bodies, wetlands, floodplains, existing trees with trunks more than 4 inches in diameter, and any other exceptional natural resource features on all or part of the site.
3. **Landscape Plan**, prepared by a professional, and showing an overhead view of all proposed landscaping and existing landscaping to remain. The species, size at time of planting, and mature size should be indicated for all plantings. Areas to be left in green space should be clearly delineated. The Plan Commission encourages compliance with its adopted landscaping guidelines, available from the Zoning Department.
4. **Grading and drainage plan**, meeting the City's stormwater management ordinance if required. The plan should show existing and proposed surface elevations on the site at two foot intervals or less, and proposed stormwater management improvements, such as detention/retention facilities where required. Stormwater calculations may be required.
5. **Utilities plan**, showing locations and sizes of existing and proposed connections to sanitary sewer, water, and storm sewer lines, along with required easements. Sampling manholes may be required for sanitary sewer. The City's noise ordinance must be met.
6. **Building elevations**, showing the dimensions, colors, and materials used on all sides of the building. The Plan Commission encourages variety and creativity in building colors and architectural styles, while respecting the character of the surrounding neighborhood.
7. **Sign plan**, meeting the City's sign ordinance, and showing the location, height, dimensions, color, materials, lighting and copy area of all signage.
8. **Lighting plan**, meeting the City's lighting ordinance, and showing the location, height, type, orientation, and power of all proposed outdoor lighting—both on poles and on buildings. Cut sheets and photometric plans may be required for larger projects.

9. **Floor plan** which shows:

- A. The size and locations of:
- 1) Rooms;
  - 2) Doors;
  - 3) Windows;
  - 4) Structural features - size, height and thickness of wood, concrete and/or masonry construction;
  - 5) Exit passageways (hallways) and stairs (including all stair dimensions - riser height, tread width, headroom and handrail heights); stair width,
  - 6) Plumbing fixtures (bathroom, kitchen, etc.) - lavatory, water closet, water heater, softener, etc.;
  - 7) Chimney(s) - include also the type of construction (masonry or factory built);
  - 8) Heating equipment;
  - 9) Cooling equipment (central air conditioning, if provided);
  - 10) Attic and crawl space access; and
  - 11) Fire separation between dwelling and garage.
  - 12) Electrical service entrance/transformer location.

10. **Elevation drawings** which show:

- A. Information on exterior appearance (wood, stone, brick, block, colors);
- B. Indicate the location, size and configuration of doors, windows, roof chimneys and exterior grade level.
- C. Indicate color of Trim \_\_\_\_\_, Siding \_\_\_\_\_, Roofing \_\_\_\_\_.
- D. Electrical service entrance/transformer location.

11. **Type of Project:**

- A. Single family;
- B. Duplex;
- C. Multifamily # units \_\_\_\_\_;  
 Condominium # units \_\_\_\_\_;  
 Sorority # units \_\_\_\_\_;  
 Fraternity # units \_\_\_\_\_;
- D. Office/Store;
- E. Industrial;
- F. Parking lot # of stalls \_\_\_\_\_;
- G. Other;

City of Whitewater  
Application for Conditional Use Permit

IDENTIFICATION AND INFORMATION ON APPLICANT(S):

Applicant's Name: Richard Hartmann  
 Applicant's Address: 336 Indian Mound Pkwy  
Whitewater, WI Phone # 262-473-6975

Owner of Site, according to current property tax records (as of the date of the application):  
Richard Hartmann

Street address of property: 561 E. Milwaukee St. Whitewater, WI

Legal Description (Name of Subdivision, Block and Lot or other Legal Description):  
 \_\_\_\_\_  
 \_\_\_\_\_

Agent or Representative assisting in the Application (Engineer, Architect, Attorney, etc.)

Name of Individual: \_\_\_\_\_  
 Name of Firm: \_\_\_\_\_  
 Office Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_

Name of Contractor: \_\_\_\_\_

Has either the applicant or the owner had any variances issued to them, on any property? YES NO  
 If YES, please indicate the type of variance issued and indicate whether conditions have been complied with.

EXISTING AND PROPOSED USES:

Principal Use: Restaurant / BAR Current Land Use: \_\_\_\_\_

Accessory or Secondary Uses: outdoor seating and serving area

Proposed Use (Describe need for conditional use):  
provide outdoor seating for eating  
and drinking until 10pm.

No. of occupants proposed to be accommodated: 99

No. of employees: 9-12

Zoning District in which property is located: B-3

Section of City Zoning Ordinance that identifies the proposed land use as a Conditional Use in the Zoning District in which the property is located:

**PLANS TO ACCOMPANY APPLICATION**

Applications for permits shall be accompanied by drawings of the proposed work, drawn to scale, showing, when necessary, floor plans, sections, elevations, structural details, computations and stress diagrams as the building official may require.

**PLOT PLAN**

When required by the building official, there shall be submitted a plot plan in a form and size designated by the building official for filing permanently with the permit record, drawn to scale, with all dimension figures, showing accurately the size and exact location of all proposed new construction and the relation to other existing or proposed buildings or structures on the same lot, and other buildings or structures on adjoining property within 15 feet of the property lines. In the case of demolition, the plot plan shall show the buildings or structures to be demolished and the buildings or structures on the same lot that are to remain.

**STANDARDS**

STANDARD	APPLICANT'S EXPLANATION
<p>A. That the establishment, maintenance, or operation of the Conditional Use will not create a nuisance for neighboring uses or substantially reduces value of other property.</p>	<p align="center">yes</p>
<p>B. That utilities, access roads, parking, drainage, landscaping, and other necessary site improvements are being provided.</p>	<p align="center">yes</p>
<p>C. That the conditional use conforms to all applicable regulations of the district in which it is located, unless otherwise specifically exempted in this ordinance.</p>	<p align="center">yes</p>
<p>D. That the conditional use conforms to the purpose and intent of the City Master Plan.</p>	<p align="center">yes</p>

CONDITIONS

The City of Whitewater Zoning Ordinance authorizes the Plan Commission to place conditions on approved conditional uses. Conditions can deal with the points listed below. Be aware that there may be discussion at the Plan Commission in regard to placement of such conditions upon your property. You may wish to supply pertinent information.

"Conditions" such as landscaping, architectural design, type of construction, construction commencement and completion dates, sureties, lighting, fencing, plantation, deed restrictions, highway access restrictions, increased yards or parking requirements may be required by the Plan and Architectural Review Commission upon its finding that these are necessary to fulfill the purpose and intent of this Ordinance.

"Conditional Uses" may be subject to time limits or requirements for periodic reviews where such requirements relate to review standards.

*Richard Hunter*  
Applicant's Signature

7-29-10  
Date

**APPLICATION FEES:**

<i>Fee for Conditional Use Application: \$100</i>	
Date Application Fee Received by City <u>7-29-10</u>	Receipt No. <u>6.008763</u>
Received by <u><i>J. Wagner</i></u>	

**TO BE COMPLETED BY CODE ENFORCEMENT/ZONING OFFICE:**

Date notice sent to owners of record of opposite & abutting properties: 7-27-10  
Date set for public hearing before Plan & Architectural Review Board: 8-9-10

**ACTION TAKEN:**

Conditional Use Permit: \_\_\_\_\_ Granted \_\_\_\_\_ Not Granted by Plan & Architectural Review Commission.

**CONDITIONS PLACED UPON PERMIT BY PLAN AND ARCHITECTURAL REVIEW COMMISSION:**

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\_\_\_\_\_  
Signature of Plan Commission Chairman

\_\_\_\_\_  
Date

**AGREEMENT OF SERVICES**

**REIMBURSABLE BY THE PETITIONER/APPLICANT.** The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission, Board of Zoning Appeals and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal. The City may apply the charges for these services to the Petitioner and/or property owner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner, but which are not paid, may be assigned by the City as a special assessment to the subject property. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the proposed application (Architectural Review, B.Z.A., Planning, Zoning Change):

\_\_\_\_\_, the applicant/petitioner for

(Owner's Name): \_\_\_\_\_, dated: \_\_\_\_\_,

Phone # \_\_\_\_\_, tax key #(s) \_\_\_\_\_,

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g. filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Whitewater, in the judgement of its staff, to obtain additional professional service(s) (e.g. engineering, surveying, planning, legal) than normally would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 200\_.

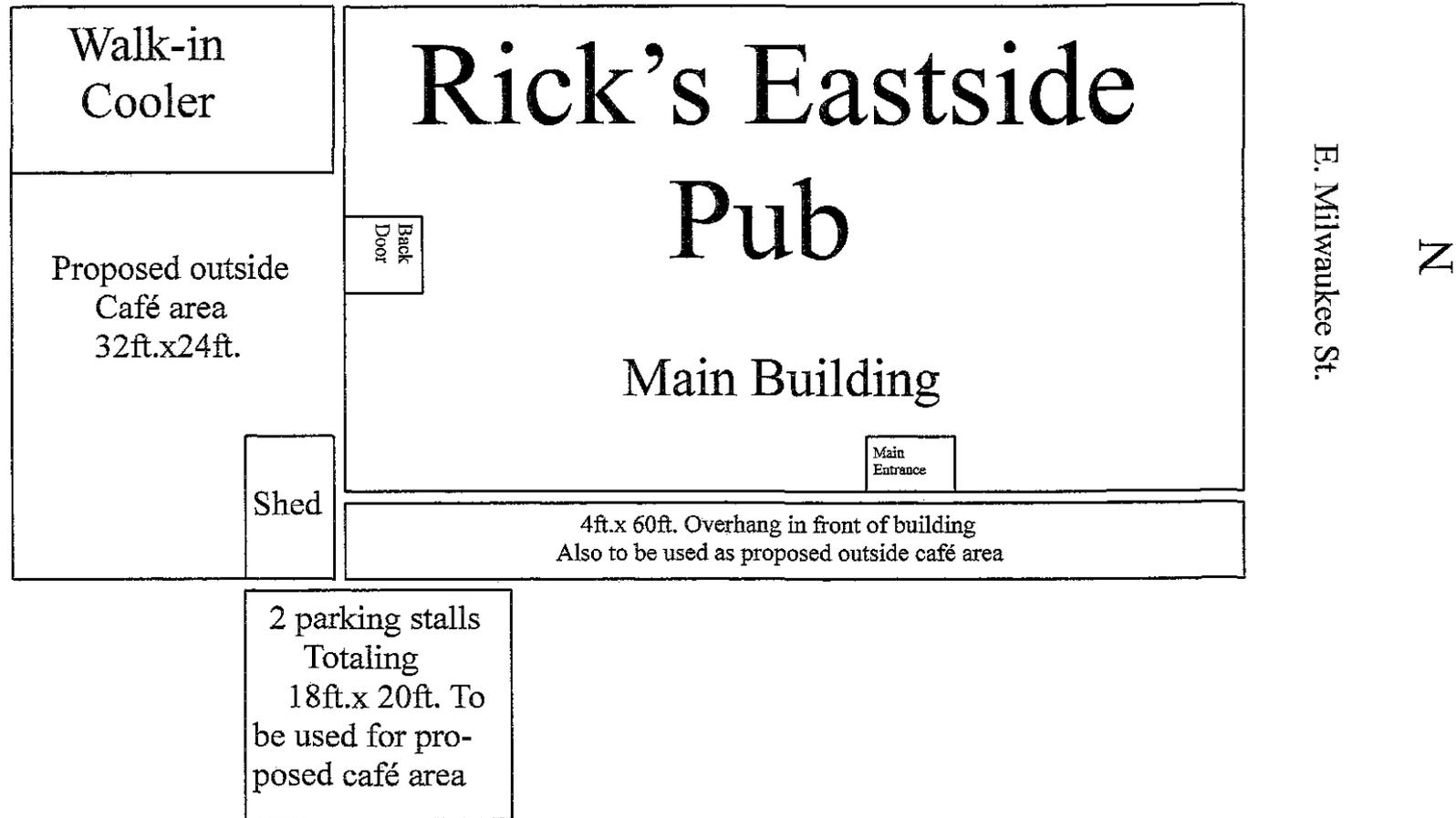
\_\_\_\_\_  
(Signature of Applicant/Petitioner)

\_\_\_\_\_  
(Printed Name of Applicant/Petitioner)

\_\_\_\_\_  
(Signature of Owner of Property & Date Signed)

\_\_\_\_\_  
(Printed Name of Owner of Property)

W



All 3 proposed café areas will be enclosed with decorator link chain mounted to pvc pipe mounted in colorful containers to create a nice looking barrier. The link chain will be attached between the support posts on front overhang to define the barrier for that area. The reason for wanting the café area out the back door also, is incase we run into a situation where we would need the parking stalls back out front and would want to move the café area to the back of the building. Link chain for back café area will be attached to S.E. corner of walk-in cooler and to S.E. corner of shed.

**ALCOHOL BEVERAGE LICENSE APPLICATION**

municipal clerk. Read instructions on reverse side.

license period beginning: 7-01-10 ending: 6-30-11  
(MM DD YYYY) (MM DD YYYY)

THE GOVERNING BODY of the:  Town of  Village of  City of } Whitewater

County of \_\_\_\_\_ Aldermanic Dist. No. \_\_\_\_\_ (if required by ordinance)

CHECK ONE  Individual  Partnership  Limited Liability Company  Corporation/Nonprofit Organization

Applicant's Wisconsin Seller's Permit Number: _____	
Federal Employer Identification Number (FEIN): <u>39-1935719</u>	
LICENSE REQUESTED ▶	
TYPE	
<input type="checkbox"/> Class A beer	
<input checked="" type="checkbox"/> Class B beer	
<input type="checkbox"/> Wholesale beer	
<input type="checkbox"/> Class C wine	\$
<input checked="" type="checkbox"/> Class A liquor	\$
<input type="checkbox"/> Class B liquor	\$
<input type="checkbox"/> Reserve Class B liquor	\$
Publication fee	\$
TOTAL FEE	\$

**C-5a**

Complete A or B. All must complete C.

A. Individual or Partnership: **ROBERT A. SWEET**  
 Full Name(s) (Last, First and Middle Name) N7598 Larry's Rd Home Address  
Whitewater, WI 53190 Post Office & Zip Code

B. Full Name of Corporation/Nonprofit Organization/Limited Liability Company ▶ Downstairs Sports Bar  
 Address of Corporation/Limited Liability Company (if different from licensed premises) ▶ \_\_\_\_\_  
 All Officer(s) Director(s) and Agent of Corporation and Members/Managers and Agent of Limited Liability Company:  
 Title Name (Inc. Middle Name) Home Address Post Office & Zip Code  
 President/Member same as A (Individual)  
 Vice President/Member \_\_\_\_\_  
 Secretary/Member \_\_\_\_\_  
 Treasurer/Member \_\_\_\_\_  
 Agent ▶ Robert Sweet, N7598 Larry's Rd., Whitewater  
 Directors/Managers \_\_\_\_\_

C. 1. Trade Name ▶ Downstairs Sports Bar Business Phone Number 473-7390  
 2. Address of Premises ▶ 204 W. Main Post Office & Zip Code ▶ 53190

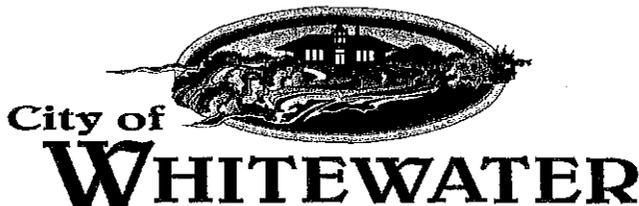
- 3. Does the applicant understand that they must purchase alcohol beverages only from Wisconsin wholesalers?  Yes  No
- 4. Premises description: Describe building or buildings where alcohol beverages are to be sold and stored. The applicant must include all rooms including living quarters, if used, for the sales, service, and/or storage of alcohol beverages and records. (Alcohol beverages may be sold and stored only on the premises described.) Basement Level of
- 5. Legal description (omit if street address is given above): 204 W. Main, plus 19 x 17 area south side
- 6. a. Since filing of the last application, has the named licensee, any member of a partnership licensee, or any member, officer, director, manager or agent for either a limited liability company licensee, corporation licensee, or nonprofit organization licensee been convicted of any offenses (excluding traffic offenses not related to alcohol) for violation of any federal laws, any Wisconsin laws, any laws of other states, or ordinances of any county or municipality? If yes, complete reverse side  Yes  No bldg. - s.w. cafe
- d. Are charges for any offenses presently pending (excluding traffic offenses not related to alcohol) against the named licensee or any other persons affiliated with this license? If yes, explain fully on reverse side  Yes  No
- 7. Except for questions 6a and 6b, have there been any changes in the answers to the questions as submitted by you on your last application for this license? If yes, explain.  Yes  No
- 8. Was the profit or loss from the sale of alcohol beverages for the previous year reported on the Wisconsin Income or Franchise Tax return of the licensee? If not, explain.  Yes  No
- 9. Does the applicant understand a Wisconsin Seller's Permit must be applied for and issued in the same name as that shown under Section A or B above? [phone (608) 266-2776]  Yes  No
- 10. Does the applicant understand that alcohol beverage invoices must be kept at the licensed premises for 2 years from the date of invoice and made available for inspection by law enforcement?  Yes  No
- 11. Is the applicant indebted to any wholesaler beyond 15 days for beer or 30 days for liquor?  Yes  No

READ CAREFULLY BEFORE SIGNING: Under penalty provided by law, the applicant states that each of the above questions has been truthfully answered to the best of the knowledge of the signers. Signers agree to operate this business according to law and that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another. (Individual applicants and each member of a partnership applicant must sign, corporate officer(s), members/managers of Limited Liability Companies must sign.)

SUBSCRIBED AND SWORN TO BEFORE ME  
 this 3rd day of May, 2010  
Michelle Smith  
(Clerk/Notary Public)  
 My commission expires 6-13-10

[Signature]  
(Officer of Corporation/Member/Manager of Limited Liability Company/Partner/Individual)  
[Signature]  
(Officer of Corporation/Member/Manager of Limited Liability Company/Partner)  
(Additional Partner(s)/Member/Manager of Limited Liability Company if Any)

TO BE COMPLETED BY CLERK		
Date received and filed with municipal clerk	Date reported to council/board	Date license granted
License number issued	Date license issued	Signature of Clerk / Deputy Clerk



Neighborhood Services • Code Enforcement / Zoning and Department of Public Works  
312 W. Whitewater Street / P.O. Box 178, Whitewater, WI 53190  
(262) 473-0540 • Fax (262) 473-0549  
www.ci.whitewater.wi.us

NOTICE OF PUBLIC HEARING

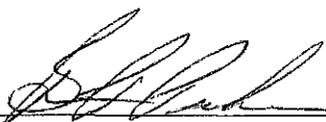
TO ALL INTERESTED PARTIES:

A meeting of the PLAN AND ARCHITECTURAL REVIEW COMMISSION of the City of Whitewater will be held at the Municipal Building, Community Room, located at 312 W. Whitewater Street on the 9th day of August 2010 at 6:00 p.m. to hold a public hearing for consideration of an amendment to the Conditional Use Permit for creation of an outdoor café to be located at 204 W. Main Street (Downstairs Sports Bar & Grill) for Robert A. Sweet.

The proposal is on file in the office of the Zoning Administrator at 312 W. Whitewater Street and is open to public inspection during office hours Monday through Friday, 8:00 a.m. to 4:30 p.m.

This meeting is open to the public. COMMENTS FOR, OR AGAINST THE PROPOSED PROJECT MAY BE SUBMITTED IN PERSON OR IN WRITING.

For information, call (262) 473-0540



Bruce Parker, Zoning Administrator

C-5a

/OT 00014  
FIRST & MAIN OF WHITEWATER LLC  
599 S FRANKLIN ST  
WHITEWATER WI 53190

/OT 00017  
HICKS SURVIVORS TRUST  
N7934 HWY 89  
WHITEWATER WI 53190

/OT-18, OT-19  
KJN DEVELOPMENT LLC  
S22 W35534 PARRY RD  
OCONOMOWOC WI 53066

/OT 00020  
TERRENCE L STRITZEL  
W5524 TRI COUNTY RD.  
WHITEWATER WI 53190

/OT 00021  
DAVID E & GRACE F SAALSAA  
239 S. GREEN ST  
WHITEWATER WI 53190

/OT 00026  
ROBERT A SWEET  
N7598 LARRY'S RD  
WHITEWATER WI 53190

/OT 00030  
KICH PROPERTIES LLC  
N6927 GREENLEAF CT  
ELKHORN WI 53121

/OT 00031  
ST JOHN LODGE 57, F. & A.M.  
266 W. MAIN ST  
WHITEWATER WI 53190

/OT-32, OT-33, OT-34  
MITCHELL J SIMON  
211 N. PARK ST  
WHITEWATER WI 53190

/OT 00048  
FERDINAND J & KATHLEEN M KOJIS  
TRUST  
35 LIGHTHOUSE WAY  
SALEM SC 29676

/OT-53 - OT-61  
FIRST CITIZENS STATE BANK  
207 W. MAIN ST  
WHITEWATER WI 53190

/OT 00062  
DONALD E LIGGETT TRUST  
P. O. BOX 223061  
PRINCEVILLE HI 96722

/OT-65, OT-71  
PIKA DEVELOPMENT LLC  
S78 W20177 MONTEREY DR  
MUSKEGO WI 53150

/OT 00067  
DIANE L TRAMPE  
138 CENTER ST  
WHITEWATER WI 53190

/OT 00068  
BARBARA G HAMILTON  
C/O HAMMER'S HOMETOWN TAP  
PO BOX 397  
WHITEWATER WI 53190

/OT 00069  
CHERYL A & MICHAEL J BRESNAHAN  
117 S. SECOND ST  
WHITEWATER WI 53190

/OT 00070  
BLGL LLC  
1691 MOUND VIEW PL  
WHITEWATER WI 53190

/OT 00072  
LUIS  
LATIN KING OF WHITEWATER  
132 MAIN ST  
WHITEWATER WI 53190

/OT 00073  
JOHN M & MARGARET M BASILE  
W5211 MEADOW LN  
ELKHORN WI 53121

/OT 00074  
MARK O & JEAN BERGEY  
173 W. MAIN ST  
WHITEWATER WI 53190

/OT 00087  
WISCONSIN TELEPHONE CO  
ONE SBC CENTER , ROOM 36-M-1  
ST LOUIS MO 63101

/WSS 00001  
ANTHONY M & JANET M LOMBARDO  
1180 THORNDALE LN  
LAKE ZURICH IL 60047

/WSS 00002  
DONNA JOANNE HENRY  
347 S. JANESVILLE ST  
WHITEWATER WI 53190

/WSS 00003  
EDWARD J CONNELL  
208 W. NORTH ST  
WHITEWATER WI 53190

/WSS 00004  
DALE R WOLF  
1645 W. WILDWOOD DR  
WHITEWATER WI 53190

/WSS 00006  
STEVEN C SPEAR  
577 EHLERT CT  
WHITEWATER WI 53190

/WSS 00007  
MICHAEL J RIPLEY  
138 N. GEORGE ST  
WHITEWATER WI 53190

/WSS 00008  
ARTHUR & KIRSTEN STRITZEL  
W396 S3675 HARD SCRABBLE RD  
DOUSMAN WI 53118

/WSS 00011  
RAYMOND N & BRENDA SHUPE  
1522 PARKVIEW LN  
PORT WASHINGTON WI 53190

/WUP 00061  
W DANIEL & D JEAN SABLE  
131 N FREMONT ST  
WHITEWATER WI 53190

OT-14  
TERRA STAFFING SERVICES  
162 W MAIN ST  
WHITEWATER, WI 53190

OT-14  
DAY N NITE CAFÉ  
162 W MAIN ST SUITE A  
WHITEWATER, WI 53190

OT-14  
ART AND IMAGE  
162 W MAIN ST SUITE F  
WHITEWATER, WI 53190

OT-14  
RSVP  
162 W MAIN ST SUITE H  
WHITEWATER, WI 53190

OT-14  
ALLURE SPA  
162 W MAIN ST SUITE I  
WHITEWATER, WI 53190

OT-14  
DOWNTOWN WHITEWATER, INC.  
162 W MAIN ST SUITE L  
WHITEWATER, WI 53190

OT-14  
COOL TOOLS  
162 W MAIN ST SUITE M  
WHITEWATER, WI 53190

OT-17  
OCCUPANT  
172 W MAIN ST  
WHITEWATER, WI 53190

OT-18  
LEVEL UP GAMES  
174 W MAIN ST  
WHITEWATER, WI 53190

OT-18  
OCCUPANT  
174 W MAIN ST  
WHITEWATER, WI 53190

OT-19  
OCCUPANT  
176 W MAIN ST  
WHITEWATER, WI 53190

OT-19  
OCCUPANT  
176B W MAIN ST  
WHITEWATER, WI 53190

OT-20  
PINNACLE BANCORP  
178 W MAIN ST  
WHITEWATER, WI 53190

OT-20  
OCCUPANT  
178 W MAIN ST #1  
WHITEWATER, WI 53190

OT-20  
OCCUPANT  
178 W MAIN ST #2  
WHITEWATER, WI 53190

OT-20  
OCCUPANT  
178 W MAIN ST #3  
WHITEWATER, WI 53190

OT-20  
OCCUPANT  
178 W MAIN ST #4  
WHITEWATER, WI 53190

OT-20  
ROSA'S PIZZA  
180 W MAIN ST  
WHITEWATER, WI 53190

OT-20  
OCCUPANT  
180 W MAIN ST #1  
WHITEWATER, WI 53190

OT-20  
OCCUPANT  
180 W MAIN ST #2  
WHITEWATER, WI 53190

OT-20  
OCCUPANT  
180 W MAIN ST #3  
WHITEWATER, WI 53190

OT-20  
OCCUPANT  
180 W MAIN ST #4  
WHITEWATER, WI 53190

OT-21  
REFLECTIONS OF THE PAST  
182 W MAIN ST  
WHITEWATER, WI 53190

OT-21  
OCCUPANT  
182 W MAIN ST #1  
WHITEWATER, WI 53190

OT-21  
OCCUPANT  
182 W MAIN ST #2  
WHITEWATER, WI 53190

OT-21  
OCCUPANT  
186 W MAIN ST #1  
WHITEWATER, WI 53190

OT-21  
OCCUPANT  
186 W MAIN ST #2  
WHITEWATER, WI 53190

OT-26  
PETE'S BARBER SHOP  
210 N SECOND ST  
WHITEWATER, WI 53190

OT-26  
OCCUPANT  
210 N SECOND ST #1  
WHITEWATER, WI 53190

OT-26  
OCCUPANT  
210 N SECOND ST #2  
WHITEWATER, WI 53190

/WUP 00064  
JENNIFER C STEIL, JAMES & AMY EHLERS  
N7174 COUNTRY SIDE LN  
ELKHORN WI 53121

/WUP 00065  
ROSEMARY METZDORFF  
119 N. FREMONT ST  
WHITEWATER WI 53190

/WUP 00066  
HAROLD & DARLENE MILÉS  
234 W. NORTH ST  
WHITEWATER WI 53190

/WUP 00067  
LAURA M TRIEBOLD  
N7618 ENGEL RD  
WHITEWATER WI 53190

/WUP 00068  
MEISNER ENTERPRISES LLC  
N7547 W LAKESHORE DR  
WHITEWATER WI 53190

/WUP 00086  
LADWIG & VOS INC  
140 LONGMEADOW DR  
BURLINGTON WI 53105

/WUP 00087  
JOHN W EJNIK & SARA NORTON-EJNIK  
130 N FREMONT ST  
WHITEWATER WI 53190

/WUP 00088  
KEVIN A & PATTY J NICKS  
126 N. FREMONT ST  
WHITEWATER WI 53190

/WUP 00089  
FEDERAL HOME LOAN MORTGAGE  
5000 PLANO PKWY  
CARROLLTON TX 75010

/OT 00027  
RANDIX CORPORATION  
212 W. MAIN ST  
WHITEWATER WI 53190

/OT 00046  
BART J KRAUS  
301 W MAIN ST  
WHITEWATER WI 53190

/OT 00022  
RODERICK O & MARY M DALEE  
PO BOX 660  
WHITEWATER WI 53190

/OT 00075  
DLK ENTERPRISES INC  
P. O. BOX 239  
WHITEWATER WI 53190

OT-26  
OCCUPANT  
204 W MAIN ST #101  
WHITEWATER, WI 53190

OT-26  
OCCUPANT  
204 W MAIN ST #102  
WHITEWATER, WI 53190

OT-26  
OCCUPANT  
204 W MAIN ST #103  
WHITEWATER, WI 53190

OT-26  
OCCUPANT  
204 W MAIN ST #104  
WHITEWATER, WI 53190

OT-26  
OCCUPANT  
204 W MAIN ST #105  
WHITEWATER, WI 53190

OT-26  
OCCUPANT  
204 W MAIN ST #106  
WHITEWATER, WI 53190

OT-26  
OCCUPANT  
204 W MAIN ST #201  
WHITEWATER, WI 53190

OT-26  
OCCUPANT  
204 W MAIN ST #202  
WHITEWATER, WI 53190

OT-26  
OCCUPANT  
204 W MAIN ST #203  
WHITEWATER, WI 53190

OT-26  
OCCUPANT  
204 W MAIN ST #204  
WHITEWATER, WI 53190

OT-26  
OCCUPANT  
204 W MAIN ST #205  
WHITEWATER, WI 53190

OT-26  
OCCUPANT  
204 W MAIN ST #206  
WHITEWATER, WI 53190

OT-26  
OCCUPANT  
204 W MAIN ST #207  
WHITEWATER, WI 53190

OT-26  
OCCUPANT  
204 W MAIN ST #301  
WHITEWATER, WI 53190

OT-26  
OCCUPANT  
204 W MAIN ST #302  
WHITEWATER, WI 53190

OT-26  
OCCUPANT  
204 W MAIN ST #303  
WHITEWATER, WI 53190

OT-26  
OCCUPANT  
204 W MAIN ST #304  
WHITEWATER, WI 53190

OT-26  
OCCUPANT  
204 W MAIN ST #305  
WHITEWATER, WI 53190

OT-30  
OCCUPANT  
117 FREMONT ST UPPER  
WHITEWATER, WI 53190

OT-30  
OCCUPANT  
117 FREMONT ST LOWER  
WHITEWATER, WI 53190

OT-32  
OCCUPANT  
304 W MAIN ST UPPER  
WHITEWATER, WI 53190

OT-33  
OCCUPANT  
116 FREMONT ST LOWER  
WHITEWATER, WI 53190

OT-33  
OCCUPANT  
116 FREMONT ST UPPER  
WHITEWATER, WI 53190

OT-34  
OCCUPANT  
310 W MAIN ST UPPER  
WHITEWATER, WI 53190

OT-34  
OCCUPANT  
310 W MAIN ST LOWER  
WHITEWATER, WI 53190

OT-48  
OCCUPANT  
309 W MAIN ST  
WHITEWATER, WI 53190

OT-48  
OCCUPANT  
309A W MAIN ST  
WHITEWATER, WI 53190

OT-62  
OCCUPANT  
112 S FIRST ST  
WHITEWATER, WI 53190

OT-65  
COYOTE GRILL  
132 W CENTER ST  
WHITEWATER, WI 53190

OT-65  
OCCUPANT  
132 W CENTER ST #101  
WHITEWATER, WI 53190

OT-65  
OCCUPANT  
132 W CENTER ST #102  
WHITEWATER, WI 53190

OT-67  
OCCUPANT  
138 W CENTER UPSTAIRS  
WHITEWATER, WI 53190

OT-69  
OCCUPANT  
117 S SECOND ST #2  
WHITEWATER, WI 53190

OT-72  
PINNACLE BANCORP  
177 W MAIN ST  
WHITEWATER, WI 53190

OT-74  
OCCUPANT  
174 W MAIN ST  
WHITEWATER, WI 53190

WSS-3  
OCCUPANT  
208 W NORTH ST  
WHITEWATER, WI 53190

WSS-8  
OCCUPANT  
142 N GEORGE ST  
WHITEWATER, WI 53190

WUP-64  
OCCUPANT  
129 FREMONT ST, APT. A

WUP-86  
OCCUPANT  
136 FREMONT ST  
WHITEWATER, WI 53190

OT-22  
OCCUPANT  
109 SECOND ST  
WHITEWATER, WI 53190

OT-65  
OCCUPANT  
132 W CENTER ST #103  
WHITEWATER, WI 53190

OT-71  
H & R BLOCK  
179 W MAIN ST  
WHITEWATER, WI 53190

OT-70  
ALL CARE HEATING & COOLING  
187 W MAIN ST  
WHITEWATER, WI 53190

OT-72  
OCCUPANT  
177 W MAIN ST UPPER  
WHITEWATER, WI 53190

WSS-1  
OCCUPANT  
218 W NORTH ST  
WHITEWATER, WI 53190

WSS-4  
OCCUPANT  
132 GEORGE ST  
WHITEWATER, WI 53190

WSS-11  
OCCUPANT  
131 GEORGE ST  
WHITEWATER, WI 53190

WUP-67  
OCCUPANT  
228 W NORTH ST  
WHITEWATER, WI 53190

WUP-89  
OCCUPANT  
314 W NORTH ST  
WHITEWATER, WI 53190

OT-75  
OCCUPANT  
117 W MAIN ST UPSTAIRS  
WHITEWATER, WI 53190

OT-67  
WELLNITZ TAX & ACCOUNTING  
138 W CENTER  
WHITEWATER, WI 53190

OT-69  
OCCUPANT  
117 S SECOND ST #1  
WHITEWATER, WI 53190

OT-70  
WHITE ELEPHANT  
183 W MAIN ST  
WHITEWATER, WI 53190

OT-73  
OCCUPANT  
173 W MAIN ST  
WHITEWATER, WI 53190

WSS-2  
OCCUPANT  
212 W NORTH ST  
WHITEWATER, WI 53190

WSS-6  
OCCUPANT  
202 W NORTH ST  
WHITEWATER, WI 53190

WUP-64  
OCCUPANT  
129 FREMONT ST  
WHITEWATER, WI 53190

WUP-68  
OCCUPANT  
224 W NORTH ST  
WHITEWATER, WI 53190

OT-46  
OCCUPANT  
301 W MAIN ST  
WHITEWATER, WI 53190

**NOTICE:** The Plan Commission meetings are scheduled on the 2nd Monday of each month. All completed plans must be in by 9:00 a.m. four weeks prior to the scheduled meeting. If not, the item will be placed on the next available Plan Commission meeting agenda.

Conditional Use

CITY OF WHITEWATER  
~~PLAN REVIEW~~ APPLICATION PROCEDURE

1. File the application with the Code Enforcement Director's Office at least two weeks prior to the meeting. \$100.00 fee. Filed on 7-14-10.
2. ~~Agenda~~ Published in Official Newspaper on 7-29-10.
3. Notices of the public review mailed to property owners on 7-27-10.
4. Plan Commission holds the public review on 8-9-10. They will hear comments of the Petitioner and comments of property owners. Comments may be made in person or in writing.
5. At the conclusion of the public review, the Plan Commission makes a decision.

PLEASE COMPLETE THE FOLLOWING APPLICATION.

Refer to Chapter 19.63 of the City of Whitewater Municipal Code of Ordinances, entitled PLAN REVIEW, for more information on the application.

Twenty complete sets of all plans should be submitted. All plans should be drawn to a scale of not less than 50 feet to the inch; represent actual existing and proposed site conditions in detail; and indicate the name, address, and phone number of the applicant, land owner, architect, engineer, landscape designer, contractor, or others responsible for preparation. It is often possible and desirable to include two or more of the above 8 plans on one map. The Zoning Administrator or Plan and Architectural Review Commission may request more information, or may reduce the submittal requirements. If any of the above 10 plans is not submitted, the applicant should provide a written explanation of why it is not submitted.

## SITE PLAN SUBMITTAL REQUIREMENTS

This checklist must be completed before making application for a City of Whitewater Zoning/Building Permit. If not complete, the application will be returned to the owner and will not proceed until all information and forms are complete.

Drawings must be legible and drawn to scale not less than 1/4" per foot unless noted.

Address of Project 204. W MAW WHITWATER  
 Zoning of Property B2

1. **Site Plan**, including the location and dimensions of all buildings, parking, loading, vehicle and pedestrian circulation, signs, walls, fences, other structures, outdoor storage areas, mechanicals, and dumpsters. Adjacent streets and uses and methods for screening parking, loading, storage, mechanical, and dumpster areas should be shown. Statistics on lot area, green space percentage, and housing density should be provided. The Plan Commission encourages compliance with its adopted parking lot curbing policy.
2. **Natural Features Inventory Map**, showing the existing limits of all water bodies, wetlands, floodplains, existing trees with trunks more than 4 inches in diameter, and any other exceptional natural resource features on all or part of the site.
3. **Landscape Plan**, prepared by a professional, and showing an overhead view of all proposed landscaping and existing landscaping to remain. The species, size at time of planting, and mature size should be indicated for all plantings. Areas to be left in green space should be clearly delineated. The Plan Commission encourages compliance with its adopted landscaping guidelines, available from the Zoning Department.
4. **Grading and drainage plan**, meeting the City's stormwater management ordinance if required. The plan should show existing and proposed surface elevations on the site at two foot intervals or less, and proposed stormwater management improvements, such as detention/retention facilities where required. Stormwater calculations may be required.
5. **Utilities plan**, showing locations and sizes of existing and proposed connections to sanitary sewer, water, and storm sewer lines, along with required easements. Sampling manholes may be required for sanitary sewer. The City's noise ordinance must be met.
6. **Building elevations**, showing the dimensions, colors, and materials used on all sides of the building. The Plan Commission encourages variety and creativity in building colors and architectural styles, while respecting the character of the surrounding neighborhood.
7. **Sign plan**, meeting the City's sign ordinance, and showing the location, height, dimensions, color, materials, lighting and copy area of all signage.
8. **Lighting plan**, meeting the City's lighting ordinance, and showing the location, height, type, orientation, and power of all proposed outdoor lighting—both on poles and on buildings. Cut sheets and photometric plans may be required for larger projects.

9. **Floor plan** which shows:

- A. The size and locations of:
- 1) Rooms;
  - 2) Doors;
  - 3) Windows;
  - 4) Structural features - size, height and thickness of wood, concrete and/or masonry construction;
  - 5) Exit passageways (hallways) and stairs (including all stair dimensions - riser height, tread width, headroom and handrail heights; stair width, etc.);
  - 6) Plumbing fixtures (bathroom, kitchen, etc.) - lavatory, water closet, water heater, softener, etc.;
  - 7) Chimney(s) - include also the type of construction (masonry or factory built);
  - 8) Heating equipment;
  - 9) Cooling equipment (central air conditioning, if provided);
  - 10) Attic and crawl space access; and
  - 11) Fire separation between dwelling and garage.
  - 12) Electrical service entrance/transformer location.

10. **Elevation drawings** which show:

- A. Information on exterior appearance (wood, stone, brick, block, colors);
- B. Indicate the location, size and configuration of doors, windows, roof chimneys and exterior grade level.
- C. Indicate color of Trim\_\_\_\_\_, Siding\_\_\_\_\_, Roofing\_\_\_\_\_.
- D. Electrical service entrance/transformer location.

11. **Type of Project:**

- A. Single family;
- B. Duplex;
- C. Multifamily # units \_\_\_\_\_;  
 Condominium # units \_\_\_\_\_;  
 Sorority # units \_\_\_\_\_;  
 Fraternity # units \_\_\_\_\_;
- D. Office/Store;
- E. Industrial;
- F. Parking lot # of stalls \_\_\_\_\_;
- G. Other;

City of Whitewater  
Application for ~~Plan Review~~ Conditional Use

**IDENTIFICATION AND INFORMATION ON APPLICANT(S):**

Applicant's Name: ROBERT A. SWEET  
 Applicant's Address: N7598 Larry's Rd  
Whitewater, WI 53190 Phone # \_\_\_\_\_

Owner of Site, according to current property tax records (as of the date of the application):  
Bob Sweet

Street address of property: 304 W. MAIN

Legal Description (Name of Subdivision, Block and Lot or other Legal Description):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Agent or Representative assisting in the Application (Engineer, Architect, Attorney, etc.)

Name of Individual: NA  
 Name of Firm: \_\_\_\_\_  
 Office Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_

Name of Contractor: \_\_\_\_\_

Has either the applicant or the owner had any variances issued to them, on any property? YES NO  
 If YES, please indicate the type of variance issued and indicate whether conditions have been complied with.

**EXISTING AND PROPOSED USES:**

Principal Use: RENTAL & RETAIL Current Land Use: \_\_\_\_\_

Accessory or Secondary Uses: \_\_\_\_\_

EXTEND LIQUOR LICENSE Proposed Use \_\_\_\_\_

No. of occupants proposed to be accommodated: \_\_\_\_\_

No. of employees: 17

Zoning District in which property is located: B2

Section of City Zoning Ordinance that identifies the proposed land use in the Zoning District in which the property is located: \_\_\_\_\_

PLANS TO ACCOMPANY APPLICATION

Applications for permits shall be accompanied by drawings of the proposed work, drawn to scale, showing, when necessary, floor plans, sections, elevations, structural details, computations and stress diagrams as the building official may require.

PLOT PLAN

When required by the building official, there shall be submitted a plot plan in a form and size designated by the building official for filing permanently with the permit record, drawn to scale, with all dimension figures, showing accurately the size and exact location of all proposed new construction and the relation to other existing or proposed buildings or structures on the same lot, and other buildings or structures on adjoining property within 15 feet of the property lines. In the case of demolition, the plot plan shall show the buildings or structures to be demolished and the buildings or structures on the same lot that are to remain.

STANDARDS

STANDARD	APPLICANT'S EXPLANATION
<p>A. The proposed structure, addition, alteration or use will meet the minimum standards of this title for the district in which it is located;</p>	<p>YES</p>
<p>B. The proposed development will be consistent with the adopted city master plan;</p>	<p>YES</p>
<p>C. The proposed development will be compatible with and preserve the important natural features of the site;</p>	<p>YES</p>
<p>D. The proposed use will not create a nuisance for neighboring uses, or unduly reduce the values of an adjoining property;</p>	<p>YES IT WILL NOT CREATE A NUISANCE</p>

STANDARD	APPLICANT'S EXPLANATION
E. The proposed development will not create traffic circulation or parking problems;	YES
F. The mass, volume, architectural features, materials and/or setback of proposed structures, additions or alterations will appear to be compatible with existing buildings in the immediate area;	YES
G. Landmark structures on the National Register of Historic Places will be recognized as products of their own time. Alterations which have no historical basis will not be permitted;	YES
H. The proposed structure, addition or alteration will not substantially reduce the availability of sunlight or solar access on adjoining properties.	YES



AGREEMENT OF SERVICES

REIMBURSABLE BY THE PETITIONER/APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission, Board of Zoning Appeals and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal. The City may apply the charges for these services to the Petitioner and/or property owner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner, but which are not paid, may be assigned by the City as a special assessment to the subject property. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the proposed application (Architectural Review, B.Z.A., Planning, Zoning Change):

Bob Sweet, the applicant/petitioner for  
(Owner's Name): Bob Sweet, dated: 7-14-10  
Phone # 262-50-3462, tax key #(s) \_\_\_\_\_

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g. filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Whitewater, in the judgement of its staff, to obtain additional professional service(s) (e.g. engineering, surveying, planning, legal) than normally would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 14 day of July, 2010

[Signature] (Signature of Applicant/Petitioner)  
Bob Sweet (Printed Name of Applicant/Petitioner)  
[Signature] (Signature of Owner of Property & Date Signed)  
\_\_\_\_\_  
(Printed Name of Owner of Property)

★ ★ THE ★  
**NANTUCKET**  
**POST CAP**

C-5a

Though not as Beautiful as our Redwood or Western Red Cedar Products, AZEK Offers an Array of Valuable Benefits!

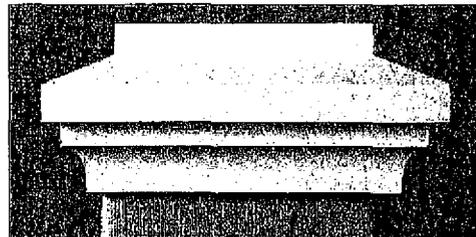
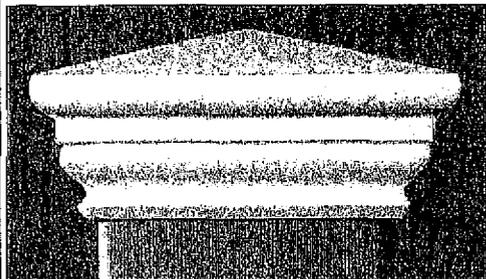
*The Benefits of...*

**AZEK Post Caps and Finials:**

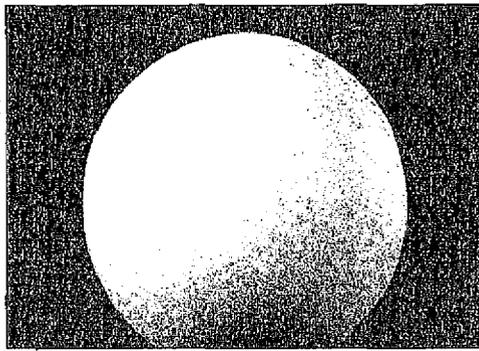
- Will Not Rot, Split, Twist or Warp
- Impervious to Insects and Moisture
- Looks & Feels Like White Painted Wood
- Accepts Paint Easily for a Custom Color



*Offers an Astounding  
25 Year Warranty  
on Material Defects!*

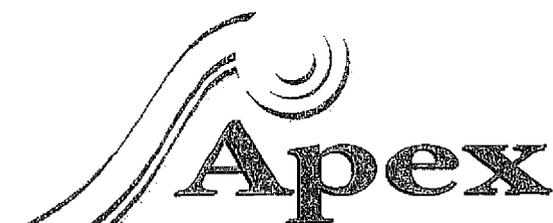


ITEM#	DESCRIPTION	RETAIL \$
FA312	Federal Post Cap, 3 1/2" x 3 1/2"	\$42.72
FA312512	Federal Post Cap, 3 1/2" x 5 1/2"	\$76.22
FA334	Federal Post Cap, 3 1/2" x 3 1/2"	\$46.12
FA4	Federal Post Cap, 4" x 4"	\$54.05
FA412	Federal Post Cap, 4 1/2" x 4 1/2"	\$56.78
FA434	Federal Post Cap, 4 1/2" x 4 1/2"	\$59.88
FA46	Federal Post Cap, 4" x 6"	\$87.89
FA5	Federal Post Cap, 5" x 5"	\$61.05
FA512	Federal Post Cap, 5 1/2" x 5 1/2"	\$61.83
FA534	Federal Post Cap, 5 1/2" x 5 1/2"	\$77.38
FA6	Federal Post Cap, 6" x 6"	\$91.00
FA612	Federal Post Cap, 6 1/2" x 6 1/2"	\$112.79
FA7	Federal Post Cap, 7" x 7"	\$132.22
FA712	Federal Post Cap, 7 1/2" x 7 1/2"	\$148.95
FA8	Federal Post Cap, 8" x 8"	\$190.57



ITEM#	DESCRIPTION	RETAIL \$
NFB4A	Ball Finial Cap, 4" x 4"	\$69.42
NFB5A	Federal Post Cap, 5" x 5"	\$97.20
NFB6A	Federal Post Cap, 6" x 6"	\$124.97

ITEM#	DESCRIPTION	RETAIL \$
IA312	Island Post Cap, 3 1/2" x 3 1/2"	\$42.72
IA312512	Island Post Cap, 3 1/2" x 5 1/2"	\$76.22
IA334	Island Post Cap, 3 1/2" x 3 1/2"	\$46.12
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IA8	Island Post Cap, 8" x 8"	\$190.57



*These Molded Polyurethane Finials can Transform an Ordinary Post or Pole into a Beautiful and Elegant Presentation for Any Style Home.*

- Available in 4 Styles
- Will Not Rot, Split or Chip
- Will Never Absorb Water
- No Maintenance

ACORN			GRAND PINEAPPLE			NEW ENGLAND			BALL TOP		
ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$
54-100	Acorn, 4" w x 9" h	\$38.49	56-100	11" Grand Pineapple	\$99.89	57-100	New England	\$53.40	55-100	Ball Top, 5" w x 6" h	\$38.39
54-110	Lg. Acorn	\$82.99	56-110	14" Grand Pineapple	\$113.35	57-120	Lg. New England	\$93.25	55-110	Ball Top, 6" w x 8" h	\$76.75
	6" w x 11" h			6" w x 14" h			6" w x 15" h		55-120	Ball Top, 7" w x 8" h	\$93.25
									55-130	Ball Top, 10" w x 13" h	\$189.90
									55-140	Ball Top, 12" w x 16" h	\$275.20

**WOOD FINIALS & CAPS**

NANTUCKET ACORN			NANTUCKET BALL			NANTUCKET QUALSE			CAP-55			ROMAN CAP		
ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$
NFA4C	Acorn, 4" Post	\$15.50	NFB4C	Ball, 4" Post	\$13.50	NFQ4C	Qualse, 4" Post	\$21.50	CAP55C	Cap 55	\$5.69	ROB412C	Roman Cap	\$4.99
	4 1/4" h x 3 1/2" w x 3 1/2" Base Dia.			3 1/2" h x 3 1/2" w x 2" Base Dia.			4 1/2" h x 3 1/2" w x 3 1/2" Base Dia.			5" w x 3 1/4" h, Cedar		ROB512C	Roman Cap	\$6.99
NFA5C	Acorn, 5" Post	\$19.00	NFB5C	Ball, 5" Post	\$17.00	NFQ5C	Qualse, 5" Post	\$28.50		5 1/2" w x 3 1/4" h, Cedar		ROB8C	Roman Cap	\$7.99
	5 1/4" h x 4 1/2" w x 4 1/2" Base Dia.			4" h x 4 1/4" w x 2 1/4" Base Dia.			6 1/2" h x 4 1/2" w x 4 1/2" Base Dia.			8" w x 3 1/4" h, Cedar				
NFA6C	Acorn, 6" Post	\$34.00	NFB6C	Ball, 6" Post	\$33.00	NFQ6C	Qualse, 6" Post	\$50.00						
	6 1/4" h x 5 1/4" w x 5 1/4" Base Dia.			5 1/4" h x 5 1/4" w x 3" Base Dia.			7 1/2" h x 5 1/4" w x 5 1/4" Base Dia.							

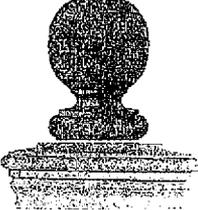
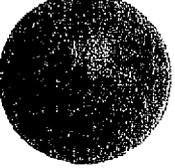
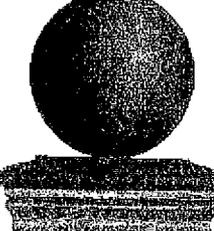
# JUMBO POST TOPS - UP TO 12" x 12"

C-5a

Over 2,500 Different POST CAP Possibilities! We Will CUSTOM MAKE Any Cap!

• Available in: Red Pine, Red Cedar, Redwood or Treated

A Number of Factors Contribute to the Quality of a Post Top, From the Selection of the Raw Materials to the Fine Hand Craftsmanship Found in Every HomeTops Post Cap which Makes Our Post Caps... Made the Old Fashion Way!

SMALL COLONIAL		LARGE COLONIAL		JUMBO COLONIAL		XL COLONIAL		ORTHODOX						
														
ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$			
DT9450C	Sm. Colonial w/Groves 3" <sup>1/2</sup> " w x 5" <sup>1/2</sup> " h, Cedar	\$9.94	DT9400C	Lg. Colonial w/Groves 4" <sup>1/2</sup> " w x 6" h, Cedar	\$22.79	DT60C	Jumbo Colonial w/o Groves, 5" w x 6" h, Cedar	\$27.36	DT75C	XL Colonial w/Groves 5" <sup>1/2</sup> " w x 6" h, Cedar	\$39.60	DT9700C	Orthodox 4" <sup>1/2</sup> " w x 6" <sup>1/2</sup> " h, Cedar	\$18.23
DT9450P	Sm. Colonial w/Groves 3" <sup>1/2</sup> " w x 5" <sup>1/2</sup> " h, Pine	\$7.99	DT9400P	Lg. Colonial w/Groves 4" <sup>1/2</sup> " w x 6" h, Pine	\$18.49	DT65C	Jumbo Colonial w/Groves, 5" w x 6" h, Cedar	\$27.36				DT9700P	Orthodox 4" <sup>1/2</sup> " w x 6" <sup>1/2</sup> " h, Pine	\$14.99
DT9455C	Sm. Colonial w/o Groves 3" <sup>1/2</sup> " w x 5" <sup>1/2</sup> " h, Cedar	\$9.94	DT9555C	Lg. Colonial w/o Groves 4" <sup>1/2</sup> " w x 6" h, Cedar	\$22.79							DT9700T	Orthodox 4" <sup>1/2</sup> " w x 6" <sup>1/2</sup> " h, Treated	\$18.23
ROSEDALE		CAPE BALL TOP		PINEAPPLE		BELL TOWER		FRENCH GOTHIC						
														
ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$			
DT4RD	Rosedale 3" w x 3" <sup>1/2</sup> " h, Treated	\$3.99	687825B	Cape Ball Top 3" w x 5" <sup>1/2</sup> " h, Cedar	\$5.99	DT88T	Pineapple 3" w x 6" h, Treated	\$6.99	DTBTC	Bell Tower 4" <sup>1/2</sup> " w x 7" h, Cedar	\$14.11	DT77C	French Gothic 4" w x 6" h, Cedar	\$9.88
CFG6	French Gothic 6" w x 8" h, Cedar	\$49.95												
ACORN		FLAME		MOSK		COLONIAL CLASSIC		XL CLASSIC						
														
ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$			
DT3000C	Acorn 3" <sup>1/2</sup> " w x 5" <sup>1/2</sup> " h, Cedar	\$11.14	DT8500C	Flame, 3" <sup>1/2</sup> " w x 6" <sup>1/2</sup> " h Cedar	\$8.99	DT9800C	Mosk, 3" <sup>1/2</sup> " w x 6" <sup>1/2</sup> " h Cedar	\$9.83	DTCC	Colonial Classic 6" Post, Cedar	\$39.93	DTXLC	XL Classic 6" Post, Cedar	\$51.30
			DT8500P	Flame, 3" <sup>1/2</sup> " w x 6" <sup>1/2</sup> " h Pine	\$6.99	DT9800P	Mosk, 3" <sup>1/2</sup> " w x 6" <sup>1/2</sup> " h Pine	\$6.99						
			DT8500T	Flame, 3" <sup>1/2</sup> " w x 6" <sup>1/2</sup> " h Treated	\$7.99	DT9800T	Mosk, 3" <sup>1/2</sup> " w x 6" <sup>1/2</sup> " h Treated	\$9.83						
SPHERE		ACORN FINIAL		URN FINIAL		SPHERE FINIAL		SPHERE CLASSIC						
														
ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$			
RB3000	3" Sphere, Birch	\$8.49	FIO24SC	Acorn Finial, 4" Post 6" h x 3" <sup>1/2</sup> " w, Spanish Cedar	\$42.85	FIO34SC	Urn Finial, 4" Post 8" h x 3" <sup>1/2</sup> " w, Spanish Cedar	\$61.34	FIO44SC	Sphere Finial, 4" Post 4" <sup>1/2</sup> " h x 3" <sup>1/2</sup> " w, Spanish Cedar	\$42.85	DTSC	Sphere Classic 6" x 6" Post, Cedar	\$112.82
DT4SP	4" Sphere, Spanish Cedar	\$38.60	FIO25SC	Acorn Finial, 5" Post 8" h x 4" <sup>1/2</sup> " w, Spanish Cedar	\$92.38	FIO35SC	Urn Finial, 5" Post 9" <sup>1/2</sup> " h x 4" <sup>1/2</sup> " w, Spanish Cedar	\$125.88	FIO45SC	Sphere Finial, 5" Post 6" h x 4" <sup>1/2</sup> " w, Spanish Cedar	\$81.40			
DT5SP	5" Sphere, Spanish Cedar	\$74.80	FIO26SC	Acorn Finial, 6" Post 9" <sup>1/2</sup> " h x 5" <sup>1/2</sup> " w, Spanish Cedar	\$147.10	FIO36SC	Urn Finial, 6" Post 12" h x 5" <sup>1/2</sup> " w, Spanish Cedar	\$184.38	FIO46SC	Sphere Finial, 6" Post 7" <sup>1/2</sup> " h x 5" <sup>1/2</sup> " w, Spanish Cedar	\$118.54			
DT6SP	6" Sphere, Spanish Cedar	\$109.40	FIO28SC	Acorn Finial, 8" Post 13" h x 7" <sup>1/2</sup> " w, Spanish Cedar	\$248.35	FIO38SC	Urn Finial, 8" Post 15" <sup>1/2</sup> " h x 7" <sup>1/2</sup> " w, Spanish Cedar	\$381.44	FIO48SC	Sphere Finial, 8" Post 9" <sup>1/2</sup> " h x 7" <sup>1/2</sup> " w, Spanish Cedar	\$218.50			
DT8SP	8" Sphere, Spanish Cedar	\$239.20												
FANCY ACORN		LARGE PINEAPPLE		6" PINEAPPLE		6" PINEAPPLE W/RINGS		FANCY PINEAPPLE						
														
ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$	ITEM#	DESCRIPTION	RETAIL \$			
RNA47	6" Fancy Acorn 4" w x 6" h, Mahogany	\$48.30	RNP47	Lg. Pineapple 4" w x 7" h, Mahogany	\$48.30	CFP6	Pineapple 5" <sup>1/2</sup> " w x 8" <sup>1/2</sup> " h, Cedar	\$49.95	CPR6	Pineapple w/Rings 5" <sup>1/2</sup> " w x 8" <sup>1/2</sup> " h, Cedar	\$33.99	RNFP46	4" Fancy Pineapple 4" w x 6" h, Mahogany	\$98.54
RNA58	8" Fancy Acorn 5" w x 8" h, Mahogany	\$77.40	RNP57	Lg. Pineapple 5" w x 7" h, Mahogany	\$77.40							RNFP58	5" Fancy Pineapple 5" w x 8" h, Mahogany	\$155.67
RNA610	10" Fancy Acorn 6" w x 10" h, Mahogany	\$128.65	RNP68	Lg. Pineapple 6" w x 8" h, Mahogany	\$128.65									
RNA813	13" Fancy Acorn 8" w x 13" h, Mahogany	\$239.00	RNP811	Lg. Pineapple 8" w x 11" h, Mahogany	\$239.00									

C-50



A C. Steel-Frame Outdoor Furniture

Mix and match to create your own outdoor collection with these sturdy steel-frame pieces. Each has a tough, powdercoated finish of shiny dark bronze; sling fabric is tan, strong, all-weather Textilene. The tables are topped with water-wave glass.

40" Round Glass-Top Dining Table  
T 107 545 1

Sling Stacking Chair  
T 107 541 B19

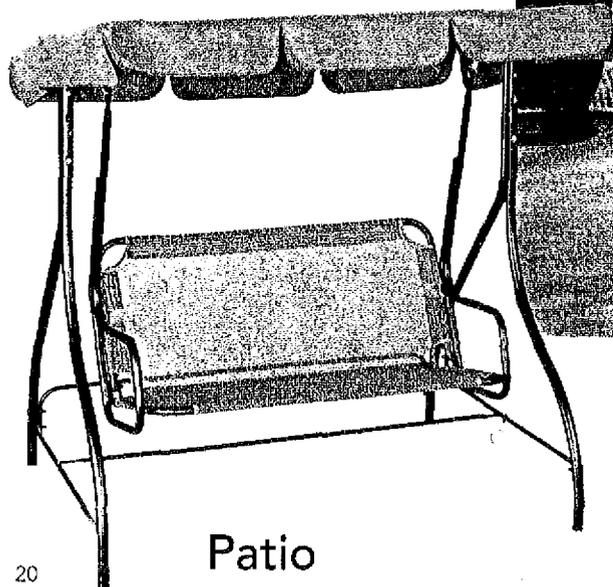
7½" Tilt Market Umbrella  
T 108 096 1

Umbrella Base T 108 063 1

Stacking Sling Bar Stool  
T 107 542 4

30" Square Glass-Top High Bar  
T 107 543 1

2-Seat Sling Swing  
T 818 995 1



Not shown:  
4-Position Sling Lounge Chair  
T 107 547 4

Sling Folding Chair  
T 119 811 B6

24" x 22" Bistro Glass-Top Table  
T 108 242 1

16" Square Stacking Glass-Top  
Side Table T 107 546 B10

Patio

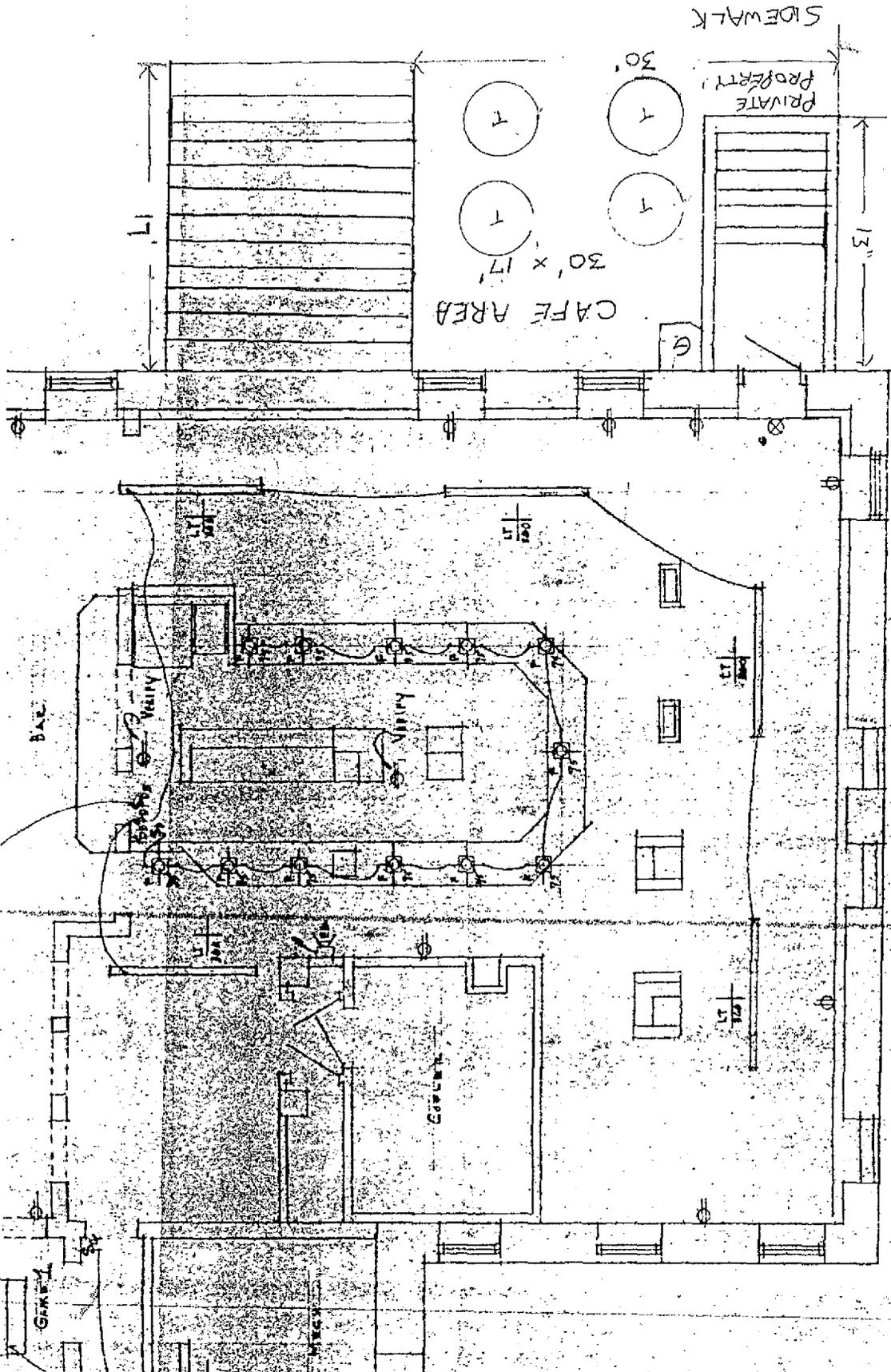
C-5a

8139-563-6318

TREE



TRASH



# Electrical Plan

Scale 3/16" = 1'-0"

**WISCONSIN ALCOHOL BEVERAGE LICENSE APPLICATION**

to municipal clerk. Read instructions on reverse side.

The license period beginning: July 1-10 ending: June 30-10  
(MM DD YYYY) (MM DD YYYY)

TO THE GOVERNING BODY of the:

Town of  
 Village of  
 City of } Whitewater

County of Walworth Aldermanic Dist. No. \_\_\_\_\_ (if required by ordinance)

CHECK ONE  Individual  Partnership  Limited Liability Company  
 Corporation/Nonprofit Organization

Applicant's Wisconsin Seller's Permit Number	
Federal Employer Identification Number (FEIN)	
<b>LICENSE REQUESTED</b>	
<input type="checkbox"/> Class A beer	\$
<input type="checkbox"/> Class B beer	\$
<input type="checkbox"/> Wholesale beer	\$
<input type="checkbox"/> Class C wine	\$
<input type="checkbox"/> Class A liquor	\$
<input type="checkbox"/> Class B liquor	\$
<input type="checkbox"/> Reserve Class B liquor	\$
Publication fee	\$
<b>TOTAL FEE</b>	\$

Complete A or B. All must complete C.

A. Individual or Partnership:

Full Name(s) (Last, First and Middle Name) Home Address Post Office & Zip Code  
Dennis G. Salverson N7825 Hwy P Whitewater

B. Full Name of Corporation/Nonprofit Organization/Limited Liability Company

Address of Corporation/Limited Liability Company (if different from licensed premises)

All Officer(s) Director(s) and Agent of Corporation and Members/Managers and Agent of Limited Liability Company:

Title Name (Inc. Middle Name) Home Address Post Office & Zip Code

President/Member Dennis G. Salverson N7825 Hwy P Whitewater

Vice President/Member \_\_\_\_\_

Secretary/Member \_\_\_\_\_

Treasurer/Member \_\_\_\_\_

Agent Dennis G. Salverson N7825 Hwy P Whitewater, 53190

Directors/Managers \_\_\_\_\_

C. 1. Trade Name Salvo's Coyote Grill Business Phone Number 1-262-472-0510

2. Address of Premises 132 W. Center ST. Post Office & Zip Code Whitewater, 5319

3. Does the applicant understand that they must purchase alcohol beverages only from Wisconsin wholesalers?  Yes  No

4. Premises description: Describe building or buildings where alcohol beverages are to be sold and stored. The applicant must include all rooms including living quarters, if used, for the sales, service, and/or storage of alcohol beverages and records. (Alcohol beverages may be sold and stored only on the premises described.) 132-134 W. Center ST.

5. Legal description (omit if street address is given above): \_\_\_\_\_

6. a. Since filing of the last application, has the named licensee, any member of a partnership licensee, or any member, officer, director, manager or agent for either a limited liability company licensee, corporation licensee, or nonprofit organization licensee been convicted of any offenses (excluding traffic offenses not related to alcohol) for violation of any federal laws, any Wisconsin laws, any laws of other states, or ordinances of any county or municipality? If yes, complete reverse side  Yes  No

b. Are charges for any offenses presently pending (excluding traffic offenses not related to alcohol) against the named licensee or any other persons affiliated with this license? If yes, explain fully on reverse side  Yes  No

7. Except for questions 6a and 6b, have there been any changes in the answers to the questions as submitted by you on your last application for this license? If yes, explain.  Yes  No

8. Was the profit or loss from the sale of alcohol beverages for the previous year reported on the Wisconsin Income or Franchise Tax return of the licensee? If not, explain.  Yes  No

9. Does the applicant understand a Wisconsin Seller's Permit must be applied for and issued in the same name as that shown under Section A or B above? [phone (608) 266-2776]  Yes  No

10. Does the applicant understand that alcohol beverage invoices must be kept at the licensed premises for 2 years from the date of invoice and made available for inspection by law enforcement?  Yes  No

11. Is the applicant indebted to any wholesaler beyond 15 days for beer or 30 days for liquor?  Yes  No

READ CAREFULLY BEFORE SIGNING: Under penalty provided by law, the applicant states that each of the above questions has been truthfully answered to the best of the knowledge of the signers. Signers agree to operate this business according to law and that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another. (Individual applicants and each member of a partnership applicant must sign; corporate officer(s), members/managers of Limited Liability Companies must sign.)

SUBSCRIBED AND SWORN TO BEFORE ME

this 27th day of April, 2010

Deborah M. Helge  
(Clerk/Notary Public)

Dennis G. Salverson  
(Officer of Corporation/Member/Manager of Limited Liability Company/Partner/Individual)

My commission expires 1/2013

(Officer of Corporation/Member/Manager of Limited Liability Company/Partner)

(Additional Partner(s)/Member/Manager of Limited Liability Company if Any)

TO BE COMPLETED BY CLERK

Date received and filed with municipal clerk	Date reported to council/board	Date license granted
License number issued	Date license issued	Signature of Clerk / Deputy Clerk

TO P.D. 4/28/10 DH

**APPLICATION FOR SIDEWALK CAFÉ PERMIT**

PERMIT VALID FROM JULY 1<sup>ST</sup> – JUNE 30<sup>TH</sup>

APPLICATION IS HEREBY MADE FOR A REVOCABLE SIDEWALK CAFÉ PERMIT  
TO OPERATE A SIDEWALK CAFÉ IN ACCORDANCE WITH CHAPTER 5.19  
OF THE CITY OF WHITEWATER, WI CODE OF ORDINANCES

**BUSINESS INFORMATION**

**Permit #** \_\_\_\_\_

Business Name: Coyote Grill

Company Name: Coyote Grill LLC

Business Address: 132 W. Center ST. WW, WI, 53190  
Street City State Zip

Mailing Address: same  
Street City State Zip

Business Phone: 262-472-0510 Current Zoning Classification: ?

**APPLICANT INFORMATION**

Name: Dennis G. Salverson Title: OWNER - Single member  
First Middle Last

Home Address: N7825 Hwy P Whitewater, WI 53190  
Street City State Zip

Phone: 262-473-2846 E-Mail: salvo1@idcell phone 920-728-2998  
net.com

**DIRECTIONS**

Bring the following to the Department of Public Works window located on the second floor of the Whitewater Municipal Center on 312 W. Whitewater Street, Whitewater, WI 53190:

- Completion of Application for Sidewalk Café Permit
- Site Plan Layout (to be reviewed by Neighborhood Services and Police Department).
- Description of items to be placed outside (standards are on next page)
- Copy of a current certificate of commercial liability insurance in the amount of at least \$100,000 per occurrence. Original Certificate of Comprehensive General Liability Insurance for at least \$100,000 which names the City of Whitewater as additional insured and covered area includes the sidewalk café
- X  A copy of applicable valid Wisconsin Seller's Permit
- X  A copy of applicable valid Alcohol Beverage License (only if alcohol is to be served)

**BASIC INFORMATION**

DO FOOD SALES GENERATE MORE THAN 30% GROSS RECEIPTS?

Yes       No

\*\* WILL YOU BE SERVING ALCOHOLIC BEVERAGES?

Yes       No

*\*\* If you answered "Yes" you will have to change your Alcohol Beverage License to include the sidewalk café. Please contact the City Clerk to make the necessary arrangements before Alcoholic Beverages can be sold .*

**SITE PLAN LAYOUT SPECIFICATIONS**

- Must be to scale
- Must be on 8-1/2" X 11" paper
- Must depict existing sidewalk area and adjacent private property
- Must depict proposed sidewalk café with placement of:
  - chairs X
  - tables O
  - planters
  - umbrellas
  - other items to be placed in sidewalk café
- Must depict existing trees, doorways, steps, parking meters, sidewalk benches, trash receptacles, light poles and any other sidewalk obstructions
- Must show 4 feet of unobstructed sidewalk for public use

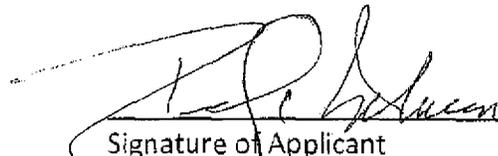
**DESCRIPTION OF PLACED ITEMS OUTSIDE**

- Must have picture or description of all proposed
  - tables O
  - chairs X
  - umbrellas
  - barriers ( fencing , planters )
  - all other objects to be placed on sidewalk
- Description or picture must be accompanied by dimensions

### APPLICATION FOR A SIDEWALK CAFÉ PERMIT

In specific consideration for the City granting a sidewalk café permit to the applicant named below, the permit holder shall pay, indemnify and hold harmless the City and their respective agents, guests, invitees and employees from all suits, actions, claims, demands, damages, losses and other reasonable expenses and cost of every kind and description including attorney's fees to which the City, or its officers, agents or employees may be subject to as a result of the grant of this permit.

I hereby state that I have answered all of the preceding questions and that the information contained herein is true and correct to the best of my knowledge and belief. In addition, that I have read, understand and will comply with Chapter 5.19, Sidewalk Café Permit, and all other applicable laws.

  
Signature of Applicant  
30 June 2010  
Date  
Dennis G. Salverson  
Print Name

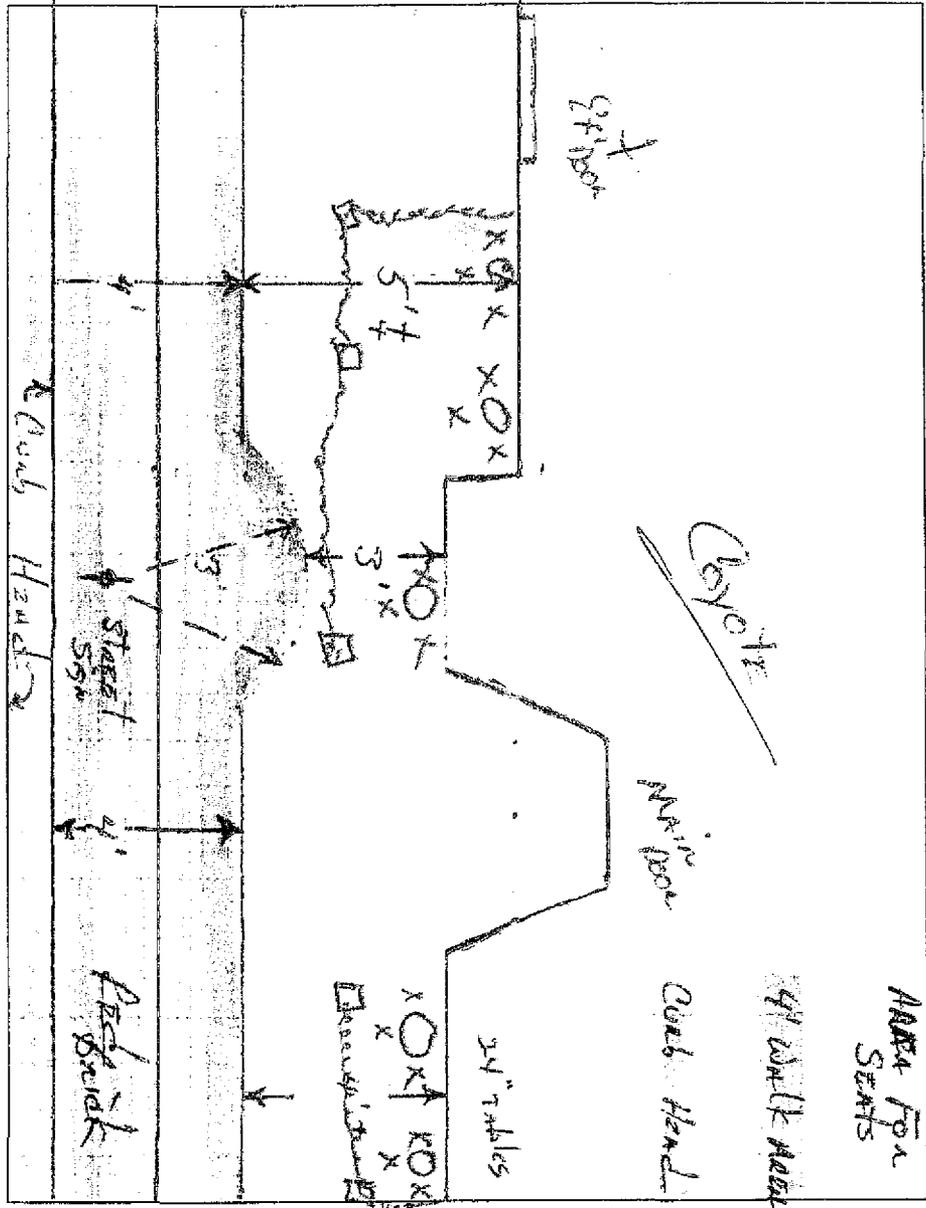
<b>OFFICIAL USE ONLY</b>
To be filled out by City Clerk / City Council . Date ____ (circle one) Approved    Disapproved
Comments: _____ _____
To be filled out by Police Department . Date ____ (circle one) Approved    Disapproved
_____
To be filled out by Neighborhood Services Director (circle one) Approved    Disapproved
Date _____
Conditions/Restrictions/Reason for Denial: _____ _____ _____



SOUTHWESTERN WISCONSIN

BUILDING INSPECTORS ASSOCIATION

www.swwbia.org



AN ORGANIZATION OF INSPECTION OFFICIALS FROM EIGHTEEN WI COUNTIES

DEDICATED TO THE ADVANCEMENT OF THE BUILDING INSPECTION PROFESSION

\* C-5b

## MEMORANDUM

To: Kevin Brunner, City Manager  
Fr: Dean Fischer, Director of Public Works  
Date: July 26, 2010



**Subject: Approval of Strand Associate Contract  
Update Stormwater SLAMM Modeling and  
Management Plan**

Attached please find a letter from DNR's Maureen McBroom directing the City to update the SLAMM modeling based on some DNR review comments and changes to the modeling assumptions approved by DNR. The SLAMM modeling is to be submitted to the DNR by March 31, 2011.

Since the 2008 Stormwater Management plan has been received, staff has determined that a few of the sites identified in the plan for detention ponds are not feasible. In order to meet NR 151 code requirements of 40% TSS removal, the City will need to find other sites for detention ponds or areas the TSS removal can be accomplished by mechanical means.

Attached you find Strand Associate's proposal to provide stormwater services for a not to exceed fee of \$16,900 that will meet the items noted above.

Additionally, Strand will investigate or evaluate a joint opportunity that the City and University can pursue for possible TSS removal. The University must also meet 40% TSS removal as a stormwater permittee. The University's two main storm sewers are located at the north and south boundaries of Starin Park.

The funding for this contracted work will be from the Stormwater Utility.

DPW is recommending the Council approve the Strand Associate proposal for the not to exceed fee of \$16,900.

Please place this on the Council's August 3 agenda for consideration.

Thank you.

C: Project File



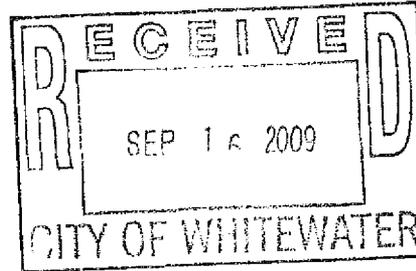
State of Wisconsin \ DEPARTMENT OF NATURAL RESOURCES

Jim Doyle, Governor  
 Matthew J. Frank, Secretary  
 Gloria L. McCutcheon, Regional Director

Waukesha Service Center  
 141 NW Barstow St  
 Waukesha, Wisconsin 53188  
 Telephone 262-574-2100  
 TTY Access via relay - 711

September 14, 2009

Dean Fischer, Director of Public Works  
 City of Whitewater  
 P.O. Box 178  
 Whitewater, WI 53190



Subject: WPDES Permit No. WI-S050075-1 Municipal Stormwater Discharge Permit  
 Section 2.7.3 - Assessment of Compliance with s. NR 151.13(2)  
 MS4 Pollutant-Loading Analysis Review

Dear Mr. Fischer:

Department of Natural Resources (Department) staff has reviewed the City of Whitewater's pollutant-loading analysis received on June 1, 2008. This evaluation is required under the City's Municipal Stormwater Discharge Permit. The modeling results compiled by the City Engineer, Strand Associates, Inc., showed the City is achieving a 17.8% reduction in the annual average mass of total suspended solids (TSS) being discharged to local wetlands, streams and lakes.

The Department acknowledges that the methodology used to compile the City's modeling results are acceptable for assessing compliance with the 20% TSS reduction standard. However, further supporting information and modifications to the pollutant-loading analysis will be necessary to fairly evaluate the Village's reported TSS removal efficiency for assessing compliance with the 40% TSS reduction standard (by March 10, 2013.)

Department staff have reviewed the Village's modeling results using the available June 6, 2005 Municipal Separate Storm Sewer System (MS4) modeling guidance for developed urban areas and the April 24, 2008 guidance for assessing and modeling grass swales for storm water treatment.

The following information is requested regarding the modeling assumptions and input parameters:

- The modeling appears to include some wet detention and dry detention basins that are privately owned facilities. The guidance specifies that only structural controls owned and operated by the municipality should be included. However, please be aware that the City can establish maintenance agreements with the private owners to establish long-term maintenance authority for the privately owned facilities. Documentation of the signed agreements must be provided to the Department to continue receiving TSS removal credit for those structural controls not owned by the City.
- Supporting documentation for the process used to identify water quality swales within the City's MS4 used for treatment. In the absence of survey data, the documentation must include the desktop evaluation and field survey results used to identify the five minimum representative swale locations as outlined in Step 1 of the April 24, 2008 guidance. This process is used to extrapolate infiltration rates, typical swale geometry, and swale longitudinal slopes used throughout the entire urbanized area. The typical swale geometry measured at each of the 5 representative swale locations must be used to model swales in the City. Using the "wetted swale width" is not acceptable as it assumes a constant flow independent of the

actual runoff flows and depths in the treatment swale. Swales that were modeled using the wetted swale width must be rerun using with the typical swale geometry.

- Confirmation that swales with visual evidence of scouring were not included in the model.
- Per the April 24, 2008 guidance, swales with a longitudinal slope less than 1 percent and have visual evidence of a significant duration of ponded water must be modeled assuming an infiltration rate for clay soils. Please verify that a windshield survey was completed of the grass swales included in the model.
- It appears that grass swales have been modeled in commercial and industrial areas. The guidance specifies that swales in commercial or industrial areas must either have adequate pretreatment or an assumed infiltration rate of zero must be used. If zero infiltration is not assumed in the swales, then please provide either of the following information:
  1. A field measured infiltration rate of the representative swale location in the industrial and commercial areas. The guidance specifies that a measured infiltration rate can be used in the model. The field measurement must be taken using a scientifically credible field test method. The field measurement must be halved to represent the dynamic infiltration rate. Please refer to the errata to swale guidance dated August 2008 for a modified ASTM testing procedure.
  - Or
  2. Documentation to show that adequate pretreatment can be achieved by satisfying the in-swale pretreatment equation provided in the WDNR Vegetated Swale Technical Standard 1005. The minimum swale pretreatment length must be 200'. The length of swale used for pretreatment calculated from the equation must then be subtracted from the total swale length used in the model.
- SLAMM versions 9.3 and later improve the performance of grass swales by adding a filtration component. Only the runoff volume infiltrated is considered for TSS removal in previous versions. The City could potentially see increased TSS removal rates in the swales modeled if using a newer version of SLAMM. TSS reductions through filtration are achieved by entering the retardance factor and height of the vegetation established in the swale. These parameters are typically entered as 'C' and a grass height of 4 inches in urban environments.

The following adjustments to the model are suggested or required:

- There are a few areas modeled where multiple practices are implemented in the same drainage area. This results in "double crediting" of treatment devices because SLAMM does not track particle size removal for practices in series. Each time the runoff enters a consecutive treatment device, the model assumes a "fresh" NURP.cpz particle size distribution curve for the sediment in the runoff. This creates an overestimation of the performance of the treatment practices, because the larger particles readily settle out for each practice, i.e. removing 100% of the 50 micron particle will result in at least an 84% TSS removal, leaving only 16% of possible TSS credit for the downstream devices. For example, WC-39 employs street sweeping, grass swales, and a dry detention basin in the same drainage area. Please reevaluate the drainage areas where multiple practices are being implemented. Either the performance of the drainage system controls (grass swales and street sweeping) can be ignored altogether or a modified .cpz particle size distribution can be created from the results of the first practice and then routed through the second practice. The total annual pollutants removed will be the sum of the two model runs. Please note that practices in series can be modeled using a combination of P8 and SLAMM. Using the SLAMM to generate the initial pollutant loads, but P8 to track the particle size removal between practices.

- In relation to the previous comment, no credit can be received for street sweeping in drainage areas served by swales. If there is a condition where the street area is served by curb and gutter and the developed lots are served by swales, then the street area and the lot areas must be modeled in separate drainage basins. The April 24, 2008 guidance specifies that drainage basins with a combination of swales and storm sewer should be subdivided by conveyance system type and modeled separately.
- The initial stage elevation entered for the wet detention basins must be set at the lowest invert elevation of the control structure.
- The correct input parameters for the wet detention basins modeled using the "other control" device must be entered into SLAMM to measure the true performance of the basins. Please input the correct stage-storage data as well as the outlet structure parameters for each of these 6 basins.
- The current approach for modeling dry ponds in SLAMM as broad swales is unacceptable. Please note that modeling dry detention basins as swales using the "wetted swale width" parameter overpredicts the performance of the facility to remove TSS. In versions of SLAMM older than v.9.3, wet detention basins could not be modeled with a permanent pool depth less than 3 feet. SLAMM v. 9.3 allows the user to enter the outlet structure invert elevations less than 3 feet, but this significantly reduces the level of TSS removal due to scour and resuspension in the basin.
- The City could receive higher TSS reductions for their street sweeping program if specific street cleaning dates were entered into SLAMM instead of the standard street cleaning frequencies. SLAMM takes all of the pollutants generated during the "winter season range" period and dumps them on the streets at the end of the range (March 12<sup>th</sup> for the Madison 5 year rainfall file). If the first cleaning date is defined for only a short time after the end of the "winter season range," then there will be the largest amount of pollutants accumulated in the curb to pick up before runoff events begin washing the pollutants into the storm sewer. Since the City has specified the street cleaning frequency as monthly for commercial and industrial areas and bimonthly for residential areas, the City could potentially see a 6% increase in street sweeping efficiency for the residential areas and a 9% increase for the commercial and industrial areas. This approach best simulates the typical condition where streets are swept based on visual observation in early spring.

A model rerun should be completed and the results submitted to the Department for review by March 31, 2011, showing the modifications listed above. The additional requested information should also be submitted by that time. This timeframe should provide the City with adequate planning time to develop a strategy for implementing storm water management practices to begin closing the gap between the TSS removal efficiency reported in the revised modeling results and the 40% TSS removal standard. Once the rerun is completed, it is recommended to compare the results with the City's submitted storm water management plan and make adjustments to the City's strategy as necessary.

Please provide an update to the modeling report in the next Annual Report, due March 31, 2010, showing at least a 20% TSS reduction or detailing a plan to reach 20%. If you have any questions regarding the details of this letter or the municipal storm water permit in general, then please feel free to call me at (262)574-2126. Thank you for your time and cooperation in implementing this program in your community.

Sincerely,



Maureen McBroom  
Water Resources Specialist



910 West Wingra Drive  
Madison, WI 53715  
Phone: 608-251-4843  
Fax: 608-251-8655

**Office Locations**

Madison, WI  
Joliet, IL  
Louisville, KY  
Lexington, KY  
Mobile, AL  
Columbus, IN  
Columbus, OH  
Indianapolis, IN  
Milwaukee, WI  
Cincinnati, OH  
Phoenix, AZ

[www.strand.com](http://www.strand.com)

July 28, 2010

Mr. Dean Fischer, DPW  
City of Whitewater  
312 West Whitewater Street  
Whitewater, WI 53190

Re: City of Whitewater – SLAMM Modeling Compliance Updates

Dear Dean,

Thank you for the opportunity to submit this proposal to the City of Whitewater. As requested, we are submitting a list of tasks and associated costs to update the June 2008 Stormwater Management Plan prepared by Strand Associates, Inc.<sup>®</sup> for the City of Whitewater.

**Proposed Scope of Services**

The following tasks will address comments provided in the September 14, 2009, Wisconsin Department of Natural Resources (WDNR) review letter. At your request, we will prepare an agreement that includes an updated Scope of Services that will reflect comments you might have following review of this proposal.

- **Update the SLAMM model based on current WDNR guidance and model requirements and update the model to address comments received from WDNR on September 14, 2009.**
- **Update plan for new developments and ponds since the 2008 plan.**
- **Re-evaluate up to six previously considered sites for Best Management Practices (BMPs) to address pollutant loadings.**
- **Facilitate a kickoff meeting and a draft review meeting.**
- **Prepare a Stormwater Management Plan Update letter.**

**Proposed Fee**

The not-to-exceed fee for the Scope of Services described above is \$16,900.



\*C-6

Mr. Dean Fischer, DPW  
Page 2  
July 28, 2010

**Proposed Schedule**

The schedule for this project is flexible to meet your needs. At this time, we anticipate beginning work in August 2010 and finalizing in December 2010. This should provide ample time to submit the update to WDNR prior to the deadline of March 31, 2011, and address comments.

If you have questions regarding this proposal, please contact me at your convenience.

Sincerely,

STRAND ASSOCIATES, INC.®

Andrew P. Luchman, P.E.

9901-972/AL:tk

## MEMORANDUM

To: Kevin Brunner, City Manager  
Fr: Dean Fischer, Director of Public Works  
Date: July 26, 2010



**Subject: Approval of Specifications and Authorization to Bid  
City Garage Complex Building**

The Starin Road extension requires the removal of a 40' x 80' storage building at the City Garage complex.

Attached are specifications for the construction of a new 40' x 80' which includes the concrete foundation.

The building will be wood frame with steel siding and roof panels. The building will include 2 service doors and 1 overhead garage door. Building does not include any heat or ventilation systems as this building will be a cold storage building. City crews will install the electrical service to provide lights for the building.

The replacement building project will be advertised for two weeks upon authorization by the Council. The bids and request to award the project will be brought back to the Council on Sept. 7.

Please place this item on the Council's August 3 agenda for consideration.

Thank you.

C: Chuck Nass, Supt.  
Project File

City of Whitewater

PRE-ENGINEERED BUILDING SYSTEMS SPECIFICATIONS

PART 1 GENERAL

.1 SECTION INCLUDES

- A. Provide pre-engineered building systems, including but not limited to primary and secondary structural framing systems, roofing, siding, roof and wall insulation, personnel doors, windows and accessories:
  - 1. Uni-Frame II, clear span truss and above grade columns on concrete foundation.
  
- B. Section - Earthwork: Building pad preparation. Price as an Alternate.
  - 1. Strip topsoil and sub soil as needed – Place a 6" gravel base for concrete monolithic grade beam foundation (floating slab) – All necessary back filling and grading for proper drainage to be included. Top soil (4" minimum). Seeding and mulch by City.
  
- C. Cast-in-Place Concrete: Foundations and floor slab.
  - 1. 40' x 80' Monolithic Grade beam foundation (floating slab) to building design specifications – 6" thick concrete floor – 4,000 psi concrete – Min. 6 mil plastic under concrete - Wire mesh reinforcing 6"x6"/W2.9 x W2.9 WWM – Saw Cut & seal slab - 5'x5' concrete approach at all entrance doors.

.2 REFERENCES

- A. ASTM International:
  - 1. ASTM A153 - Standard Specification for Zinc Coating (Hot-Dip) on Iron and Steel Hardware.
  - 2. ASTM A653 - Standard Specification for Steel Sheet, Zinc-Coated (Galvanized) or Zinc-Iron Alloy-Coated (Galvannealed) by the Hot-Dip Process.
  - 3. ASTM C90 - Standard Specification for Loadbearing Concrete Masonry Units.
  - 4. ASTM C523 - Method of Test for Light Reflectance of Acoustical Materials by the Integrating Sphere Reflectometer.
  - 5. ASTM C665 - Standard Specification for Mineral-Fiber Blanket Thermal Insulation for Light Frame Construction and Manufactured Housing.
  - 6. ASTM C991 - Standard Specification for Flexible Glass Fiber Insulation for Metal Buildings.
  - 7. ASTM C1036 - Standard Specification for Flat Glass.
  - 8. ASTM C1048 - Standard Specification for Heat-Treated Flat Glass—Kind HS, Kind FT Coated and Uncoated Glass.
  - 9. ASTM D523 - Standard Test Method for Specular Gloss.
  - 10. ASTM D3363 - Standard Test Method for Film Hardness by Pencil Test.
  - 11. ASTM D3462 - Standard Specification for Asphalt Shingles Made from Glass Felt and Surfaced with Mineral Granules.

12. ASTM D3841 - Standard Specification for Glass-Fiber-Reinforced Polyester Plastic Panels.
13. ASTM D4145 - Standard Test Method for Coating Flexibility of Prepainted Sheet.
14. ASTM E84 - Standard Test Method for Surface Burning Characteristics of Building Materials.
15. ASTM E96 - Standard Test Methods for Water Vapor Transmission of Materials.

### 3 SYSTEM DESCRIPTION

#### A. Structural Frame Design:

1. Design shall be based on the building framing and enclosure.
  - a. Type: Clear span roof truss.
  - b. Columns: Bolt to foundation.
  - c. Purlins: Recessed between trusses in galvanized steel joist hangers.

#### B. Dimensions:

1. Width: 40 feet 0 inches, outside to outside of primary or secondary wall framing.
2. Length: 80 feet 1 1/2 inches, outside to outside of primary or secondary wall framing.
3. Height: 13 feet 6 inches, clearance from top of floor to underside of truss or rafter.
4. Roof Slope: 4:12 (units of rise per 12 units of run).
5. Ceiling Slope: 0:12 (units of rise per 12 units of run).

#### C. Structural Requirements:

1. Building Code: International building Code (IBC) and ASCE-7, current edition.
2. Design Loads:
  - a. Ground Snow Load: 30 psf
  - b. Roof Load, Live load: 24 psf
  - c. Roof Dead Load: 4 psf
  - d. Ceiling Dead Load: 5 psf
  - e. Wind Load: Wind speed (3 sec gust): 90 mph
  - f. Seismic Load: \_\_\_\_\_
  - g. Seismic Zone: \_\_\_\_\_
  - h. Collateral Loads: Additional loads imposed by contract documents other than weight of building systems specified in this section.
  - i. Combination Loads: Comply with Building Code.
3. Structural Design:
  - a. Perform calculations using diaphragm and/or frame analysis. Incorporate bracing as required.
  - b. Comply with AF&PA "National Design Specification for Wood Construction (NDS)."
  - c. Trusses:
    - 1) Comply with appropriate NDS and Truss Plate Institute (TPI) standards.
  - d. Metal Wall and Roof Panels:
    - 1) Design in accordance with AISI "Specifications for the Design of Light-Gauge, Cold-Formed Steel Structural Members" and in accordance with sound engineering methods and practices.
  - e. Plywood or Oriented Strand Board Sheathing: Comply with APA "Plywood Design Specification."
  - f. Expansion/Contraction Provisions: Design roof attachment system to allow for expansion and contraction of metal roofing, due to seasonal

temperature variations, without detrimental effect to the roof panels.

.4 SUBMITTALS

- A. Submit under provisions of Section 01300.
- B. Product Data: Manufacturer's data sheets on each product to be used, including:
  - 1. Manufacturer's specifications and installation instructions for building components and accessories.
  - 2. Preparation instructions and recommendations.
  - 3. Storage and handling requirements and recommendations.
- C. Shop Drawings: Showing roof framing, cross sections, roof and wall covering and trim details and accessory and component details clearly indicating proper assembly.
- D. Structural Engineer Certification: Letter signed by a Professional/Structural Engineer, registered to practice in the jurisdiction of the project, verifying compliance with Snow Design Requirements. Letter shall reference specific dead loads, live loads, wind loads, tributary area load reductions (if applicable) collateral loads, seismic loads, end use categories, and governing building code including edition and load applications.
- E. Selection Samples: For each finish product specified, two complete sets of color chips representing manufacturer's full range of available colors and patterns.

.5 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Minimum ten years experience in producing pre-engineered wood buildings of the type specified.
- B. Installer Qualifications: Installer Qualifications: Minimum three years experience in erection of pre-engineered wood buildings of the type specified.
- C. Structural Engineer's Qualifications: Minimum of three years designing post frame structures; registered in the jurisdiction of the project.

.6 DELIVERY, STORAGE, AND HANDLING

- A. Store products in manufacturer's unopened packaging until ready for installation. Follow manufacturer's recommended storage procedures. Do not allow steel siding and roofing to contact the ground.
- B. Store and dispose of solvent-based materials, and materials used with solvent-based materials, in accordance with requirements of authorities having jurisdiction.

.7 PROJECT CONDITIONS

- A. Anticipate environmental conditions (temperature, humidity, and ventilation) within limits recommended by manufacturer for optimum results. Do not install products under environmental conditions outside manufacturer's absolute limits.

.8 WARRANTY

- A. Structural Design - Lifetime: Manufacturer warrants that the building will not experience an occurrence of structural failure or an occurrence of structural damage due to improper structural design (excepting ventilation systems) on account of weather conditions, such as wind, ice, and snow, not exceeding design loads. The foregoing warranty is limited to 50 years.

- B. Preservative Treated Materials: 50 years. Preservative treated lumber, including structural columns, are warranted by the original materials manufacturer against failures due to fungal decay and termite infestation.
- C. Roofing and Siding Finish: Warranted by the original materials manufacturer for 40 years from the date of shipment. Refer to Warranty document for complete details.
- D. Individual Building Products: Manufacturer's standard warranty.
- E. Installation Warranty: One year general installation warranty, five years against roof leaks.

## PART 2 PRODUCTS

### .1 MANUFACTURERS

- A. Acceptable Manufacturer:

### .2 STRUCTURAL FRAMING

- A. Footings:
  - 1. Column Foundation, Above Grade:
    - a. Monolithic floating slab. Sized and reinforced as specified in the shop drawings. Designed by Building Supplier or qualified structural engineer.
- B. Primary Framing:
  - 1. Columns:
    - a. Treated Lumber Section:
      - 1) Lumber: No. 1 or Better Southern Yellow Pine, pressure treated with Chromated Copper Arsenate, Type III, to a retention of 0.6 pcf (9.6 kg/m<sup>3</sup>) and kiln dried after treating to 19 percent maximum moisture content.
      - 2) Fabrication: Laminate individual pieces using ring shank or wire feed nails per manufacturer's engineered nailing pattern. Fasteners shall have ASTM A153 galvanizing.
    - b. Untreated Lumber Section:
      - 1) Lumber: Lumber: No. 1 or Better Southern Yellow Pine or Douglas Fir-Larch or other equivalent NDS approved species/grade kiln dried to 19 percent maximum moisture content.
      - 2) Fabrication: Laminate individual pieces using ring shank or wire feed nails per manufacturer's engineered nailing pattern.
      - 3) Grade and size shall be selected to support imposed loads within deflection limits.
    - c. End Joint Connection of Treated and Untreated Sections: Factory fabricated finger joint.
    - d. Configuration:
      - 1) Sidewall and Endwall Columns: 3 ply or 4 ply combining 2x6, 2x8, or 2x10 (50x150, 50x200, 50x250 mm) dimension lumber as required by "Structural Design" requirements specified herein.
      - 2) Corner Columns: 2 ply or 3 ply 2x6 or 2x8 (50x150, 50x200 mm) dimension lumber as required by "Structural Design" requirements specified herein.
  - 2. Trusses: Comply with "Structural Design" and "Quality Assurance" requirements as specified herein.
    - a. Comply with TPI "Design Specification for Metal Plate Connected Wood Trusses" and "Quality Standard for Metal Plate Connected Wood

Trusses."

- b. Manufacturer shall have a third party inspection program to verify compliance with requirements of TPI.

C. Secondary Framing:

1. Purlins and Girts:
  - a. Lumber: No. 2 or Better dimension lumber kiln dried to 19 percent maximum moisture content.
  - b. Spacing: As required by "Structural Design" requirements specified herein.
2. Sill Plate:
  - a. Lumber: No. 2 or Better Southern Yellow Pine, preservative treated, to a retention of 0.17 pcf (B2O3) borate (0.25 pcf disodium octaborate tetrahydrate DOT) and kiln dried after treating to 19 percent maximum moisture content.
3. Bracing, Wall and Lateral Truss Type (where required by "Structural Design"):
  - a. Lumber: No. 2 or Better dimension lumber.

3 METAL ROOFING

A. Metal Roofing:

1. Material and Finish: 29 Gauge, ASTM A 653 (A 653 M), Structural Quality, Grade 80 (550) (formerly Grade E), galvanized steel with G60 (Z180) zinc coating both sides, Triple Spot Test.
2. Material and Finish: 29 Gauge, ASTM A 653 (A 653 M), Structural Quality, Grade 80 (550) (formerly Grade E), galvanized steel with G90 (Z275) zinc coating both sides, Triple Spot Test.
  - a. Exterior Surface Finish:
    - 1) Bonderize and provide baked on primer and Valspar Weather-X (silicone polyester) finish coat, 0.9 mil (0.023 mm) minimum dry film thickness.
    - 2) Gloss (60 Degrees): ASTM D523, 20 to 80.
    - 3) Pencil Hardness: ASTM D3363, F
3. Configuration:
  - a. Roll-formed; 36 inch (915 mm) coverage width. Provide panels covering up to 35 foot (10.5 m) lengths in single pieces.
  - b. Four major corrugations, 7/8 inch (22 mm) high, spaced 12 inches (305 mm) on center with 3 minor corrugations, 1/8 inch (3mm) high, spaced 3 inches (76 mm) on center between each major corrugation.
  - c. Form one outboard corrugation as overlapping corrugation.
  - d. Form opposite outboard corrugation as underneath corrugation with full return leg to support side lap and a continuous anti-siphon drain channel.
  - e. Factory cut to required length.
4. Fasteners: Color coated No. 10 piercing screws with 1/4 inch (6 mm) hex head pre-assembled to 1/2 inch (13 mm) O.D. dome seal or bond seal galvanized steel and EPDM washers.

4 ROOFING ACCESSORIES

- A. Ridge Cap: Continuous Vented Ridge

## .5 SIDING

- A. Siding:
1. Material and Finish:
    - a. 29 Gauge, ASTM A 653 (A 653 M), Structural Quality, Grade 80 (550) (formerly Grade E), galvanized steel with G60 (Z180) zinc coating both sides, Triple Spot Test.
    - b. Exterior Surface Finish:
      - 1) Bonderize and provide baked on primer and Valspar Weather-X (silicone polyester) finish coat, 0.9 mil (0.023 mm) minimum dry film thickness.
      - 2) Gloss (60 Degrees): ASTM D523, 20 to 80.
      - 3) Pencil Hardness: ASTM D3363, F to 2H.
      - 4) T-Bend: ASTM D4145: 2T to 4T.
    - c. Interior Surface Finish: Bonderized and baked on primer and polyester finish coat, 0.5 mil (0.013 mm) minimum dry film thickness.
  2. Configuration:
    - a. Roll-formed; 36 inch (915 mm) coverage width. Provide panels covering up to 35 foot (10.5 m) lengths in single pieces.
    - b. Four major corrugations, 7/8 inch (22 mm) high, spaced 12 inches (305 mm) on center with 3 minor corrugations, 1/8 inch (3 mm) high, spaced 3 inches (76 mm) on center between each major corrugation.
    - c. Form one outboard corrugation as overlapping corrugation.
    - d. Form opposite outboard corrugation as underneath corrugation with full return leg to support side lap and a continuous anti-siphon drain channel.
    - e. Factory cut to required length.
    - f. Factory miter cut gable ends.
    - g. Material and Finish: As shown on Erection Drawings, except as specified herein.
    - h. Fasteners: Color coated No. 10 piercing screws with 1/4 inch (6 mm) hex head pre-assembled to 1/2 inch (13 mm) O.D. dome seal or bond seal galvanized steel and EPDM washers.
- B. Siding: Clear Polylit translucent wall panels as manufactured by Glasteel, a division of Stabilit America Inc.
1. Type: Corrugated to match wall panel profile, 36 inch coverage.
  2. Material: Acrylic and polyester resins with gel coat UV protective layer, ASTM D3841, minimum 6 ounces per square foot, 65 percent visible light transmission.
  3. 2' high Continuous Eave Lights on (1) 80' side wall
- C. Siding Accessories:
1. Wall Trim and Flashings: Provide manufacturer's standard pre-engineered wall trim and flashings.

## .6 PERSONNEL DOORS

- A. Steel Frame, Steel Clad, Hinged Doors: Commercial Series,
1. Non-Thermally Broken Doors: Series 5100 doors, frames and hardware.
    - a. Frame: 16 gauge, G60 galvanized, 50 ksi.
      - 1) Sill: Solid extruded aluminum, 0.062 inch minimum wall thickness, 1/2 inch low-profile, ADA compliant sill.
      - 2) Head: Solid extruded aluminum, 0.062 inch minimum wall thickness, field installed snap-in parting stop.
      - 3) Overall Frame Depth: 3-1/2 inches.
      - 4) Weatherstripping: Field-installed, frame-mounted, dual seal,

- bulb and leaf, extruded Santoprene sides and head; bulb and wand Alcryn sweep bottom rail.
- b. Door Panel: 1-3/4 inches thick, pressure injected, 2.2 pcf polyurethane foam insulation, R-12, 24 gauge, G60 galvanized steel skin, both sides, rolled edges wrap into the stiles and rails. No perimeter frame.
    - 1) Rails and Stiles: Extruded aluminum rails and stiles, painted to match skins.
    - 2) Reinforcing: Extruded aluminum reinforcing blocks at lock, deadbolt, panic hardware and closer locations.
    - 3) Hardware Preparation: 2-3/4 inch backset with 2-1/8 inch diameter lock bore hole.
  2. Finish: Factory-painted siliconized polyester, manufacturer's standard color.
  3. Grade 2 Commercial Hardware:
    - a. Lever-Lever Lockset: Entry model as applicable, satin chrome finish, 1/2 inch stainless steel latch bolt, anti-lockout feature.
    - b. Deadbolt: Satin chrome finish, 1 inch hardened throwbolt, free spinning cylinder collar, double ball-bearing anti-drill design.
    - c. Hinges: Three 4x4 stainless steel ball-bearing hinges with tamperproof pins.
  4. Installation Accessories:
    - a. Corrugated Steel Siding:
      - 1) Steel J flashing at head, standard color.
      - 2) Steel C flashing at jambs, standard color.
      - 3) Sealant, Manus 75-A caulk, clear.
      - 4) Sealant, Manus 75-A caulk, color matched to siding.
    - b. Vertical or Horizontal Wood or Vinyl Siding:
      - 1) Flexible bituminous self-adhesive flashing at head and jambs, 6 inches wide.
      - 2) Sealant, Manus 75-AM caulk, clear.
- B. Overhead doors – 24 gauge - 2" thick sectional steel ribbed door - Non-insulated  
 C. Lift Master Model T 1/2 hp openers – no remotes

## PART 3 EXECUTION

### .1 EXAMINATION

- A. Verify that site conditions are acceptable for erection/installation of pre-engineered wood building system.
- B. Coordinate with responsible entity to perform corrective work on unsatisfactory conditions.
- C. Commencement of work by erector/installer is acceptance of site conditions.

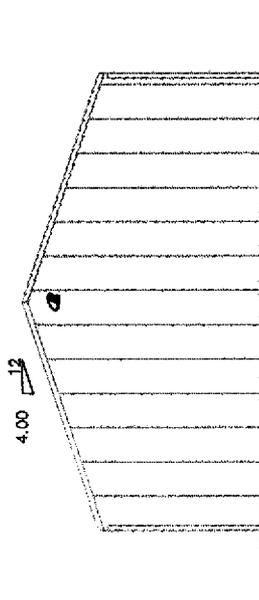
### .2 ERECTION- STRUCTURAL FRAMING

- A. Erect in accordance with manufacturer's instructions and approved shop drawings.
- B. Provide temporary erection and wind load bracing to maintain structure plumb and in alignment until installation of permanent bracing and/or roofing and wall coverings are completed.
- C. Do not field cut or alter structural members without approval of Architect and manufacturer.

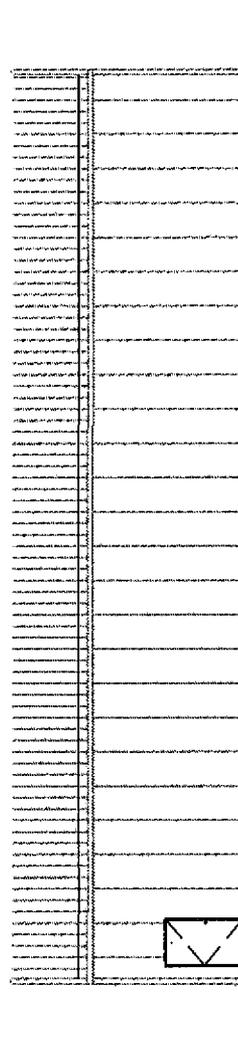
### .3 INSTALLATION

- A. Erect building per manufacturer's instructions and sequencing.
- B. Metal Roofing:
  - 1. General: Install in accordance with manufacturer's instructions. Secure to structural framing aligned, level and plumb. Space fasteners as shown on Erection Drawings.
  - 2. Sidelap: Minimum one full corrugation.
  - 3. Endlap: 8 inches (200 mm) for slopes 4 in 12 to 5 in 12. Secure together over and to structural members.
  - 4. Special detailing is required for slopes less than 2 in 12. Refer to construction documents.
  - 5. Accessories: Install as shown on Erection Drawings.

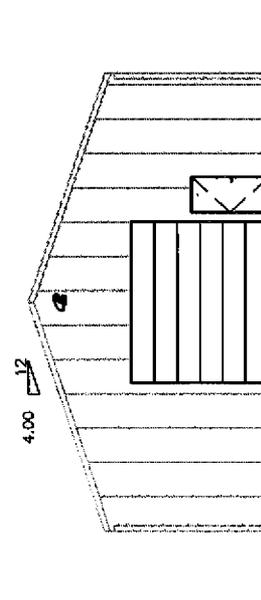
END OF SECTION



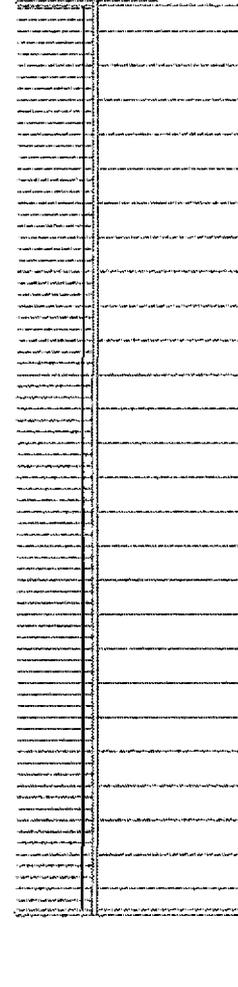
Endwall 1 Elevation



Sidewall 1 Elevation



Endwall 2 Elevation



Sidewall 2 Elevation

## MEMORANDUM

TO: Dean Fischer, Director of Public Works  
Fr: Chuck Nass, Street/Park Superintendent  
Date: July 29, 2010

Subject: **Street Repair Fund Project  
Blackhawk Drive**

The Street Repair Fund (SRF) project for this year will be the milling and overlay of Blackhawk Dr. from Elizabeth St. to the end, 3755 sq. yds. This street will be milled to a depth of 3" and then re-surfaced with 3 1/2" of new asphalt, which will be placed with 2" binder and 1 1/2" of surface material.

I have received two quotes on this project:

Jefferson County, Jefferson	\$42,935.00
Frank Bros. Inc., Janesville.	\$42,213.80

I recommend Frank Bros. be contracted to do this SRF project.

Frank Bros. does pay the prevailing wages as specified by State law for projects such as this. Please place on the Council agenda August 3 for their consideration. If anyone has any questions or concerns, please advise.

**Kevin,**

**I concur with Chuck's recommendation. The SRF has adequate funds for both the Blackhawk SRF project and the sealcoat program for 2010.**

*Kevin*  
7/29/10

To: Dean Fischer, Director of Public Works  
From: Chuck Nass, Superintendent Streets/ Parks and City Forester  
Subject: **2010 Seal Coat Projects**  
Date: July 27, 2010

As you are aware, routing, crack filling and seal coating of our City streets is a very important part of our yearly street maintenance program. These maintenance projects reflect on our numbers that we give to the State every year for our street maintenance costs and also for our PASER rating system. These maintenance projects raise our PASER rating numbers by 1-2 points depending on the streets.

I have received two quotes for our seal coating of the City streets that we have planned to complete this year. The quotes are from Jefferson County at a price of \$1.25 per square yard and from Scott Construction, inc. at a price of \$1.50 per square yard. These quotes are for all labor, trucking, oil and for coated peas or boiler slag material for the aggregate. City staff has already completed the routing and crack filling of the streets that are listed to be seal coated. The total square yardage for this project will be about 124,650 square yards.

The sealcoat funding source is the Street Repair Fund.

I would recommend that the City uses Jefferson County to seal coat our City streets again this year. Please place this on the next City council agenda for their consideration of this street maintenance project. If you or anyone else has any questions or concerns, please advise

**Streets to be seal coated**

Ardmore Dr.  
Assembly Ct.  
Cedar Ct.  
Court St.  
Eagle Ct.  
Eden Ct.  
Elizabeth St.  
Indian Mound Pkwy.  
Kay St.  
Laurel St.  
Moundview Pl.  
North Ct.  
Pine Cir.  
S. Buckingham Blvd.  
S. Pleasant St.  
Satinwood Ln.  
Turtle Mound Cir.  
Turtle Mound Ln.  
Ventura Ln.  
Melrose St.  
Wildwood Rd.

Woodland Dr.  
Tratt St. (Main --Walton)  
Walton Dr.  
Shaw Ct.  
Hill view  
Bloomingfield Dr. (East)  
Fox Glove

To: Kevin Brunner, City Manager

I concur with Chuck's recommendation to select Jefferson County for the 2010 sealcoat project.



## MEMORANDUM

To: Kevin Brunner, City Manager  
 Fr: Dean Fischer, Director of Public Works  
 Date: July 29, 2010



**Subject: Tratt Street Pedestrian Path/Sidewalk**

City staff held a public meeting to discuss the Tratt Street pedestrian path/sidewalk from Walton Drive to the Trailer Park entrance. Some of the comments heard were:

- No pedestrian traffic from Trailer park along Tratt
- No need for path on east side of Tratt street north of Bloomingfield as there is sidewalk on the west side already
- Residents from Trailer park use Walton Drive for pedestrian travel
- Sidewalk should be installed on Walton Drive
- Speed limit should be reduced on Tratt Street
- Poor lighting from Foxglove to Bloomingfield
- Widen the street surface and mark the pedestrian lane with street paint
- Create a 4-way stop at Bloomingfield & Tratt

Mark Fisher, Strand Associates, will attend the meeting to present the recommended plan. The plan is to install sidewalk from Walton Drive to Foxglove Lane as close to the east right of way limit as possible and not construct any curb and gutter. Then install a 10 foot multi-use path from Foxglove Lane to Bloomingfield Drive on the east side. The construction estimate based on the recommendation including a 10% contingency is \$97,240.

The recommended plan has some challenges that will be difficult to work through. Project will require some temporary grading easements, property owners will be losing landscaping that is in the right of way, some landscaping hangs into the right of way and will need to be trimmed or removed, and ideally some permanent easements can be obtained to provide for a better route of the sidewalk.

Staff is recommending that any project from Bloomingfield Drive to the Trailer park entrance be done as a project in the future. Reasons for doing it in the future are 1) Cost estimate for the additional work is \$45,000 2) there are right of way issues 3) staff has not determine where multi-use path may extend in the future 4) a sidewalk connection at the end of Walton Drive to the Trailer park is being pursued and will be constructed this year 5) there already is sidewalk on the west side of Tratt street, although staff would recommend that a path of some type be built on the east side also 6) construction of the sidewalk/path should be include with the reconstruction and urbanizing of Tratt Street.

Assessments for this project also need to be discussed by Council. The Special Assessment resolution (included with Councilperson's packet) adopted in 1986 and amended in 1996 allows for special assessing for new sidewalk. Benefitting properties would be assessed 40% of the city's cost for the first four feet of sidewalk. City now build 5 foot sidewalks, so as you can see, the special assessment resolution needs to be updated. Multi-use paths are not addressed in the special assessment resolution. Assessments to Town of Coldspring properties can be deferred until annexation into the City.

Staff is requesting Council approval of the proposed project and authorization to go to bid. Bids will be received it at the end of August. Contract award would at the Council's September 7 meeting.

Please place this on the Council's August 3 agenda for consideration.

SPECIAL ASSESSMENT RESOLUTION  
Amending the Special Assessment Resolution  
of April 15, 1986

IT IS HEREBY RESOLVED BY the Common Council of the City of Whitewater, Walworth and Jefferson Counties, Wisconsin, that special assessments levied against property benefited by public works project shall be as follows:

Curb and Gutter: Benefiting properties shall be assessed 100% of the city's cost, excepting street intersections.

Sanitary Sewer Extensions: Benefiting properties shall be assessed 100% of the city's cost, including man-holes, but excepting that portion of the sewer within street intersections, provided that the long side of corner lots shall be assessed for one-third of the length, and the cost of the remaining two-thirds shall be distributed over the entire project. Provided further, that the additional cost of mains larger than eight inches shall be paid by the City and such oversizing costs may be assessed on a benefiting area-wide basis.

New Pavement: Benefiting properties shall be assessed 100% of the city's cost of new pavement required to widen or extend existing street pavement, or pave a new street or alley.

Sidewalk Construction: Benefiting properties shall be assessed 40% of the city's cost, for the first four feet of sidewalk width.

Sidewalk Repair: Benefiting properties shall be assessed 25% of the city's cost, for the first four feet of sidewalk width.

Watermain Extensions: Benefiting properties shall be assessed 100% of the city's cost, excepting hydrants and street intersections. Provided that the long side of the corner lots shall be assessed for one-third of the length, and the cost of the remaining two-thirds shall be paid by the utility. Provided further that the additional cost of mains larger than eight inches shall be paid by the utility.

Sewage Lift Stations and Force Mains: Benefiting properties shall be assessed 50% of the city's cost.

Hard Surfaced Driveway Aprons: Benefiting properties shall be specially charge 100% of the city's cost in accordance with City Ordinance 12.16.060.

Steps: Benefiting properties shall be assessed 100% of the city's cost.

Estimated assessment shall be actual assessment. Any cost overruns shall be absorbed by the City. Any overestimates shall be reduced.

The City Council may, by majority vote, allow assessments for oversizing sanitary sewer on undeveloped land to be deferred until such time as use is made of the improvement.

AMENDED March 6, 1996: ADOPTED: April 15, 1986.

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